VILLAGE OF GERMANTOWN
N112 W17001 MEQUON ROAD
GERMANTOWN, WI 53022

MEETING:	**PLAN COMMISSION**
DATE AND TIME:	**MONDAY, APRIL 11, 2016 6:30 p.m.**
LOCATION:	**Germantown Village Hall Board Room**

I. **CALL TO ORDER:** This meeting has been given public notice in accordance with Wisconsin Statutes, Section 19.83 and 19.84 in such form that will apprise the general public and news media of subject matter that is intended for discussion and action.

II. **ROLL CALL**

III. **PUBLIC INPUT/PUBLIC APPEARANCE on items not subject to a public hearing:** Please be advised per §19.84(2), information will be received from the public. It is the policy of this municipality that there be a three (3) minute time period, per person, with time extension per the Chief Presiding Officer's discretion; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. (15 minutes)

IV. **APPROVAL OF MINUTES**: March 14, 2016

V. **NEW BUSINESS**:

A. The Hiller Company for Steven Stoffel – N104 W14281 Donges Bay Road. Revised 4-Lot Certified Survey Map Application for a 7.14-acre parcel (Rs-4: Single-Family Residential Zoning District) located between Donges Bay Road and the northern terminus of Gatewood Place.

B. Think Design, LLC for MD Development & Moore Design – W193 N10980 Kleinmann Drive. Sign Review Application

C. Innovative Signs for Bethlehem Evangelical Lutheran Church – N108 W14290 Bel Aire Lane. Sign Review Application

D. Innovative Signs for Cambridge Major Laboratories – W130 N10497 Washington Drive Sign Review Application

E. Aaron & Emily Diener – W168 N12330 Century Lane - Resolution to Discontinue Public Road Right of Way Reservation.

F. Skyline Development Corp. – N104 W13885 Donges Bay Road. 2-Lot Certified Survey Map (CSM) Application, Conditional Use Permit (CUP) Application (development within a 25' wetland setback), and a Site Plan Review for a 32,000 SF Industrial Warehouse/Office Building.

G. The Custom House, LLC for Charles Hastings & Von Rothenburg Bier Stube & Gerald Grosenick – N116 W15841 Main Street. Site Plan Consultation for Bier Garden and Parking Expansion.

VI. **ANNOUNCEMENTS**

VII. **ADJOURNMENT**

The next Plan Commission Meeting will be on May 9, 2016 at 6:30 p.m.

UPON REASONABLE NOTICE, *efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service please contact the Village Clerk at (262)250-4740 at least 2 days prior to the meeting. Notice is given that a majority of the Village Board may attend this meeting to gather information about an item over which they have decision making responsibility. This may constitute a meeting of the Village Board per State ex rel. Badke v. Greendale Village Board, even though the Village Board will not take formal action at this meeting.*

PLAN COMMISSION MINUTES
MARCH 14, 2016

CALL TO ORDER: 6:30 pm

ROLL CALL: Chairman Dean Wolter, Trustee Representative David Baum, Commissioners Bill Shadid, Mary Ellen Gray, Peter Nilles and Tony Laszewski were present. Also present were Village Planner Jeff Retzlaff, Village Attorney Brian Sajdak and Planning Assistant Lori Johnson.

PUBLIC INPUT: Donald Schulteis, W140 N10337 Fond du Lac Avenue spoke regarding the Skyline Development proposal. He was concerned with the 24 foot high walls, his property value, and no buffer and stormwater issues. Trustee Baum asked about the contamination issues he had previously discussed with him. Mr. Schulteis said those issues were under advisement with the DNR.

John Figie, W140 N10323 Fond du Lac Avenue spoke regarding the Skyline Development proposal. He was concerned about no buffer and would like to see the zoning remain as commercial.

APPROVAL OF MINUTES: ***MOTION Baum second Shadid to Approve the minutes from 2-8-16.***

MOTION to Amend Nilles second Baum to change the Motion under the Public Input section by putting in the specific date of the minutes to be reconsidered, December 14, 2015, instead of "last weeks minutes".

MOTION to Amend carried unanimously.

MOTION to Approve as Amended carried unanimously.

OLD BUSINESS – Reconsideration of approval of December 14, 2015 meeting minutes granted at the January 11, 2016 meeting.

Chairman Wolter asked for input from the Village Attorney. Attorney Brian Sajdak said the desire, intent or goal to reconsider the minutes is not an appropriate action. He summarized Roberts Rules regarding minutes and stated the motion in question, as stated, is verbatim in what the motion was and no action is required.

Planner Retzlaff questioned if it was then correct to amend last weeks minutes because that motion was also exactly how it was stated. Attorney Sajdak indicated it is a minor change and created clarity.

Chairman Wolter asked for further clarification regarding the December 14, 2015 minutes. Attorney Sajdak stated because the minutes already reflect a verbatim motion that was made, no action should be taken as it relates to the reconsideration of the minutes.

Daniel & Kim Skrober – N136 W21801 Bonniwell Road. The property owners of a 21.6 acre property are seeking a Conditional Use Permit to allow recreational vehicle and boat storage and storage of commercial vehicles and equipment from the existing property. Planner Retzlaff summarized the proposal.

MOTION Baum second Nilles to Approve a Conditional Use Permit for Daniel & Kim Skrober to allow "recreational vehicle and boat storage" and "storage of commercial vehicles and equipment" from the existing property located at N136 W21801 Bonniwell Road subject to the following conditions:

1. ***This permit authorizes the uses and activities set forth in the permit application dated February 8, 2016 and in the supporting documents made part of the application, including the February 24, 2016 e-mail and operation information provided therein.***
2. ***If the use, activities and/or operation of the storage facility subject of this permit falls out of conformity with the conditions herein, or where there is a change in the character, intensity or extent of the activities that causes special problems or harmful effects otherwise associated with the use to be no longer ameliorated or eliminated, or where conditions imposed were anticipated to ameliorate or eliminate harmful effects associated with the use but are insufficient to do so, or for similar cause based upon consideration for the public comfort, safety, and welfare, the conditional use permit may be terminated or modified by the Village Board by the amendment to or addition of conditions after public hearing thereon.***
3. ***The owner/operator shall cooperate with the Fire Department to conduct a pre-occupancy and semi-annual fire safety inspections and provide/install whatever fire safety measures are required under the Village and other applicable codes.***
4. ***All of the following items shall be provided as required by the Fire Department: (a) an approved fire lane per NFPA 18-2012 Chapter 18 shall be provided, including the trimming or removal of any trees and other vegetation in order to provide a minimum overhead clearance of 13.5 feet; (b) an approved turnaround area for emergency vehicles shall be provided; (c) the gravel access fire lane and parking lot area needs to be rated for the weight of fire trucks or a hard surface shall be provided; (d) the security gate is currently too narrow; if the security gate continues to be used, it will need to be widened and a Knox Box provided in a manner approved by the GFD; (e) storage of any items or vehicles between the three buildings shall be prohibited; (f) an approved exit sign shall be installed over all exit doors in all buildings used for storage as approved by the GFD.***
5. ***The CUP shall not be transferrable to any other entity, organization or business operator. The CUP shall become null and void in the event the Skrobers sell or are no longer residents of the subject property.***
6. ***All exterior signs shall comply with the Village's sign regulations including obtaining approval and/or permits from the Community Development Department.***

Trustee Baum asked the Skrober's if they were OK with inside storage only. Dan Skrober asked that limited outside storage be allowed for approximately 12 campers in a 200 to 300 foot area. He reasoned that the buildings cannot be seen from Bonniwell Road.

MOTION to Amend Baum second Shadid to allow outside storage in an area 200 feet by 300 square foot area, including all three of the buildings constructed today. The allowance should reflect and exclude what the Fire Department is recommending.

Discussion continued. Chairman Wolter asked if this condition was specific to this conditional use and would not be transferrable to anyone else who has storage buildings and

would want the same type of condition on their property. Planner Retzlaff confirmed it is specific to this conditional use permit only, unless staff is directed to make amendments to the code provisions. Trustee Baum said his amendment is based on the landscaping and trees that are screening the property.

MOTION to Amend carried unanimously.

Attorney Sajdak said the code provision prohibits outdoor storage and does not say it's allowable with a conditional use. Trustee Baum confirmed that the Plan Commission cannot grant a provision to store outside because it is not allowed by code. Attorney Sajdak said a zoning amendment would be required. Planner Retzlaff said a condition could be added to include language in anticipation if the code is changed. Attorney Sajdak said a provision could be included as a "fee-free" amendment process within a period of time if something would change. He stated the amendment as follows.

MOTION to Amend the Amendment Baum second Gray to include a condition that would authorize the applicant to return to the Plan Commission for consideration of a potential amendment in the event that the zoning code changed to allow outdoor storage.

Trustee Baum said he has learned to be extremely specific in what is being said and done. He said he wants to help this applicant but cannot by ordinance and this motion provides the ability to help him, if Director Retzlaff brings forward a code change for consideration.

MOTION to Amend the Amendment carried unanimously.

MOTION to Approve the Amended Amendment carried unanimously.

MOTION to Approve as Amended carried unanimously.

Planner Retzlaff said the Conditional Use Permit will require Village Board approval. He said he intends to bring back a potential code amendment and indicated he will defer any further enforcement dealing with the outside storage issue.

Presbyterian Homes of Wisconsin for Germantown Commerce Center and Romano & Schmidt, property owners – N112 W17300 Mequon Road. The applicant has requested a consultation with the Plan Commission to discuss possible amendments to the Blackstone Creek Planned Development District General Development Plan and Conditions & Restrictions Resolution in order to develop a 190 unit senior living residential community on approximately 30 acres of land located along Mequon Road. Planner Retzlaff summarized the proposal.

Steve Nornes, Presbyterian Homes, said he believes there is a market for this type of development and that this is a good location that will also provide a good opportunity for employment for the Village. Dawn Wieczorek, Inside Architects, explained the building architecture and amenities for the development.

Plan Commissioner's had the following comments and concerns:

- Is this the highest and best use for this property?
- What type of arrangement will be negotiated in lieu of property taxes
- This is a highly visible property and this development is not someplace to stop at.
- The 3 story building and parking space look huge and do not have a feeling of a campus or have a human scale.
- The EH zoning is in place and allowed. Does this development fit within the regulations that are in play?
- The PDD and Conditions & Restrictions would need to be amended if the buildings are taller than 35 foot height limitation.
- No other development has come forward for this property so would support this development. Commercial would be a better opportunity.
- Not keen on the parking lot, the center section entrance canopy, hip roof, Gingerbread inside the hip roof design and dormers on either side give Germanic feel but then falls off on the rest of the building and is needed. Terrace is a good amenity but not illustrated thoroughly. The outdoor gazebo area needs to be enhanced. The pond at the entrance needs to show how it will be fully developed.
- Concerned residents to the west of golf building may be disturbed by outdoor events.
- The parking area is massive and needs to be more park like and integrated more.
- Concerned with the building height and what the view will look like from Mequon Road. The towers accentuate the height at the gables and would be in favor of subduing that. The architectural design looks like more of the same already on Mequon Road and there are other ways to do that. Height and parking should be softened from how it looks from Mequon Road. A composite video from street should be provided to help envision how development will look.

Planner Retzlaff said a development plan is needed to show how the design and exterior materials of the golf course buildings will be incorporated to match the senior housing buildings.

This item was a consultation. No action was taken.

8:15 p.m. 2 minute break.

Gehl Foods LLC – N116 W15953 Main Street. The property owner is seeking approval of an amended conditional use permit and revised site development plan to add 24 parking stalls to an existing 39 stall "off-site" parking area on the .91 acre lot. Planner Retzlaff summarized the proposal.

MOTION Baum second Shadid to Approve an amendment to Conditional Use Permit No. 07-10 and the revised Site Development Plans for Gehl Foods LLC and the proposed 24-stall expansion to the existing "off-site" parking area located at N116 W15953 Main Street subject to the following conditions:

1. ***This conditional use permit allows the development and operation of an off-site parking area as shown in the site plan set dated as received on March 7, 2016, subject to any further requirements and revisions adopted by the Plan Commission or Village Board and as required herein.***
2. ***All landscaping, grading, and paving improvements shown on the approved site plans shall be installed as proposed within six (6) months after the plan approval date. To ensure completion by the required deadline, a cash bond or letter of credit in an amount equal to 120 percent of the estimated installation***

and material costs reviewed and approved by the Village shall be submitted to the Village within thirty (30) days after said approval date.

3. ***A revised landscape plan shall be prepared and submitted to the Village Planner for review/approval prior to commencement of construction. Said landscape plan shall include additional landscaping along the west property line and along the privacy fences required herein (Condition #6) and be comprised of evergreen trees and shrubs.***
4. ***The landscape plan shall be revised to include evergreen trees along the east property line (Techny Arborvitae are currently proposed) planted at a maximum spacing of 4-5' on-center along with a minimum planted height of 7-8' (vs. the 5-6' proposed). The purpose is to require the planting of a more "instantaneous" and continuous landscape screen. In addition, additional evergreen trees meeting these min. planting requirements shall be planted along the east property line and within the proposed 10' buffer yard in an amount, type and minimum size once the parking lot has been installed and what's left of the existing vegetation along the east property line is inventoried. A revised landscape plan showing the additional landscaping shall be prepared with input from the adjacent property and reviewed and approved by the Village Planner.***
5. ***The relocated/new light pole and fixtures shall not exceed a mounting height of 18' (15' pole and 3' base) in order to match the approved height for the original plan.***
6. ***The parking lot shall only be used for Gehl Foods, Inc. employee parking and shall not be used for the storage of equipment, materials, trucks or trailers. Use of the parking lot for vehicle parking by neighborhood residents and/or businesses may be permitted with permission or agreement by and between Gehl Foods, Inc. and said residents and businesses.***
7. ***Any signage of the off-site parking area shall be reviewed and approved by the Plan Commission.***
8. ***All of the technical requirements and conditions of approval set forth in the Engineering Department's February 24, 2016 memo shall be addressed prior to commencement of construction.***

Trustee Baum said he cannot support this plan because it's in conflict with the Main Street concept master plan that came forward previously. Commissioner Gray agreed adding that removing the building changes a piece of the feeling of Main Street. She understands parking is a problem but putting a parking lot there doesn't do anything for Main Street or the master plan around the back. Chairman Wolter asked why the additional 24 parking spaces are needed and if the lot was currently full. Lyle Roecker, Facility Manager Gehl Foods, said the lot is full on all three shifts and indicated that Gehl's will be hiring more people. Planner Retzlaff pointed out that another parking lot expansion to add 58 additional stalls will be coming forward at the next meeting to be located on the property to the east of the main building. Mr. Roecker said Gehl's is trying to alleviate their parking problems and indicated the duplex is not being lived in because it is in a fall down state. Attorney Sajdak stated there are two separate issues before the Plan Commission, the conditional use permit and the site plan. He summarized the Chapter 17 code provisions as they pertain to conditional use permit and site plan approval. Discussion continued regarding the need to be in compliance with the comprehensive master plan and the future plan the Plan Commission has come up with for the Main Street area. Planner Retzlaff said he doesn't see how this site plan is consistent with the plan that has already been reviewed as a re-development plan for the Main Street area. Attorney Sajdak said a more appropriate motion may be to add an

additional condition that puts some sort of time on the conditional use that it be reviewed and renewed after a period of time to bring it more into compliance, but would allow the applicant to move forward now.

Discussion continued. Mr. Bruckner said the building will be razed and the parking lot is there already with a need for additional parking. The intent is to remove the employee parking on Main Street. He said the neighbor to the east as requested trees as a buffer to the parking lot. Chairman Wolter asked what Gehl's will do to have employees use the parking lot and not park on the street. Mr. Roecker said they will post and enforce in house.

MOTION to Amend Baum second Shadid to separate the two motions and Approve the conditional use permit for revised site plans for a 24 unit parking expansion.

MOTION to Amend carried (5-1 Baum).

MOTION to Approve as Amended failed (unanimous).

MOTION Baum second Shadid to Approve the site plan as presented with the conditions as presented by Planner Retzlaff.

MOTION to Amend Gray second Baum that the new plant design should not include spirea, potentilla or grasses and include larger shrubs to make the screening along the road much stronger.

Commissioner Gray said she wanted to see strong shrubs screened along the road like viburnum and a cute wrought iron fence may be nice. Daylilies in front along the sidewalk would be also be fine. Planner Retzlaff said a wrought iron fence was a good idea and would tie in with the residential area. Mr. Bruckner said the Police Department had indicated it did not want large screenings so they could see the end of the parking lot.

MOTION to Amend the Amendment Baum second Gray to leave the 5 TA's, tighten them up as indicated in #4 but extend them the entire length of the new parking area. MOTION to Amend the Amendment carried unanimously.

MOTION to Amend carried (5-1 Baum).

MOTION to Amend Baum second Shadid to require a decorative fence be added along Main Street 4 feet tall the full length of the parking area.

MOTION to Amend carried unanimously.

MOTION to Amend Baum second Laszewski to have the final landscape plan brought back to Plan Commission for approval.

MOTION to Amend carried unanimously.

MOTION to Approve as Amended failed (3-3 Walter, Baum, Nilles against).

Planner Retzlaff explained if the Village Board approves the conditional use permit for the expanded parking, then the site plan will need to come back to the Plan Commission for approval including a revised landscaping plan.

Skyline Development Corporation – N104 W13885 Donges Bay Road. The property owner is seeking approval of an amendment to the Village's 2020 Future Land use Plan Map (Commercial to Industrial/Office) and a rezoning application (B-1: Neighborhood Business to M-1: Limited Industrial) for portions of an 11.2 acre property located in the Germantown Business Park at the southeast corner of Donges Bay Road @ STH 145/Fond du Lac Avenue intersection in order to develop a 32,000 sqft industrial building. Planner Retzlaff summarized the proposal.

Discussion followed. Trustee Baum asked for clarification on what was being asked for approval, a Land Use Plan Amendment and Rezoning, and nothing to do with the landscaping and architecture concerns as detailed in the staff report. Planner Retzlaff explained a rezoning request typically requires some sort of site plan to give some clarity as to why and what the rezoning is being asked for even though the plan may not be the same plan eventually submitted for approval. The site plan could be used to help make a decision on the request to rezone. Chairman Wolter felt the landscaping and architecture concerns were discussed at the previous consultation meeting in 2013 and was concerned that Planner Retzlaff may be somewhat telegraphing the next step to this body without them seeing a site plan. Planner Retzlaff agreed he is telegraphing what he considers to be his concerns and is only giving the members the opportunity to provide feedback before final plans are submitted.

MOTION Baum second Shadid to Approve the proposed 2020 Land Use Plan Map amendment to reclassify the 4.7 acre area from "Commercial" to "Industrial/Office".

Motion to Amend Shadid to include the stipulation from the Village Planner's recommendation.
Motion fails no second.

Commissioner Gray said the plans for a future industrial building will need more detail and more interesting landscaping if it is located on that corner.

Bill Burkhart, Skyline Development, said the commercial use of the property was greatly diminished by the State of Wisconsin with the improvement of the round about and no driveway allowance to Fond du Lac Avenue. Most commercial uses of this size would require a better driveway access. He indicated he has worked very hard to obtain a commercial use for this property without success. He indicated he has an existing user that wants to move in this fall and understands the concerns about landscaping and architecture.

MOTION carried unanimously

MOTION Baum second Nilles to Approve the proposed rezoning of the 4.7 acre area from B-1: Neighborhood Business to M-1: Limited Industrial.

MOTION carried unanimously.

ANNOUNCEMENTS: Planner Retzlaff said there may be special Plan Commission on March 28, 2016.

ADJOURNMENT: There being no further business, the meeting was adjourned at 9:20 p.m.

Respectfully submitted,

Lori Johnson
Planning Assistant

DRAFT

CERTIFIED SURVEY MAP (CSM)

4/11/16 Plan Commission Meeting

Steven Stoffel / Hiller Company

Village Planner Report **Germantown, Wisconsin**

Summary

Tim Hiller, agent for Steven Stoffel, property owner of a 7.14-acre parcel located on Donges Bay Road is requesting approval of a REVISED Certified Survey Map (CSM) in order to create four (4) residential parcels under the existing Rs-4: Single-family Zoning District.

Location: Donges Bay Road (1/4 mile west of STH 145/Fond du Lac Ave)

Property Owner/ Applicant:

Tim Hiller
Hiller Company
Milwaukee, WI

Steve Stoffel
Alpharetta, GA

Current Zoning District: Rs-4: Single-Family (2.2 units/acre)

Adjacent Land Uses		Zoning
North	Residential	Rs-6
South	Residential	Rs-4
East	Institutional	I
West	Residential	Rs-5

Background (REVISED for April 11 Meeting)

At their March meeting, the Village Board tabled action on the proposed 4-lot CSM in order for the Plan Commission to review and forward a revised recommendation and conditions of approval for a REVISED 4-lot layout of the CSM.

You will recall, At the February 8 PC meeting, a recommendation to approve a 4-lot CSM (see Alternative 1) with shared driveways each serving two lots was made and forwarded to the Village Board. The February 8 PC action was taken in part based on a series of previous comments and recommendations made by the Public Works Committee, including requirements to: (1) extend public water main through the property to complete a loop into Donges Bay Road; and (2) construct a permanent cul-de-sac closure at the end of Gatewood Place.

Since then, the developer prepared a revised and preferred 4-lot layout (see Alternative 2) and presented it to the Public Works Committee for further discussion and re-consideration of the requirement to install/extend public water main through the property. At their meeting on March 1, the Public Works Committee re-considered their previous comments and subsequently recommended approval of a REVISED 4-lot layout (Alternative 2). The Public Works Committee has also rescinded their previous recommendation to require the extension of water main through the property provided that the 4-lot layout is approved by the Plan Commission.

A this time, the Plan Commission needs to review the revised 4-lot layout (Alternative 2) and forward a revised recommendation and conditions of approval (if any) to the Village Board.

Conditions #2, #3 and #5 in the previous Plan Commission recommendation no longer apply as written. If the Village Board acts to approve the CSM with the revised 4-lot layout, there should be a requirement for a Developer's Agreement with respect to the public right-of-way dedication and road (i.e. cul-de-sac) construction and any other public improvements required under Section 18.08 of the Village Subdivision and Platting Code *[e.g. sidewalks per 18.08(6)]*.

Finally, as directed by the Plan Commission, surrounding property owners who may be affected by recommendation to NOT extend and complete the road connection of Gatewood Place from the existing terminus to Donges Bay Road have been sent a letter explaining the proposal (copy attached).

Background (from ORIGINAL February 8 Staff Report)

The subject parcel is classified as "Low Density Residential" on the Village's 2020 Future Land Use Plan map. These areas are intended to develop with single-family residential uses at a density of approximately 2 DU's per acre or a minimum lot size of 20,000 sqft. It is intended that new development in these *areas "… should be required to develop or connect to the existing system of collector and local roads… and not have direct access to arterial roads".*

Consistent with that classification, the parcel is located in an Rs-4: Single-family Zoning District that allows single-family lots as small as 20,000 sqft. The 7.14-acre parcel was previously approved for residential development in 2007. At that time, the "Walnut Grove" subdivision plat was approved for a total of nine (9) single-family lots ranging in size from 20,000 sqft (.46 acres) to 34,701 sqft (.80 acres). The proposed development included: the extension of Gatewood Place through the property from the south to Donges Bay Road (see attached plat); three (3) outlots for storm water management basins; and the extension of water and sanitary sewer to serve the development. Although a preliminary plat and Developer Agreement were approved by the Village, the Walnut Grove development never commenced with all approvals expiring in 2010.

Proposal (REVISED)

At this time, Tim Hiller, agent for the property owner is requesting approval of a Certified Survey Map (CSM) in order to create four (4) residential parcels under the existing Rs-4: Single-family Zoning District. As shown on the REVISED ~~preliminary~~ CSM, the owner is proposing to divide the parcel into four (4) single-family lots with 3 lots having access to/from Gatewood Place and 1 lot with access to/from Donges Bay Road. ~~shared driveway access. Lots 1 & 4 would be served by a shared driveway constructed from the end of Gatewood Place, and, Lots 2 & 3 served by a shared driveway from Donges Bay Road. The extension of Gatewood Place is NOT proposed under this plan. Also, as discussed with the Public Works & Highway Committee, the developer will provide a 20' wide easement for the extension/looping of a water main between Donges Bay Road and Gatewood Place, and, a 30' wide easement for sanitary sewer to Gatewood Place.~~

As explained at the Plan Commission consultation in January, infrastructure and other development costs related to complying with storm water management and wetland regulations have made developing the land with more lots and the extension of Gatewood Place cost-prohibitive for the property owner.

Staff Comments (REVISED)

Consistency with Village's Land Use Plan.

The existing Rs-4 zoning and 4-lot layout are generally consistent with the general intent of the 2020 Land Use Plan map "Low Density Residential" classification, but not consistent with the density and lot sizes of the other pre-existing development in the same "low density residential" area. Arguably, this property is the last large, undeveloped parcel in this particular neighborhood with the adjacent land to the south developed in a manner and served by a public street that logically could and should be extended into through this 7-acre parcel. Like the other surrounding developments, this

parcel is intended to be served by public water, sanitary sewer and other utilities that are already in place and adequately sized and located to serve this "in-fill" parcel. Not to mention, that development of this parcel with an extension of Gatewood Place would "do its part" to complete and enhance circulation and accessibility for the benefit of the entire area much like the pre-existing developments did when they were developed. Developing this parcel with less density than the existing infrastructure is set up to accommodate only makes this 4-lot development less cost-effective than it could/should be, and, increases the likelihood that the demand for new residential lots will have to be satisfied elsewhere in the Village where infrastructure and services are not already in place. While certainly an important consideration for the property owner, financial hardship for an owner should not be the Village's reason for compromising its land use plan.

Conformance with Zoning District Requirements.
The proposed lots meet the minimum bulk requirements of the Rs-4 Zoning District.

Conformance with Subdivision Requirements.
With respect to utilities, all four lots will be served by water and sewer by way of existing facilities in the vicinity. Further, ~~as summarized by the Village Engineer,~~ at their meeting on March 1 ~~January 5,~~ 2016 regarding the REVISED 4-lot layout ~~potential development of this parcel~~, the Village's Public Works Committee is recommending that the water loop would not have to go through the Donges Bay Road if the Village Board accepts the REVISED 4-lot layout. ~~the following:~~

1. ~~All connections to utilities in Donges Bay Road shall be installed before or during the Village's Donges Bay Road reconstruction project in 2016 at the developer's expense (special assessment would be acceptable);~~
2. ~~Public water main shall be extended through the property from the existing public water main in Gatewood Place and connect to the public water main in Donges Bay Road at developer's expense;~~
3. ~~Sanitary sewer connection from the four lots shall be to the existing stub in Gatewood Place (no determination was made whether the sanitary shall be private or public, so this could be at the developer's discretion);~~
4. ~~The wastewater utility will entomb the existing sanitary lateral in Donges Bay Road during the "cured-in-place" pipe project presently underway upon written permission from the developer/property owner;~~
5. ~~No recommendation was made regarding whether to extend Gatewood Place as a public street through the property to Donges Bay Road was made.~~

At their meeting on March 1, the Public Works Committee discussed the issue of possibly requiring the developer to install sidewalk along the Donges Bay Road frontage. Currently, sidewalk exists along the south side of Donges Bay Road from Preserve Parkway to the Sunberry Downs subdivision (adjacent to the west) up to the Stoffel property west property line (min. 5' asphalt). The Donges Bay Road @ STH145 round-about improvement project includes the construction of sidewalk (min. 5' concrete width) along the south side of Donges Bay Road all the way to the west to a point up to

the east property line of the Stoffel property. This would leave the 500' frontage along the Stoffel property the only remaining segment of sidewalk left to complete along the south side of Donges Bay Road. Section 18.08(6) of the Village's Subdivision and Platting Code provides that the Village Board may require developer's to install sidewalk along a collector street such as Donges Bay Road adjacent to a subdivision or development (including CSM land divisions). A recommendation from the PC on this issue would be prudent at this time. Staff supports a requirement for sidewalk construction.

With respect to street access, shared driveways between adjacent lots or parcels is permitted. However, when a shared driveway is proposed in a situation where the construction or extension of a public street is planned, Section 18.07 of the Subdivision regulations needs to be considered. Section 18.07(1)(d) provides that shared driveways (listed as one type of a "private street") may be permitted by the Village Board provided that certain criteria and design standards are met. In this case, it's difficult for staff to find that all of the criteria can be met under the owner's 4-lot development plan. Specifically, Section 18.07(1)(d)4. provides the following:

Private streets shall NOT be allowed under any circumstances when:

a. *The proposed private street will replace or otherwise conflict with a designated public street set forth in the Village's official map, Comprehensive Plan, or other official state, regional, county, or village transportation plan;*
b. *The Village determines that construction of a public street would be in the best interest of the Village and that a public (vs. private) street is determined to be needed for: (1) providing access to adjacent lands having the potential for future development; or (2) public circulation by way of connecting to or extending from an existing or future public street;*
c. *The proposed private street connects 2 or more public streets or highways where the connection would further the pattern and function of the public street system; or*
d. *The proposed street will or has the potential to provide access to more than 15 residential lots, or, has the potential to provide (or is needed for) access to future development of adjacent land.*

With respect to the above criteria, the extension of Gatewood Place is a planned extension. The Berrywood subdivision to the south was approved for development in 2004 with cul-de-sacs that exceed the maximum 500' length requirement. That development was only allowed to proceed given another provision in the Subdivision regulations that allows cul-de-sacs greater than 500 feet in length if the road is extended to the property line adjacent to another property such that the road can be further extended and connected to another roadway such that the resulting cul-de-sacs (once all are completed) do not exceed a length of 500 feet.

Community Development, Public Works/Engineering and Fire Department staff recommend that Gatewood Place be completed/extended through to Donges Bay Road to provide improved access to the subject parcel and to the existing residential area to

the south (Berrywood and beyond). However, in the event the road extension is not required, both departments are recommending that a permanent road closure be installed at the end of Gatewood Place with a design that is properly sized and configured to more easily accommodate the operation of fire trucks, snow plows and other large vehicles than the sub-standard, temporary closure that exists today. Because of the wetland location near the end of Gatewood Place, some sort of modified turn-around/cul-de-sac design would have to be agreed to with Public Works and the Fire Department.

With regard to the two (2) existing wetlands on the property (8,467 sqft or .19 acres), the owner proposes to include both wetland areas (and the 25' setback) within Lot 1 in an effort to address the Land Suitability provisions of the Subdivision Code that prohibit wetlands from being included in lots less than 2 acres in area.

The Village Surveyor has identified a few technical corrections/issues in his April 7 ~~January 8~~, 2016 review memo (copy attached) that will need to be addressed as part of the final CSM prior to Village Board approval and recording.

Village Planner Recommendation

DENY the proposed 4-lot certified survey map (CSM) as proposed; however, if the Plan Commission chooses to recommend **APPROVAL,** staff recommends that the proposed 4-lot CSM be subject to the following conditions:

1. All requirements and technical corrections identified in the Village Surveyor's April 7 ~~January 8~~, 2016 memo shall be addressed in a revised CSM prior to recording the CSM ~~Village Board approval~~;
2. ~~A notation be placed on the CSM prohibiting access to Donges Bay Road from Lot 2 and Lot 3 except for the 20' shared driveway ingress/egress easement as shown.~~
3. ~~A shared driveway installed within the ingress/egress easement proposed to serve Lot 2 & 3 and Lot 1 & 4 must meet the design requirements in Section 18.07 of the Subdivision Code, including the preparation and recording of a shared driveway/access easement agreement. Said access easement agreement shall be submitted to the Village for approval and recording concurrent with recording of the CSM.~~
2. The developer shall construct a permanent closure at the end of Gatewood Place and dedicate it to the Village as a permanent closure to the public street. The design of said closure shall be approved by the Village Public Works Department. In the event that said closure requires additional right-of-way to accommodate the design, orientation and/or extent, the right-of-way shall be designed and taken from the subject property and dedicated to the Village. At a minimum, said closure shall be adequate in size, geometry and construction materials to adequately and safely accommodate the Village's emergency and public works vehicles. Said closure should be installed concurrent with the installation of other public utilities, and, prior to the issuance of a building permit for the development of ~~Lot 1~~ Lot 2, 3 or Lot 4.
3. The developer shall enter into ~~be responsible for installing/extending public water main through the property in the easement as shown on the CSM, and, in compliance with the terms and requirements of~~ a Developer's Agreement between the owner/developer and the Village regarding the construction of the cul-de-sac, water and sewer improvements, storm water improvements, sidewalk, and any other requirements under Section 18 of the Village Code. Said agreement to be prepared and approved in accordance with Village procedures prior to the commencement of any development activities and/or building permits for any of the four (4) residential lots. Sanitary sewer laterals serving the four lots and connecting to the exiting sewer line in Gatewood Place ~~shall be installed within the easement as shown except that the existing lateral in the line located in the Donges Bay Road right-of-way in the vicinity of Lot 3 may be utilized with approval from the Public Works Department~~.
4. The developer shall prepare detailed construction plans for the cul-de-sac, water and sewer lateral extensions/connections, and a storm water management and grading plan for the cul-de-sac road closure. Said plans shall also address and include required improvements to correct the existing drainage issue at the end of Gatewood Place.

Engineering Department Memorandum

To: Jeff Retzlaff Village Planner

CC:

From: Bob Beilfuss, PLS, Village Surveyor

Date: April 7, 2016

Re: Stoffel CSM

Jeff,

Here are my review comments for the Revised CSM received 4-7-2016.

Certified Survey Map

Applicant or Owner: Steve Stoffel
Land Surveyor/Firm: Mike Berry, PLS Capitol Survey Enterprises
Current Zoning: RS-4

1. The planning commission secretary is Lori Johnson. This item has not been revised.

2. The Village no longer requires the line tables for the wetland delineation as shown on sheet 3 of 4 as long and the wetland lines are tied to either existing or proposed lot lines with a bearing and distance. The surveyor can remove these tables if need be. This item has been revised

3. Termination of Gatewood Drive to be determined after I receive a copy of the CADD file from the surveyor and can show a proposed offset bulb. This item has been revised

4. Revise Owner and Village Board certificate to reflect text in red shown below:
   These items Owner and Village Board approval cerificates has not been revised.

   Owner's Certificate
   - Complete statements per Chapter 236.34.
   - Date and signature of all owners and all parties with an interest in the property.
   - Notary statement, seal, signature and date.

   The Village of Germantown requires all lands abutting a public road be dedicated to the ultimate right of way. If a road right of way dedication is required as part of the survey, include the following paragraph in the Owner's Certificate:

   "As Owners, we hereby dedicate that part of *(street name)* to the Village of Germantown for public road purposes as represented on Sheet _of_____ of this Certified Survey Map."

   Mortgagee's Certificate (Required if land is mortgaged)

   - Complete statements per Chapter 236.21(2)(a)
   - Lending institution name, signature of bank officer and date.
   - Notary statement, seal, signature and date.

   The mortgage certificate requirement is waived if owner can provide written proof of ownership that the property is free of mortgage from the lending institution.

No proof of ownership has been provided.

Village of Germantown Board Approval

This Certified Survey Map, being a division of (¼ ¼ Section __, Township 9 North, Range 20 East, Village of Germantown, Washington County, Wisconsin, having been approved by the Planning Commission being the same, is hereby approved and *(the dedication of that part of (insert street name) for public road purposes as shown on Sheet __of__ is hereby)* accepted by the Village Board of Trustees of the Village of Germantown on this __day of _____, 2012.

_____ _____
Dean Wolter, Village President Date

_____ _____
Barbara K.D. Goeckner, Village Clerk Date

5. There needs to be a 3"x3" square reserved in the upper right corner of Sheet 1 for recording data purposes at Washington County Register of Deeds Office.

6. While the 25' wetland setback line is shown, there is no label defining what the line represents. This needs to be addressed.

7. The developer needs to provide construction plans prepared by a professional engineer, in compliance with the Village Standard Specifications for Development and Construction and specifically for the following items:
   - Sanitary and water main line extension to serve Lots 2, 3 and 4. Plans will include all of the current standard details for sanitary manholes, hydrants etc., plan and profile of each utility showing pipe size and slope.
   - Road construction plan and profiles for the cul-de-sac construction including existing and proposed grades, typical cross section in compliance with the Villages standard cross section.
   - Storm drainage plan around the cul-de-sac to include ditch grades should a rural cross section be selected for the project and the installation of a reinforced concrete pipe located at the subdivision line to address the drainage/standing water problem located on the west side of Gatewood Drive and the south line of proposed Lot 2 of this CSM.
   - Developer will provide record drawings for all public improvements as defined in the developer's agreement including providing the documents in a hard copy and digital (.dwg) format and the coordinate system required for record drawing mapping.

No further review comments.

Document Submittals and Data Conversion

As of October, 2005, the Village of Germantown requires a digital copy of all Certified Survey Maps, Condominium Plats and Subdivision Plats in addition to the documents as required by Wisconsin Statute and Village Ordinances as part of the land division approval.

Prior to Recording the Certified Survey Map, the professional land surveyor is responsible for submitting a copy of the AutoCad drawing file (.dwg) of the document in version 2007 on compact disk (CD) or via email to the Village Surveyor.

All digital professional land surveyor seals and signatures will be purged from the digital copy prior to submittal.

The model space of the drawing will be done in Wisconsin State Plane Coordinate System, South Zone (NAD 1927 datum) and the Grid Bearing basis.

Prior to Recording the Certified Survey Map, the Village Engineering Department will verify that the boundary markers have been installed as described on the submitted map. All boundary corners are to be clearly marked in the field by the professional land surveyor of record.

Village of Germantown
Willkommen

Fee must accompany application
☒ $2,900 with public improvements
☐ $1,960 without public improvements
Paid ____ Date 2-1-16

CERTIFIED SURVEY MAP APPLICATION

Pursuant to Section 18.06 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1 APPLICANT OR AGENT

THE HILLER COMPANY, LLC
(TIM HILLER)
777 N JEFFERSON ST
MILWAUKEE, WI 53202

Phone (414) 852 7037
Fax (414) 226-4960
E-Mail tim@thehillerco.com

PROPERTY OWNER

STEVEN STOFFEL
ATLANTA, GA

Phone (770) 241 0876

2 PROPERTY ADDRESS OR GENERAL LOCATION / TAX KEY NUMBER

PROPERTY ADDRESS OR GENERAL LOCATION	TAX KEY NUMBER
N104 W14281 PINGES BAY ROAD	

3 PURPOSE OF LAND SPLIT

PURPOSE OF LAND SPLIT	Will the land split require rezoning? NO	
SINGLE FAMILY LOTS	From	To

4 READ AND INITIAL THE FOLLOWING:

TH I understand that the Certified Survey Map is not valid until recorded at the Washington County Register of Deeds. The Village will record the document and charge the applicant all applicable recording fees.

TH I understand that the Map will not be placed on the Village Board agenda until all the technical corrections to the CSM are made, the payment of any outstanding impact fees are paid to the Village Clerk's Department, and the original signed and stamped copy of the Map is submitted on the proper paper.

TH I understand that parcels created outside the Sewer Service Area will require a soil test. I also understand that all properties abutting a State Highway will require DOT approval and I will be responsible for securing such approval prior to recording.

TH I understand all delinquent property taxes on any of the properties involved shall be paid prior to recording.

SIGNATURES — ALL APPLICATIONS MUST BE SIGNED BY OWNER!

5

Tim Hiller 2/1/16
Applicant Date

Owner Date

REV 1/99 U:\Planning\Wpdata\Applications\csmapp.wpd

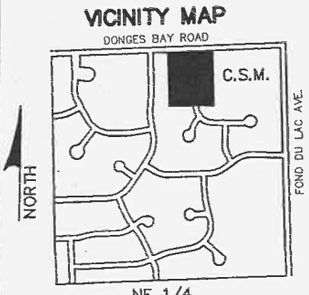
ALTERNATIVE 1

RECEIVED
FEB 01 2018
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35, TOWN 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

VICINITY MAP



NE 1/4
SEC. 35-9-20

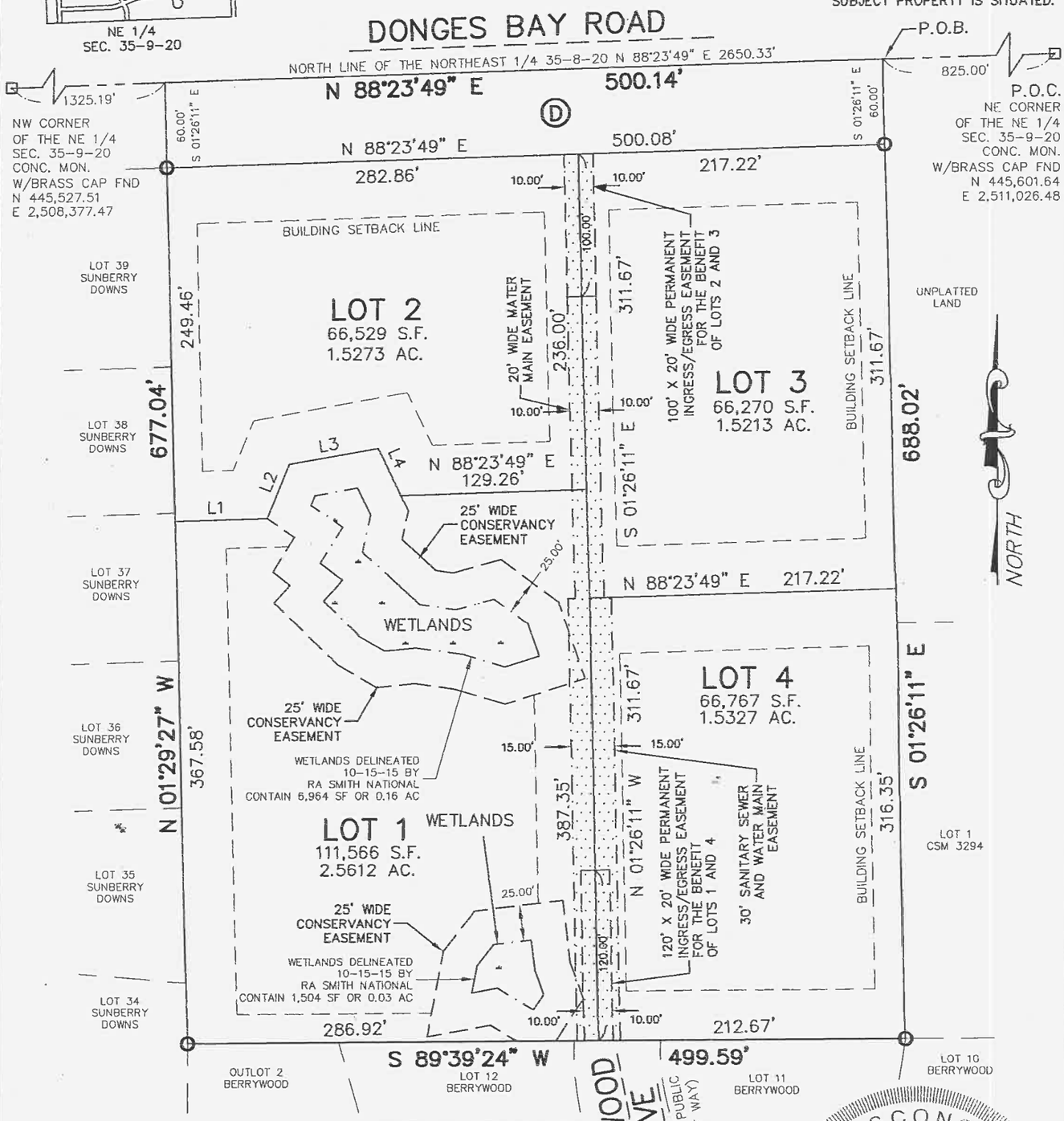
CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT STE 210
BROOKFIELD, WI 53045
PH: (262)-786-6600
WWW.CAPITOLSURVEY.COM

PREPARED FOR:
STEVEN A. STOFFEL
755 FALLS LANDING CT.
ALPHARETTA, GA 30022

SEE SHEET 2 FOR LINE TABLE.

SEE SHEET 3 FOR WETLAND AND CONSERVANCY EASEMENT DETAIL.

PORTIONS OF SUBJECT PROPERTY ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0216G, WITH A DATE OF IDENTIFICATION OF NOVEMBER 5, 2014, IN COMMUNITY NO. 55047B, THE CITY OF BROOKFIELD, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.



ALL BEARINGS REFER TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 35-9-20, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)(REVISION JAN., 2013 DATUM NAD 27) BEARING OF N 88°23'49" E.

O – 1" IRON PIPE, FOUND

(D) – INDICATES 30,007 SQUARE FEET TO BE DEDICATED TO THE PUBLIC FOR ROADWAY PURPOSES.

ZONED: RS-4 SINGLE-FAMILY RESIDENTIAL
SETBACKS:
FRONT = 40'
SIDES = 20'
REAR = 35'

GRAPHIC SCALE

100 0 50 100

1 inch = 100ft.

WISCONSIN
MICHAEL J. BERRY
S-2565
BROOKFIELD, WI
LAND SURVEYOR

THIS INSTRUMENT DRAFTED BY MICHAEL J. BERRY

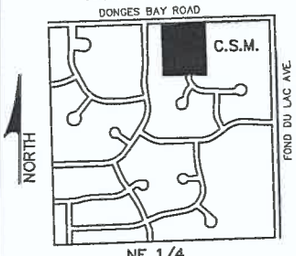
ALTERNATAIVE 2

RECEIVED
APR 7 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35, TOWN 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

VICINITY MAP



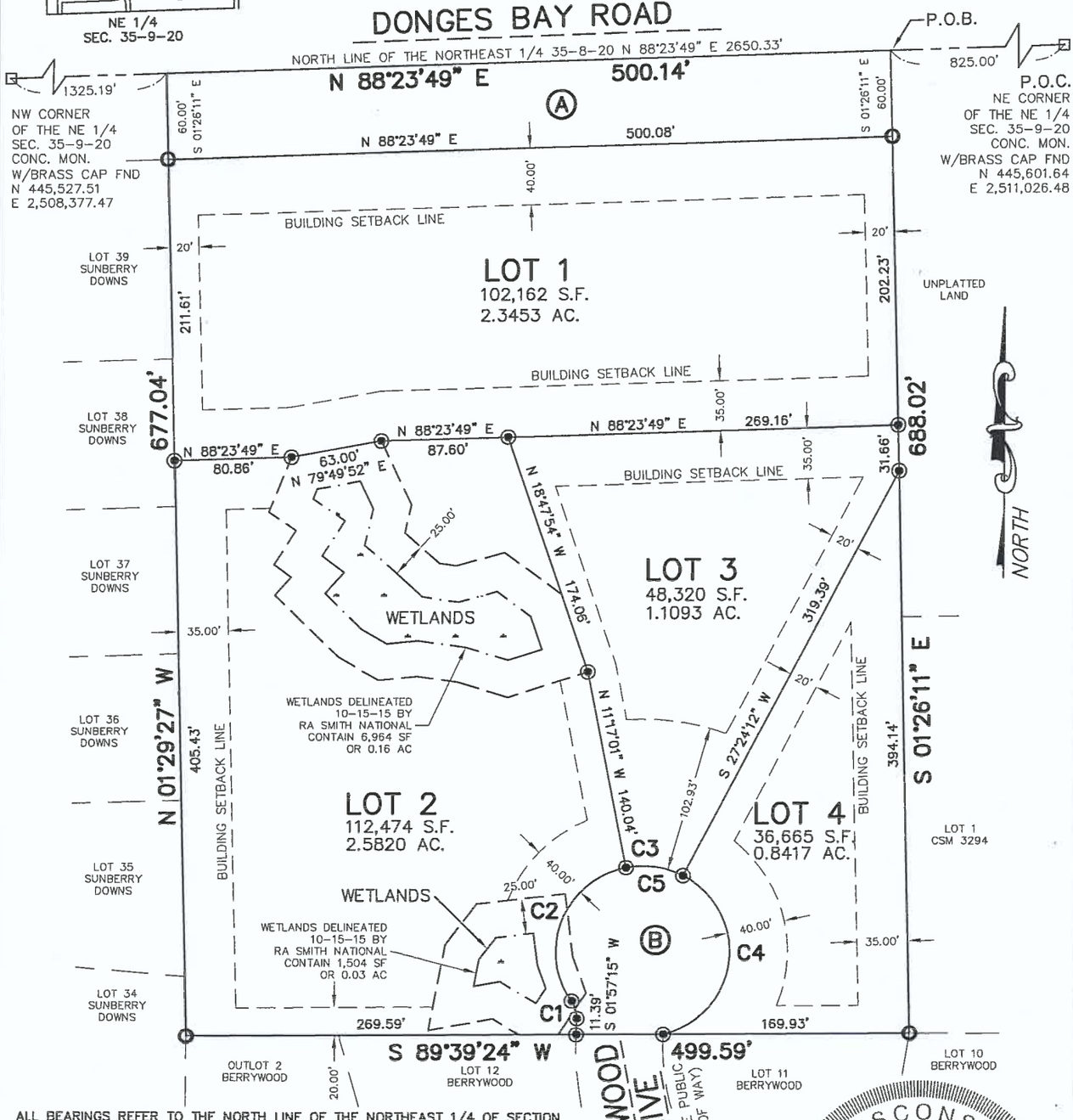
NE 1/4
SEC. 35-9-20

CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT STE 210
BROOKFIELD, WI 53045
PH: (262)-786-6600
WWW.CAPITOLSURVEY.COM

PREPARED FOR:
STEVEN A. STOFFEL
755 FALLS LANDING CT.
ALPHARETTA, GA 30022

ZONED: RS-4
SINGLE-FAMILY RESIDENTIAL
SETBACKS:
FRONT = 40'
SIDES = 20'
REAR = 35'

PORTIONS OF SUBJECT PROPERTY ARE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0216G, WITH A DATE OF IDENTIFICATION OF NOVEMBER 5, 2014, IN COMMUNITY NO. 550478, THE CITY OF BROOKFIELD, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.



ALL BEARINGS REFER TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 35-9-20, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)(REVISION JAN., 2013 DATUM NAD 27) BEARING OF N 88°23'49" E.

(A) – INDICATES 30,007 SQUARE FEET TO BE DEDICATED TO THE PUBLIC FOR ROADWAY PURPOSES.

(B) – INDICATES 11,512 SQUARE FEET TO BE DEDICATED TO THE PUBLIC FOR ROADWAY PURPOSES.

◉ INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.

○ INDICATES 1 INCH DIA. IRON PIPE, FOUND.

SEE SHEET 2 FOR CURVE TABLE.

GRAPHIC SCALE

100 0 50 100

1 inch = 100 ft.

WISCONSIN MICHAEL J. BERRY S-2515 BROOKFIELD, WI LAND SURVEYOR

THIS INSTRUMENT DRAFTED BY MICHAEL J. BERRY

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35, TOWN 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A PORTION OF LAND IN THE NORTHEAST 1/4, NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID 1/4 SECTION; THENCE SOUTH 88°23'49" WEST ALONG THE NORTH LINE OF SAID 1/4 SECTION 825.00 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE SOUTH 01°26'11" EAST 688.02' FEET; THENCE SOUTH 89°39'24" WEST 499.59 FEET; THENCE NORTH 01°29'27" WEST 677.04 FEET TO A POINT ON THE NORTH LINE OF SAID 1/4 SECTION; THENCE NORTH 88°23'49 EAST ALONG SAID NORTH LINE 500.14 FEET TO THE POINT OF BEGINNING.

LANDS CONTAIN 341,139 SQUARE FEET OR 7.8315 ACRES

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF STEVEN A. STOFFEL, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN AND CHAPTER 330 OF THE VILLAGE OF GERMANTOWN CODE OF ORDINANCES IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 7TH DAY OF MARCH, 2016.

MICHAEL J BERRY
PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN

WISCONSIN
MICHAEL J. BERRY
S-2545
BROOKFIELD, WI
LAND SURVEYOR

CURVE TABLE					
CURVE	ARC	RADIUS	BEARING	CHD. LENGTH	DELTA
C1	13.09'	20.00'	N 16°47'31" W	12.85'	37°29'31"
C2	119.65'	60.00'	N 21°35'21" E	100.79'	114°15'16"
C3	40.51'	60.00'	S 81°56'24" E	39.75'	38°41'13"
C4	145.09'	60.00'	S 06°40'52" W	112.24'	138°33'20"
C5	305.24'	60.00'	S 69°47'22" W	67.54'	291°28'58"

THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 35, TOWN 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

STEVEN A. STOFFEL, AS OWNER, CERTIFIES THAT HE HAS CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, MAPPED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE REQUIREMENTS OF THE VILLAGE OF GERMANTOWN CODE OF ORDINANCES.

THIS AGREEMENT SHALL BE BINDING ON THE UNDERSIGNED AND ASSIGNS. IN WITNESS WHERE OF, STEVEN A. STOFFEL HAS CAUSED THESE PRESENTS TO BE SIGNED AT THE VILLAGE OF GERMANTOWN, WISCONSIN, THIS ____ DAY OF _____, 2016.

IN THE PRESENCE OF:

_____ (WITNESS)

_____ STEVEN A. STOFFEL

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS_____DAY OF_____, 2016, TIM HILLER, OF THE ABOVE NAMED CORPORATION, TO ME KNOW AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE THE REPRESENTATIVE OF THE ABOVE CORPORATION, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF THE CORPORATION, BY ITS AUTHORITY.

_____
NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES:_____

VILLAGE OF GERMANTOWN PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF GERMANTOWN ON THIS DAY_____OF_____, 2016.

_____ DEAN WOLTER, VILLAGE PRESIDENT

_____ DATE

_____ BARBARA GOECKNER, VILLAGE CLERK

_____ DATE

VILLAGE OF GERMANTOWN BOARD APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF GERMANTOWN ON THIS DAY_____OF_____, 2016.

_____ DEAN WOLTER, VILLAGE PRESIDENT

_____ DATE

_____ BARBARA GOECKNER, VILLAGE CLERK

_____ DATE

WISCONSIN
MICHAEL J. BERRY
S-2445
BROOKFIELD, WI
LAND SURVEYOR

THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

Village of
Germantown
...Willkommen

Community Development Department
Jeffrey W. Retzlaff, AICP, Director
N112 W17001 Mequon Road P.O. Box 337
Germantown, WI 53022-0337
(262) 250-4735 direct line
(262) 253-8255 fax

Property Owner(s):

You are receiving this notice because you own property in the vicinity of a 7.14-acre property located on the south side of Donges Bay Road that is subject of a residential development proposal that may be of interest to you.

The development proposal discussed herein will be considered for approval by the Village Board on Monday, March 21, 2016 (meeting to be held in Village Hall starting at 7:00 p.m). While the Village Board's review of this proposal does not require a public hearing, the Plan Commission has recommended that surrounding property owners be notified and given an opportunity to provide feedback regarding the proposal at the Village Board meeting.

While currently undeveloped, the subject property received Village approval back in 2007 for a 9-lot residential subdivision known as "Walnut Grove". At that time, the development included an extension of Gatewood Place from Donges Bay Road to the northern edge of the Berrywood residential subdivision. Because of the financial crisis in 2008 and other related reasons, the owner/developer of the property did not commence development and let the various permit and plan approvals expire.

At this time, the owner/developer is proposing to divide the 7.14-acre property into four (4) lots, and, NOT extend Gatewood Place to Donges Bay Road. Under the owner/developer's proposal (a copy of two alternative site plans are included on the back of this notice), a permanent cul-de-sac would be added to the end of Gatewood Place within a portion of the existing right-of-way and onto the 7.14-acre property as needed (see enclosed site plans).

At the meeting, the Village Board will review the owner/developer's 4-lot development proposal, the Plan Commission's recommendation (to approve Alternative 1), and other information they feel is important to consider before making a decision. For that reason, you are invited to attend the Village Board meeting and provide your opinion or other feedback you feel the Board should consider. Comments on this proposal will be received during the "Citizen Input" portion at the beginning of the meeting. As an alternative, you are welcome to provide feedback in writing by letter or e-mail addressed to the Community Development Department (address above) or to your Village Trustee.

Please visit the Village website for Trustee e-mail addresses: www.village.germantown.wi.us

If you have any questions or concerns please contact Lori at (262) 250-4735 or by e-mail at: ljohnson@village.germantown.wi.us.

Respectfully,

Jeffrey W. Retzlaff, AICP
Director, Community Development Department
Village Planner/Zoning Administrator

SIGN REVIEW

4/11/16 Plan Commission Meeting

MD Development & Moore Designs Inc. / Think Design LLC

Village Planner Report **Germantown, Wisconsin**

Summary

Think Design LLC, agent for MD Development LLC & Moore Designs Inc., property owner, is seeking approval of a monument sign for the office/storage building located at W193 N10980 Kleinmann Drive in the Lannon Road Business Center.

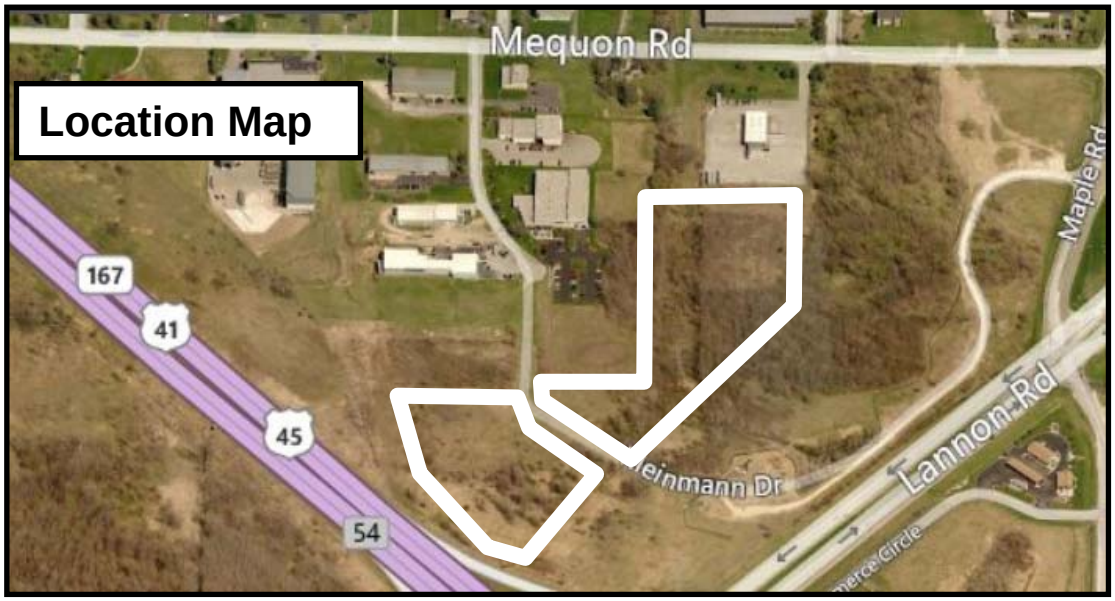
Location: W193 N10980 Kleinmann Drive

Applicant/ Property Owner:

Josh Wadzinski	Dave & Lisa Moore
Think Design LLC	MD Development & Moore Designs Inc.
2536 Wendling Ct	1707 Vogt Drive
Milwaukee, WI 53209	West Bend, WI 53095

Current Zoning: B-5: Highway Business

Adjacent Land Uses		Zoning
North	Industrial	M-1
South	Commercial	B-5
East	Commercial	B-5
West	USH 41/45	n/a



Proposal

Think Design LLC, agent for MD Development LLC & Moore Designs Inc., property owner, is seeking approval of a monument sign for the office/storage building located at W193 N10980 Kleinmann Drive in the Lannon Road Business Center:

- 5’ x 7’ (35 sqft) monument sign comprised of an aluminum cabinet lit by two small overhead lights supported by a 6’4” x 10’6” wooden frame mounted on a 2’ high concrete base w/ stucco finish.

Staff Analysis/Comments

The proposed monument sign meets the applicable Village sign regulations except for the street address coordinate requirement on the base. The existing landscaping around the sign bases will be freshened up as presented in the attached landscape plan.

Village Planner Recommendation

APPROVE the proposed monument sign for the existing storage/office building located at W193 N10980 Kleinmann Drive subject to the following conditions:

1. Electrical permits shall be obtained from Inspection Services prior to installation.
2. All electronic components shall be inspected and labeled by a licensed lab.
3. Address coordinates and street name with minimum 5” lettering shall be installed on the monument sign base.

Village of Germantown ...Willkommen

Fee must accompany application

$275 Sign Review Fee

$ 75 Sign Face Replacement

Paid [illegible] Date 3-8-16

SIGN REVIEW APPLICATION

Pursuant to Section 17.46 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1 APPLICANT OR AGENT

JOSHUA WADZINSKI, ARCHITECT
THINK DESIGN, LLC
2536 WEST WENONG COURT
MILWAUKEE, WI 53209
Phone (414) 247-0052
Fax ( )
E-Mail info@thinkdesign-studio.com

PROPERTY OWNER

MD DEVELOPMENT (DAVE + LISA MOORE)
1707 VOGT DRIVE
WEST BEND, WI 53095
Phone (262) 306 1004

2 PROPERTY ADDRESS OR GENERAL LOCATION

W193 N10980 Kleinmann Drive (MOORE'S STORAGE BUILDING)
GERMANTOWN, WI

3 SIGN INFORMATION

Sign Dimensions (5'-0" SIGN STRUCTURE / 0'-4") height x (7'-0" / 10'-6") width — Single/Multi Tenant (circle one)
Number of Sides One — Building Frontage SF 2,175 SF
Total Square Footage of Sign (include all sides) 35 SF for Sign Box
Total height of the Sign 8'-4"
Is the Sign to be illuminated X yes ____ no
Type of Sign Construction Materials wood, stucco, metal
Distance to Closest Property Line 36'

Are there any existing signs on the property No
If yes, what is the total Square Footage of existing signs —

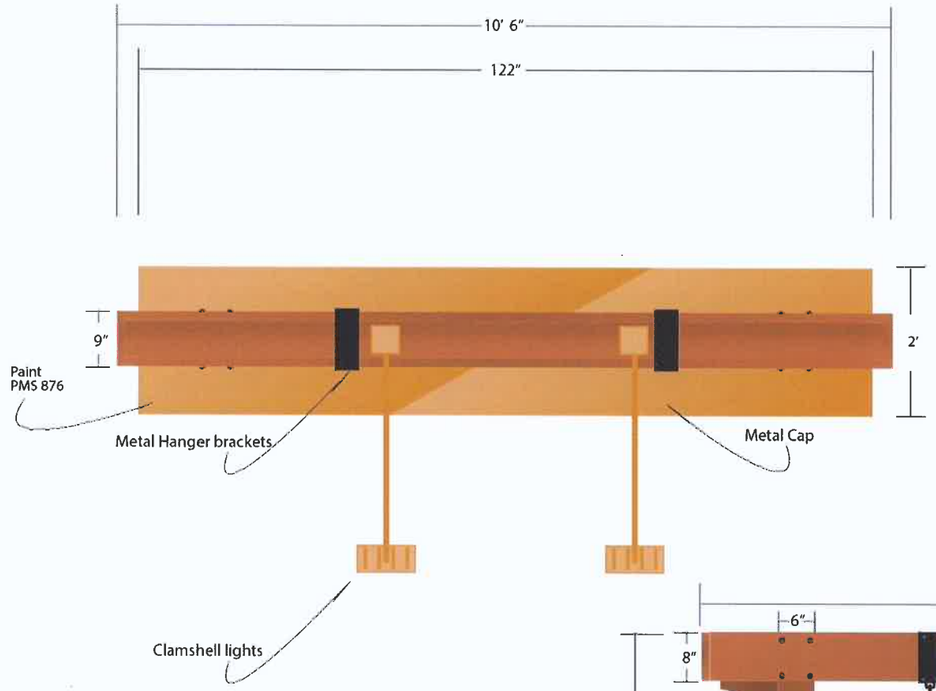
What are the intentions for the existing signs: Take down NA Remain NA

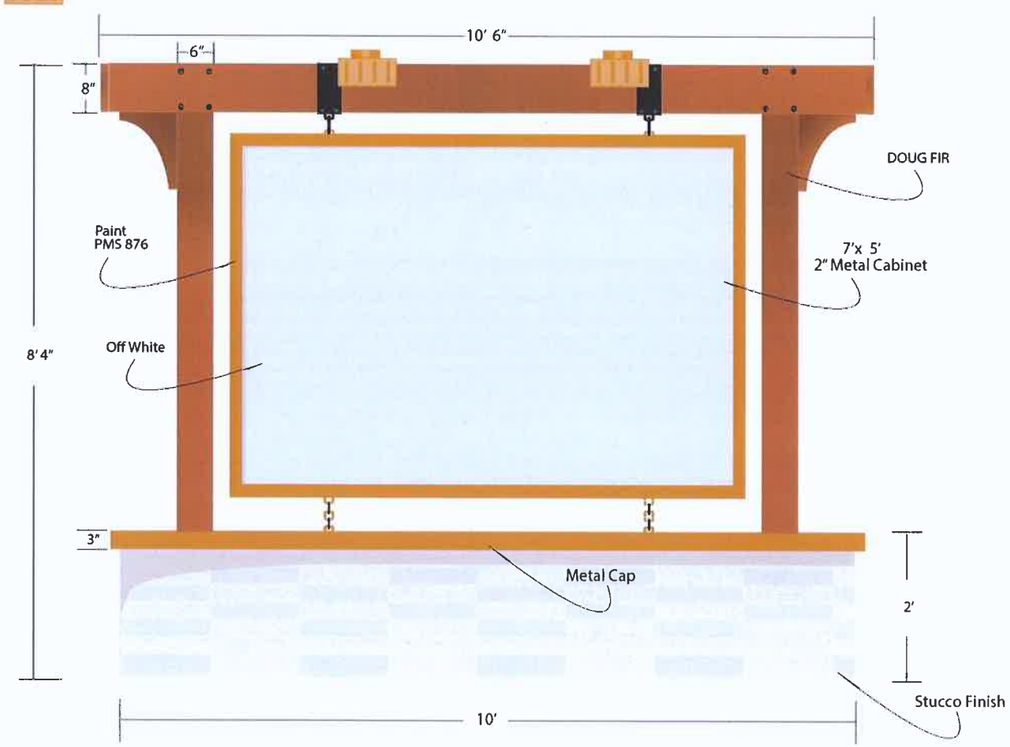
4 SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Applicant 3/8/2016 Date

Owner 3-8-2016 Date

Storage Building Driveway Sign





RECEIVED
MAR 08 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

FOERSTER SIGNS LLC
262-644-8553

Client

Moore Design, Inc.
West Bend, WI
53096

Size

10' 6" x 8' 4"

Square Ft

SqFt: 80

Face

Single Face

Quantity

(1) one

Material

Metal Cabinet
Doug Fir Timber
Stucco Finish Base
Metal Cap

Colors

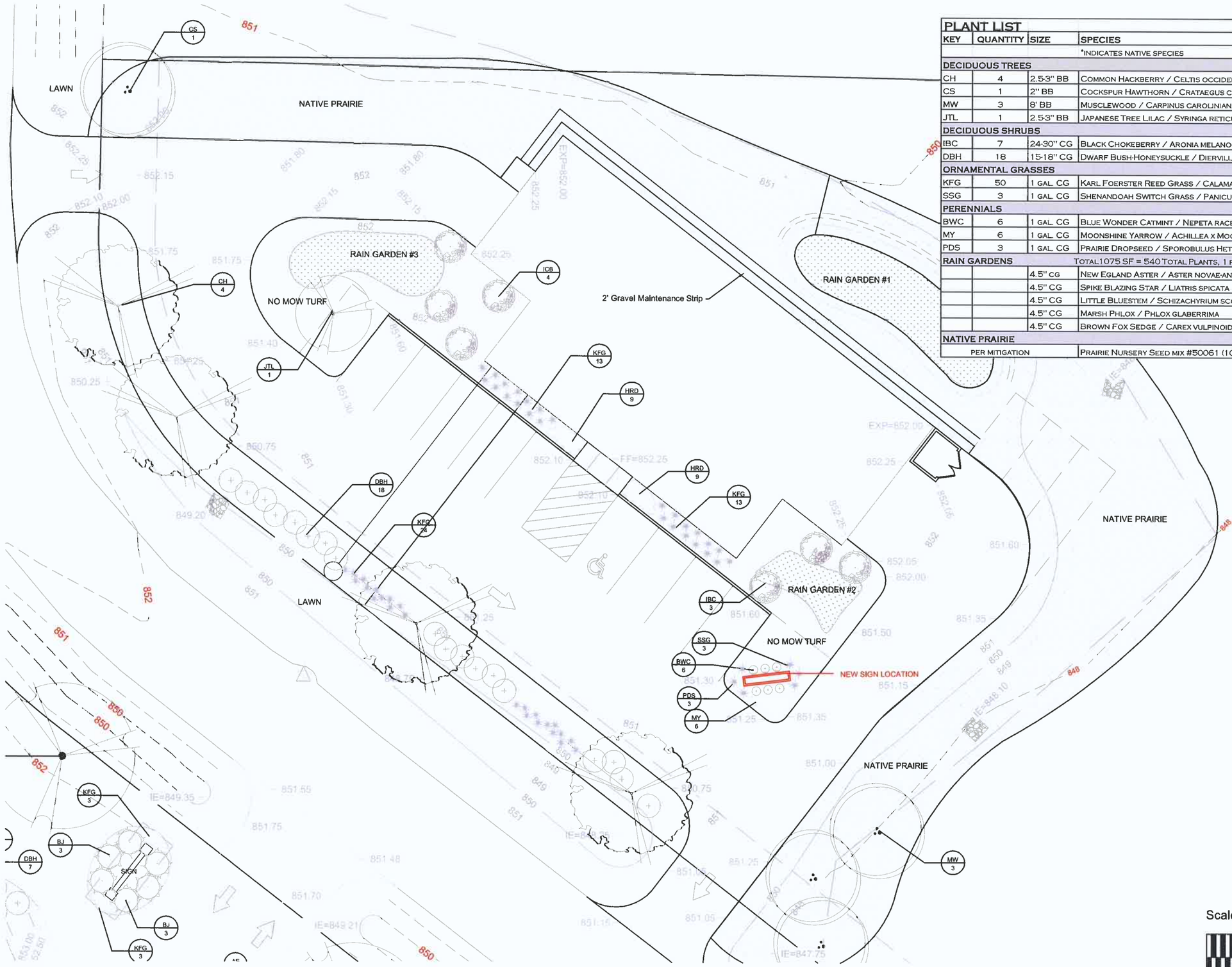
- PMS 876
- (Logo)Charcoal Gray
- (Logo)Dark Gray
- (Logo)Beige

Representative

Corey Foerster

*Production cannot begin until we receive your authorization.

DISCLAIMER: All artwork is property of F.S. and cannot be reproduced without Foerster Signs LLC permission. It is illegal to duplicate or reproduce copyrighted artwork without prior written consent.



PLANT LIST

KEY	QUANTITY	SIZE	SPECIES
			*INDICATES NATIVE SPECIES
DECIDUOUS TREES			
CH	4	2.5-3" BB	COMMON HACKBERRY / CELTIS OCCIDENTALIS*
CS	1	2" BB	COCKSPUR HAWTHORN / CRATAEGUS CRUS-GALLI*
MW	3	8' BB	MUSCLEWOOD / CARPINUS CAROLINIANA*
JTL	1	2.5-3" BB	JAPANESE TREE LILAC / SYRINGA RETICULATA
DECIDUOUS SHRUBS			
IBC	7	24-30" CG	BLACK CHOKEBERRY / ARONIA MELANOCARPA*
DBH	18	15-18" CG	DWARF BUSH-HONEYSUCKLE / DIERVILLA LONICERA*
ORNAMENTAL GRASSES			
KFG	50	1 GAL. CG	KARL FOERSTER REED GRASS / CALAMAGROSTIS ACUTIFLORA KARL FOERSTER
SSG	3	1 GAL. CG	SHENANDOAH SWITCH GRASS / PANICUM VIRGATUM SHENANDOAH
PERENNIALS			
BWC	6	1 GAL. CG	BLUE WONDER CATMINT / NEPETA RACEMOSA BLUE WONDER
MY	6	1 GAL. CG	MOONSHINE YARROW / ACHILLEA X MOONSHINE
PDS	3	1 GAL. CG	PRAIRIE DROPSEED / SPOROBULUS HETEROLEPIS
RAIN GARDENS			TOTAL 1075 SF = 540 TOTAL PLANTS, 1 PLANT / 2 SQUARE FEET
		4.5" CG	NEW EGLAND ASTER / ASTER NOVAE-ANGLIAE
		4.5" CG	SPIKE BLAZING STAR / LIATRIS SPICATA
		4.5" CG	LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM
		4.5" CG	MARSH PHLOX / PHLOX GLABERRIMA
		4.5" CG	BROWN FOX SEDGE / CAREX VULPINOIDEA
NATIVE PRAIRIE			
PER MITIGATION			PRAIRIE NURSERY SEED MIX #50061 (10LBS. / ACRE)

Moore Design Office

Bob Diel
3.8.16

Scale: 1" = 20'-0"

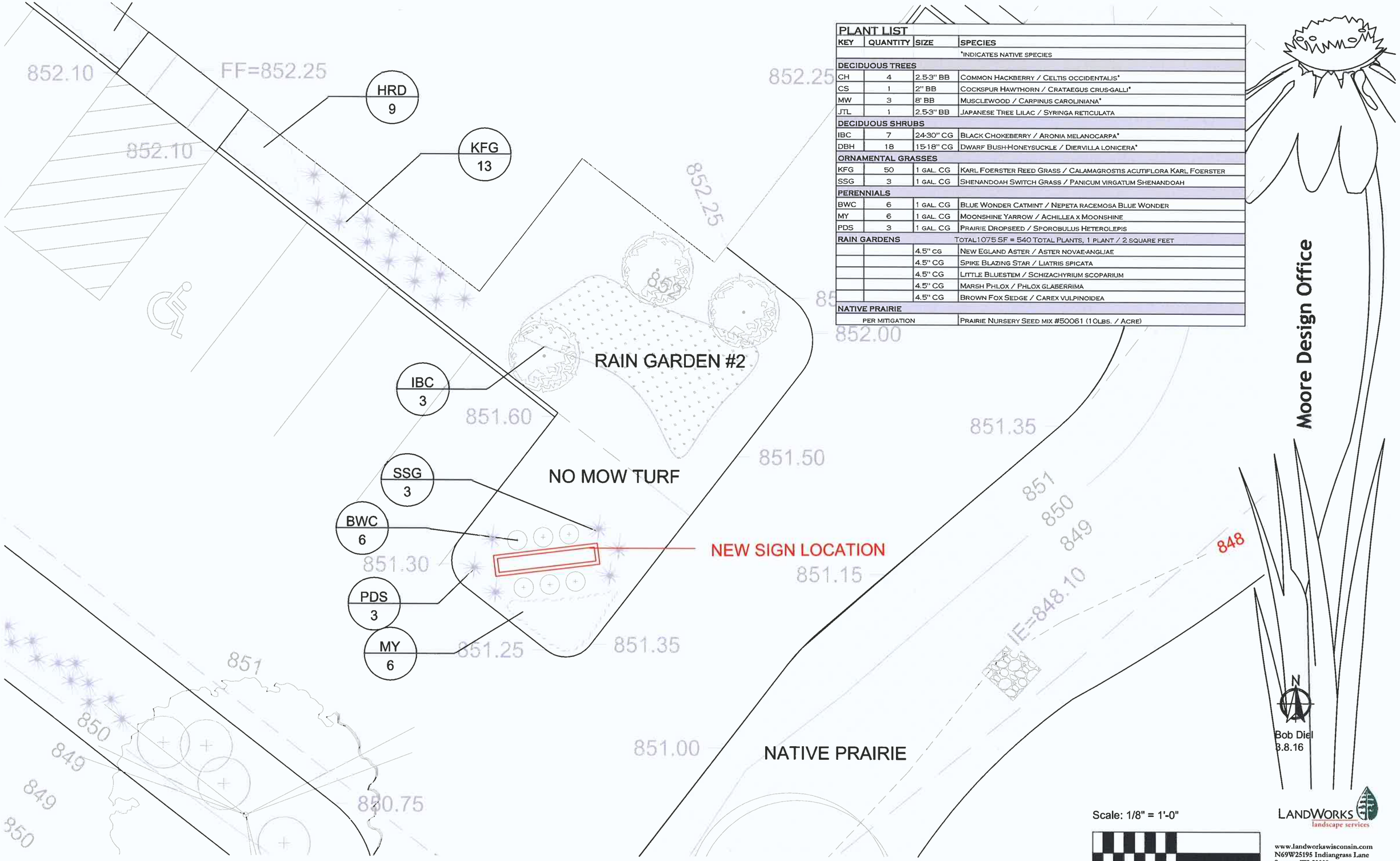
0' 20' 40'

LANDWORKS landscape services

www.landworkswisconsin.com
N69W25195 Indiangrass Lane
Sussex, WI 53089
p.262.820.2501

LANDSCAPE CONCEPT

This drawing is made solely for the individual named herein and is the property of LandWorks, Inc. Any unauthorized use or duplication is in violation of the copyright laws & subject to prosecution.



PLANT LIST

KEY	QUANTITY	SIZE	SPECIES
			*INDICATES NATIVE SPECIES
DECIDUOUS TREES			
CH	4	2.5-3" BB	Common Hackberry / Celtis occidentalis*
CS	1	2" BB	Cockspur Hawthorn / Crataegus crus-galli*
MW	3	8' BB	Musclewood / Carpinus caroliniana*
JTL	1	2.5-3" BB	Japanese Tree Lilac / Syringa reticulata
DECIDUOUS SHRUBS			
IBC	7	24-30" CG	Black Chokeberry / Aronia melanocarpa*
DBH	18	15-18" CG	Dwarf Bush-Honeysuckle / Diervilla lonicera*
ORNAMENTAL GRASSES			
KFG	50	1 gal. CG	Karl Foerster Reed Grass / Calamagrostis acutiflora Karl Foerster
SSG	3	1 gal. CG	Shenandoah Switch Grass / Panicum virgatum Shenandoah
PERENNIALS			
BWC	6	1 gal. CG	Blue Wonder Catmint / Nepeta racemosa Blue Wonder
MY	6	1 gal. CG	Moonshine Yarrow / Achillea x Moonshine
PDS	3	1 gal. CG	Prairie Dropseed / Sporobulus Heterolepis
RAIN GARDENS			Total 1075 SF = 540 Total Plants, 1 plant / 2 square feet
		4.5" CG	New Egland Aster / Aster novae-angliae
		4.5" CG	Spike Blazing Star / Liatris spicata
		4.5" CG	Little Bluestem / Schizachyrium scoparium
		4.5" CG	Marsh Phlox / Phlox glaberrima
		4.5" CG	Brown Fox Sedge / Carex vulpinoidea
NATIVE PRAIRIE			
per mitigation			Prairie Nursery Seed mix #50061 (10 lbs. / Acre)

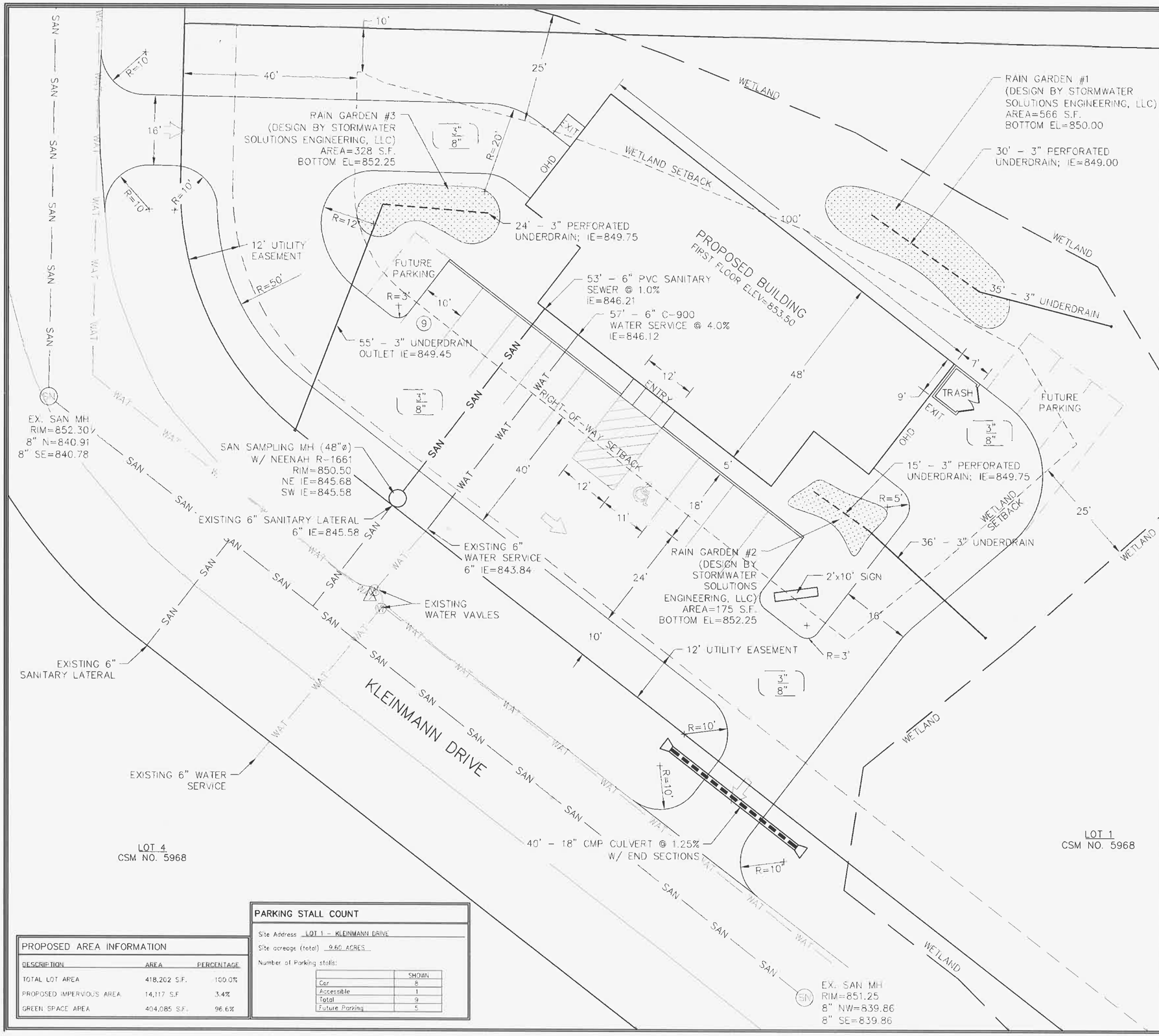
Scale: 1/8" = 1'-0"

0' 8' 16'

LandWorks landscape services
www.landworkswisconsin.com
N69W25195 Indiangrass Lane
Sussex, WI 53089
p.262.820.2501

NEW SIGN LANDSCAPING CONCEPT

This drawing is made solely for the individual named herein and is the property of LandWorks, Inc. Any unauthorized use or duplication is in violation of the copyright laws & subject to prosecution.



PROPOSED AREA INFORMATION		
DESCRIPTION	AREA	PERCENTAGE
TOTAL LOT AREA	418,202 S.F.	100.0%
PROPOSED IMPERVIOUS AREA	14,117 S.F.	3.4%
GREEN SPACE AREA	404,085 S.F.	96.6%

PARKING STALL COUNT

Site Address LOT 1 - KLEINMANN DRIVE

Site acreage (total) 9.60 ACRES

Number of Parking stalls:

	SHOWN
Car	8
Accessible	1
Total	9
Future Parking	5

0 10 20

THE CONTRACTOR SHALL CONTACT THE VILLAGE'S PUBLIC WORKS DEPARTMENT AT (262) 250-4721 AT LEAST TWO (2) BUSINESS DAYS BEFORE GENERAL CONSTRUCTION AND PUBLIC UTILITY CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY, TRAFFIC CONTROL, EROSION CONTROL, LABOR COMPLIANCE NUISANCE ABATEMENT.

PAVING LEGEND

3/4" 8" — 1 3/4" ASPHALT SURFACE & 1 1/4" ASPHALT BINDER 8" AGGREGATE BASE COURSE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

UTILITY CONSTRUCTION NOTES:

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF GERMANTOWN AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

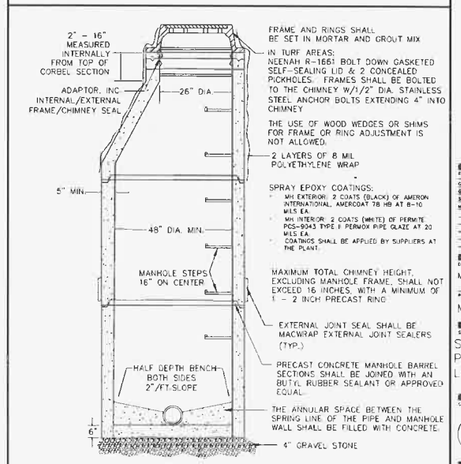
ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

ALL EXISTING PUBLIC VALVES AND HYDRANTS WILL ONLY BE OPERATED BY THE VILLAGE WATER UTILITY DEPARTMENT PERSONNEL.



SAMPLING MANHOLE DETAIL

THINK DESIGN, LLC

PROJECT
Moore Germantown Offices & Storage Building
Kleinmann Drive
Germantown, WI
TEL: (262) 306-1004

OWNER
Moore Designs
1707 Vogt Drive
West Bend, WI 53095
TEL: (262) 306-1004

GENERAL CONTRACTOR
Moore Designs, Inc.

CONSULTANTS

REVISIONS
Contractor Site Plan Review 4/14/2014
Germantown Review 5/14/2014
Bolts Submittal 6/26/2014
MSD Storage Bldg Permit 10/14/2014

DATE
March 4, 2016

PROJECT CODE
MGO-1072013

SHEET TITLE
SITE, UTILITY & PAVING PLAN LOT 1

SHEET NUMBER
C3.1

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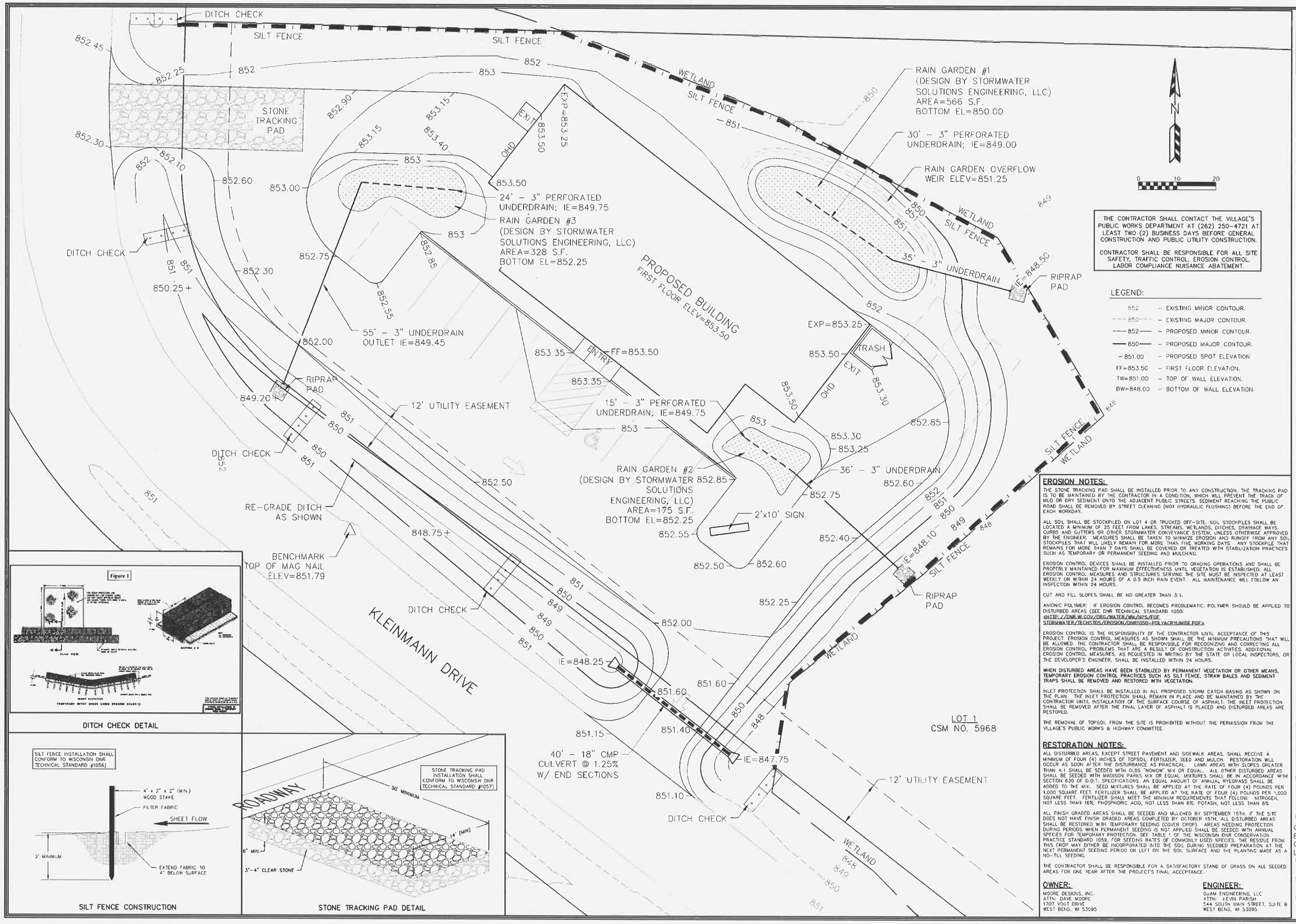

THE CONTRACTOR SHALL CONTACT THE VILLAGE'S PUBLIC WORKS DEPARTMENT AT (262) 250-4721 AT LEAST TWO (2) BUSINESS DAYS BEFORE GENERAL CONSTRUCTION AND PUBLIC UTILITY CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY, TRAFFIC CONTROL, EROSION CONTROL, LABOR COMPLIANCE NUISANCE ABATEMENT.

LEGEND:

852	- EXISTING MINOR CONTOUR.
850	- EXISTING MAJOR CONTOUR.
852	- PROPOSED MINOR CONTOUR.
850	- PROPOSED MAJOR CONTOUR.
- 851.00	- PROPOSED SPOT ELEVATION
FF=853.50	- FIRST FLOOR ELEVATION.
TW=851.00	- TOP OF WALL ELEVATION.
BW=848.00	- BOTTOM OF WALL ELEVATION.

EROSION NOTES:

THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

ALL SOIL SHALL BE STOCKPILED ON LOT 4 OR TRUCKED OFF-SITE. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 25 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

ANIONIC POLYMER: IF EROSION CONTROL BECOMES PROBLEMATIC, POLYMER SHOULD BE APPLIED TO DISTURBED AREAS (SEE DNR TECHNICAL STANDARD 1050: <HTTP://DNR.WI.GOV/ORG/WATER/WM/NPS/PDF STORMWATER/TECHSTDS/EROSION/DNR1050-POLYACRYLAMIDE.PDF>.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

WHEN DISTURBED AREAS HAVE BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY EROSION CONTROL PRACTICES SUCH AS SILT FENCE, STRAW BALES AND SEDIMENT TRAPS SHALL BE REMOVED AND RESTORED WITH VEGETATION.

INLET PROTECTION SHALL BE INSTALLED IN ALL PROPOSED STORM CATCH BASINS AS SHOWN ON THE PLAN. THE INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL INSTALLATION OF THE SURFACE COURSE OF ASPHALT. THE INLET PROTECTION SHALL BE REMOVED AFTER THE FINAL LAYER OF ASPHALT IS PLACED AND DISTURBED AREAS ARE RESTORED.

THE REMOVAL OF TOPSOIL FROM THE SITE IS PROHIBITED WITHOUT THE PERMISSION FROM THE VILLAGE'S PUBLIC WORKS & HIGHWAY COMMITTEE.

RESTORATION NOTES:

ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%, PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

OWNER:
MOORE DESIGNS, INC.
ATTN: DAVE MOORE
1707 VOGT DRIVE
WEST BEND, WI 53095

ENGINEER:
QUAM ENGINEERING, LLC
ATTN: KEVIN PARISH
544 SOUTH MAIN STREET, SUITE B
WEST BEND, WI 53095

DITCH CHECK DETAIL

SILT FENCE CONSTRUCTION

STONE TRACKING PAD DETAIL

THINK DESIGN, LLC

PROJECT
Moore Germantown Offices & Storage Building
Kleinmann Drive
Germantown, WI
TEL: (262) 306-1004

OWNER
Moore Designs
1707 Vogt Drive
West Bend, WI 53095
TEL: (262) 306-1004

GENERAL CONTRACTOR
Moore Designs, Inc.

CONSULTANTS

REVISIONS
Germantown Site Plan Review 6/24/2014
Contractor Review 1/16/2014
Plan Submittal 8/25/2014
MID Storage Bldg Permit 10/14/2014

DATE
March 4, 2016

PROJECT CODE
MGO-1072013

SHEET TITLE
GRADING & EROSION CONTROL PLAN LOT 1

SHEET NUMBER
C3.0

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SIGN PERMIT REVIEW

4/11/16 Plan Commission Meeting

Bethlehem Lutheran Church / Innovative Signs

Village Planner Report **Germantown, Wisconsin**

Summary

Innovative Signs, agent for Bethlehem Lutheran Church, property owner, is requesting approval of modifications to an existing monument sign for the existing church/school facility located at N108 W14290 Bel Aire Lane.

Property Location: N108 W14290 Bel Aire Lane

Applicant/
Property Owner:

Jaime Dieman
Innovative Signs
21795 Doral Road
Waukesha, WI

Bethlehem Lutheran Church
N108 W14290 Bel Aire Lane
Germantown, WI 53022

Current Zoning: I: Institutional

Adjacent Land Uses		Zoning
North	Residential	Rs-3/Rs-4
South	Residential	Rs-5
East	Residential	Rs-3/Rs-4
West	Residential	Rs-5

Proposal

Innovative Signs, agent for Bethlehem Lutheran Church, property owner, is requesting approval of modifications to an existing monument sign for the existing church/school facility located at N108 W14290 Bel Aire Lane:

- Addition of an electronic message center 2’4” high x 8’6" wide (19.8 sqft) to the existing double-sided monument sign (4’ x 8’6” or 34 sqft). The message board is integrated within the existing sign cabinet and comprises only 36 percent of the total sign area (under the 40% maximum allowed).

The existing monument sign is located at a point nearest to the Fond du Lac Avenue @ Bel Aire Lane intersection and was approved back in August, 2013. The top sign face has an opaque background and complies with the sign regulations. No other modifications are proposed.

Staff Comments

The existing monument sign meets the Village's area and other dimensional requirements for monument signs in the Zoning Code, including the requirements for base materials and landscaping.

The installation and operation of electronic message boards are subject to a series of eight (8) specific requirements under Section 17.46(7)(h) of the Zoning Code (copy attached). The one subjective requirement that the Plan Commission needs to consider is #2 regarding the sign location relative to residential districts and uses. The land to the east and south is located in separate residential zoning districts with the actual sign base located approximately 115’ from the south district boundary and 100’ from the east boundary; both less than the 150’ setback distance required in the sign regulations. The PC needs to determine if the proposed setback distance is sufficient or if the message board would create a negative impact on the neighboring residential properties.

Additional information is also required from the manufacturer regarding the lighting levels and automatic adjustment features of the message board to prove compliance with requirements #6 and #7.

Village Planner Recommendation

APPROVE the proposed message board modification to the existing monument sign for Bethlehem Lutheran Church located at N108 W14290 Bel Aire Lane subject to the following conditions:

1. A separate electrical permit shall be obtained from Inspection Services prior to installation.
2. All electronic components shall be labeled by a licensed lab and inspected prior to or concurrent with installation.
3. The owner/operator shall provide an “electronic message board use & maintenance agreement” to the Village Planner prior to issuance of an electrical permit as required under 17.46(7)(h) of the Zoning Code.
4. The owner/operator shall provide written evidence to the Zoning Administrator from the sign manufacturer and/or installer that the electronic message board complies with the automatic light level adjustment and other operational requirements prior to issuance of an electrical permit as required under 17.46(7)(h)6. and (h)7. of the Zoning Code.
5. The owner/operator shall operate and maintain the electronic message board in compliance with the message display appearance, duration/timing and all other requirements under 17.46(7)(h) at all times.
6. The monument sign shall be moved to a point where the minimum setback distance from the nearest residential zoning district boundary is 150 feet or greater.

Section 17.46(7)(h) ELECTRONIC MESSAGE BOARDS.
Electronic message boards may be permitted by the Plan Commission but only as an integral and subordinate portion of a freestanding monument or ground sign (and not a wall, projecting, window or any other sign) provided said monument sign complies with the provisions set forth in section 17.46(7)(c) above. Electronic message boards may be allowed with approval by the Plan Commission and shall meet all of the following requirements:

1. Electronic message boards may be allowed for permitted and conditional uses located within the B-1, B-2, B-3, B-4, B-5, I, M-1 and M-2 zoning districts, except on those lots within the boundaries of the Germantown Business Park and Willow Creek Business Park of Germantown;
2. Electronic message boards shall not be located within 150 feet of a residential zoning district boundary, or, be located, designed or operated in such a manner as to create in the opinion of the Plan Commission at the time of sign approval a negative visual impact on property used for existing residential uses;
3. Electronic message boards may be installed as part of an existing monument or ground sign which is in compliance with all applicable requirements of this chapter and other applicable requirements of law. No electronic message board may be installed on or otherwise be made part of a nonconforming sign;
4. Electronic message boards shall only display static messages. Messages shall not contain animation, effects simulating animation, or video. Messages shall not contain text or images that dissolve, fade, scroll, travel, flash, spin, revolve, shake or include any other type of movement or motion during the message interval. The message interval, i.e. the minimum amount of time a message is required to be displayed, shall not be less than 7 seconds. The transition interval, i.e. the maximum amount of time allowed to transition from one message to the next message, may include fading, dissolving or traveling but shall not exceed 3 seconds;
5. The sign area or display face of the message board shall be included in the calculation of sign area for the monument or ground sign to which it is attached, and, shall not exceed 40 percent of the total sign area allowed for the monument or ground sign to which it is attached;
6. Electronic message boards shall be equipped with a sensor or other device that is programmed to automatically determine the ambient light level and adjust or dim the message board light level to not exceed a maximum brightness level of 0.3 foot-candles above ambient light conditions during both daylight hours (i.e. sunrise to sunset) and night time hours (i.e. sunset to sunrise);
7. The electronic message board shall be programmed or set in such a manner that the display face will turn dark and emit no light in case of a malfunction;
8. The owner of the property upon which a ground sign containing off-premises signage is located is responsible for preparing and keeping up-to-date information in an electronic message board use and maintenance agreement that identifies the name and contact information for the person(s) responsible for maintaining the message board and ensuring that the use and content of the message board complies with the provisions set forth herein on a continual basis.

Village of Germantown ...Willkommen

Fee must accompany application

$275 Sign Review Fee

$ 75 Sign Face Replacement

Paid ✓ Date 2-29-16

SIGN REVIEW APPLICATION

Pursuant to Section 17.46 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1 APPLICANT OR AGENT

Jaime Dieman

Innovative Signs

21795 Doral Road, Ste B

Waukesha, WI 53186

Phone (262) 432-1330

Fax (262) 432-1331

E-Mail jaime@innovative-signs.com

PROPERTY OWNER

Bethlehem Evangelical Lutheran Church

N108 W14290 Bel Aire Lane

Germantown, WI 53022

Phone (262) 251-3555

2 PROPERTY ADDRESS OR GENERAL LOCATION

N108 W14290 Bel Aire Lane

3 SIGN INFORMATION

Sign Dimensions 77.75" height x 102" width Single/Multi Tenant (circle one)

Number of Sides 2 Building Frontage SF _____

Total Square Footage of Sign (include all sides) 110.15

Total height of the Sign 100.75"

Is the Sign to be illuminated ✓ yes _____ no

Type of Sign Construction Materials Aluminum, plastic

Distance to Closest Property Line _____

Are there any existing signs on the property Existing sign Remaining adding EMC

If yes, what is the total Square Footage of existing signs _____

What are the intentions for the existing signs: Take down _____ Remain ✓

4 SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Jaime Dieman 2/25/16

Applicant Date

Jonathan Schanley 02/24/16

Owner Date

Bethlehem Lutheran Sign Permit Request

RECEIVED
FEB 29 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

Project Name: Bethlehem Lutheran Church & School

Property Address: N108 W14290 Bel Aire Lane

Applicant Name: Innovative Signs

Contact Person: Jaime Dieman

Applicant Address: 21795 Doral Road, Ste B

City: Waukesha **State**: WI **Zip**: 53186

Intent

This document comprises the Sign Permit request for Bethlehem Lutheran Church & School located at N108 W14290 Bel Aire Lane in the village of Germantown. Bethlehem Church & School is requesting a sign permit for adding an EMC Message board to an already existing monument sign.

Details

The following points detail how the addition of an EMC message board to the current monument sign will comply with Village of Germantown Municipal Code 17.46.

1. The current base will not be changing. The church already has a decorative brick base that compliments the principal building. The street coordinates are currently displayed on the base as required and will remain. The height, placement, and materials of the bases will remain the same.
2. The addition of an EMC message board will still comply with code 17.46 (7)(C)(Table 1). The monument sign will be 55.07sf per side, which will fall under the allowed 80sf per side. The sign will also be 100.75" in height which will fall below the 10ft maximum height required.
3. Bethlehem Lutheran Church agrees to follow the EMC Ordinances found in 17.46(7)(h). The messages displayed will be static with no animation, effects simulating animation or video. No messages will dissolve, fade, scroll, travel, flash, spin, revolve, shake or include any other type of movement or motion during the message interval. The message interval shall not be less than 7 seconds. The transition interval shall not exceed 3 seconds.
4. The added EMC follows code 17.46(7)(h)(5) in that it does not exceed 40% of the total sign area allowed for the monument. Bethlehem Lutheran also agrees to follow all other municipal codes relating to EMC Message signs.

THE INFORMATION CONTAINED IN THIS RENDERING IS PROPRIETARY AND CONFIDENTIAL TO D3 LED, LLC. THIS RENDERING MAY BE SUBJECT TO A NON DISCLOSURE AGREEMENT. IF YOU ARE THE INTENDED RECIPIENT OF THIS RENDERING YOU MAY NOT DISCLOSE THE CONTENTS OF THIS RENDERING TO ANYONE ELSE WITHOUT THE PRIOR APPROVAL OF D3 LED. IF YOU ARE NOT THE INTENDED RECIPIENT OF THIS RENDERING, THEN YOUR POSSESSION OF USE OF THIS RENDERING MAY CONSTITUTE MISAPPROPRIATION OF TRADE SECRETS. THE INFORMATION CONTAINED IN THIS RENDERING IS THE SOLE PROPERTY OF D3 LED. THIS RENDERING IS PROTECTED BY U.S. AND FOREIGN COPYRIGHT LAWS. ANY REPRODUCTION OF THIS RENDERING, IN WHOLE OR IN PART, WITHOUT THE PERMISSION OF D3 LED IS PROHIBITED.

D3 DYNAMIC DIGITAL DISPLAYS

SIGN REVIEW

4/11/16 Plan Commission Meeting

Cambridge Major Laboratories / Innovative Signs

Village Planner Report **Germantown, Wisconsin**

Summary

Innovative Signs, agent for Cambridge Major Laboratories, property owner, is seeking approval of replacement monument signs for the campus of buildings located in the Germantown Business Park.

Location: W130 N10437 Washington Drive
W130 N10497 Washington Drive
W132 N10550 Grant Drive

Applicant/ Owner:

Jaime Dieman	Adam Kujath, Dir of Operations
Innovative Signs	Cambridge Major Laboratories
21795 Doral Road	W130 N10497 Washington Drive
Waukesha, WI	Germantown, WI 53022

Current Zoning: M-1: Limited Industrial

Adjacent Land Uses		Zoning
North	Industrial	M-1
South	Industrial	M-1
East	Industrial	M-1
West	Industrial	M-1

Proposal

Innovative Signs, agent for Cambridge Major Laboratories, property owner, is seeking approval of three (3) replacement monument signs for the following buildings located in the Germantown Business Park.

The same type and size sign is proposed at all three (3) buildings and will replace the existing sign in the same location:

- 4’ x 8 (32 sqft) monument sign comprised of a custom “pylon” non-illuminated aluminum cabinet with acrylic lettering/logo. The cabinet is mounted on a 1’ high concrete base w/ stucco finish.

Staff Analysis/Comments

The proposed monument signs meet the applicable Village sign regulation and Business Park. The existing landscaping around the sign bases will be freshened up as presented in the attached landscape plan.

Village Planner Recommendation

APPROVE the proposed replacement monument signs for the existing three (3) buildings on the Cambridge Major Laboratories campus in the Germantown Business Park subject to the following conditions:

1. Electrical permits shall be obtained from Inspection Services prior to installation.
2. All electronic components shall be inspected and labeled by a licensed lab.

Village of Germantown ...Willkommen

Fee must accompany application

$275 Sign Review Fee

$ 75 Sign Face Replacement

Paid ✓ Date 3-7-16

SIGN REVIEW APPLICATION

Pursuant to Section 17.46 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1 APPLICANT OR AGENT

Jaime Dieman
Innovative Signs
21795 Doral Road, Ste B
Waukesha, WI 53186
Phone (262) 432-1330
Fax (262) 432-1331
E-Mail jaime@innovative-signs.com

PROPERTY OWNER

Adam Kujath, Senior Director of Operations
Cambridge Major Laboratories
W130 N10497 Washington Drive
Germantown, WI 53022
Phone (262) 251-5044 xt 277

2 PROPERTY ADDRESS OR GENERAL LOCATION

W130 N10497 Washington Drive

3 SIGN INFORMATION

Sign Dimensions 8' height x 4' width Single/Multi Tenant (circle one)
Number of Sides 2 Building Frontage SF _____
Total Square Footage of Sign (include all sides) 64
Total height of the Sign 8'
Is the Sign to be illuminated _____ yes X no
Type of Sign Construction Materials Aluminum, Acrylic, Steel
Distance to Closest Property Line _____

Are there any existing signs on the property These three monuments will be replacing existing monuments
If yes, what is the total Square Footage of existing signs 136.64 Faces Only

What are the intentions for the existing signs: Take down X Remain _____

4 SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Jaime Dieman 3/4/16
Applicant Date

See attached property owner approval
Owner Date

PROPERTY OWNER APPROVAL

TO: CAMBRIDGE MAJOR LABORATORIES

W130 N10497 Washington Drive

Germantown, WI 53022

FROM: Innovative Signs

21795 Doral Road, Ste B

Waukesha, WI 53186

RE: Monument Sign Face Replacements

Property Owner Name Adam Kujath Phone# 262-251-5044 x277

I have reviewed the sign design documents and hereby give notice to the sign permitting authority that I approve the sign design as submitted.

Signature _____ Date 02/19/16

Name (printed) Adam Kujath

Title Senior Director, Operations

Cambridge Major Laboratories Sign Permit Request

RECEIVED
MAR 7 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

Project Name: Alcami

Property Address: W130 N10497 Washington Drive

Applicant Name: Innovative Signs

Contact Person: Jaime Dieman

Applicant Address: 21795 Doral Road, Ste B

City: Waukesha **State**: WI **Zip**: 53186

Intent

This document comprises the Sign Permit request for Cambridge Major Laboratories located at W130 N10497 Washington Drive in the village of Germantown. Cambridge Major Laboratories is requesting a sign permit to replace three current monument signs with new monument signs.

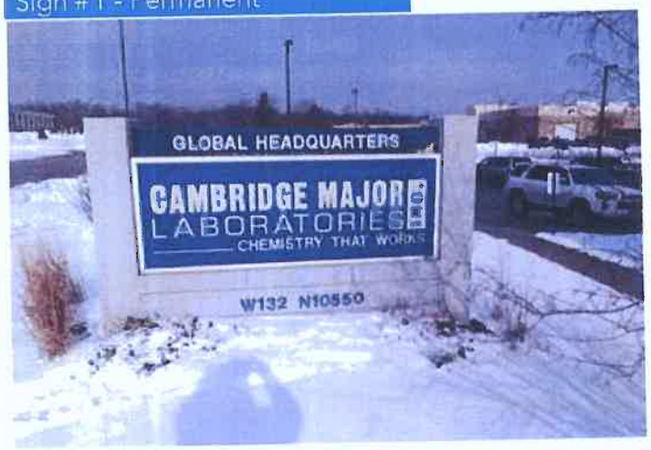
Details

The following points detail how the replacement of existing monument signs will comply with Village of Germantown Municipal Code 17.46 and meet the Business Park Covenants.

1. The quantity of monument signs will not be changing. The existing monument signs will be removed and replaced with new signs.
2. The monument sign will be 32sf per side, which will meet the allowed 32sf per side in the Business Park Regulations. The sign will be 8' in height which will fall below the 10ft maximum height allowed.
3. The new monument signs will placed in the same location as the existing monument signs and will meet the landscaping requirements of the village.
4. The new signage includes the street address coordinates as required by the village sign regulations.

alcami

Sign #1 - Permanent

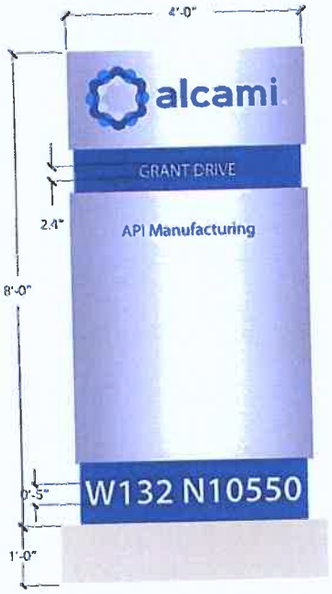


Existing: Panel

Quantity: 1
Height: 3'-0"
Width: 8'-1"

Illuminated
✓ Non-Illuminated

Single Face
✓ Double Face



Recommended: Custom Pylon
Sign Reference:

Quantity: 1
Height: 8'-0"
Width: 4'-0"
Sq.Ft.: 32
Notes: Remove existing monument. Install new monument in its place. Concrete base with stucco finish painted to match building.

1st Surface
2nd Surface

Illuminated
✓ Non-Illuminated

Single Face
✓ Double Face

Comments: Sign Reference ALC-NILPYL

colite

alcami

Sign #3 Permanent

Existing: Panel

Quantity: 1
Height: 3'-0"
Width: 8'-1"

Illuminated
✓ Non-Illuminated

Single Face
✓ Double Face

Recommended: Custom Pylon
Sign Reference:

Quantity: 1
Height: 8'-0"
Width: 4'-0"
Sq.Ft.: 32
Notes: Remove existing monument. Install new monument in its place. Concrete base with stucco finish painted to match building.
Comments: Sign Reference ALC-NILPYL

1st Surface
2nd Surface

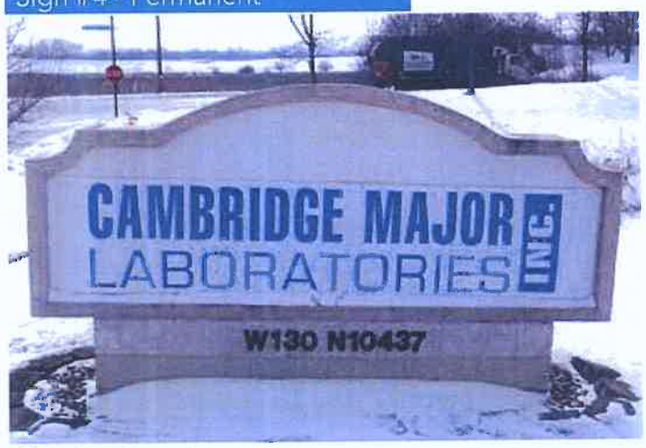
Illuminated
✓ Non-Illuminated

Single Face
✓ Double Face

colite

alcami

Sign #4 - Permanent



Existing: Panel

Quantity: 1
Height:
Width:

Illuminated	Single Face
✓ Non-Illuminated	✓ Double Face

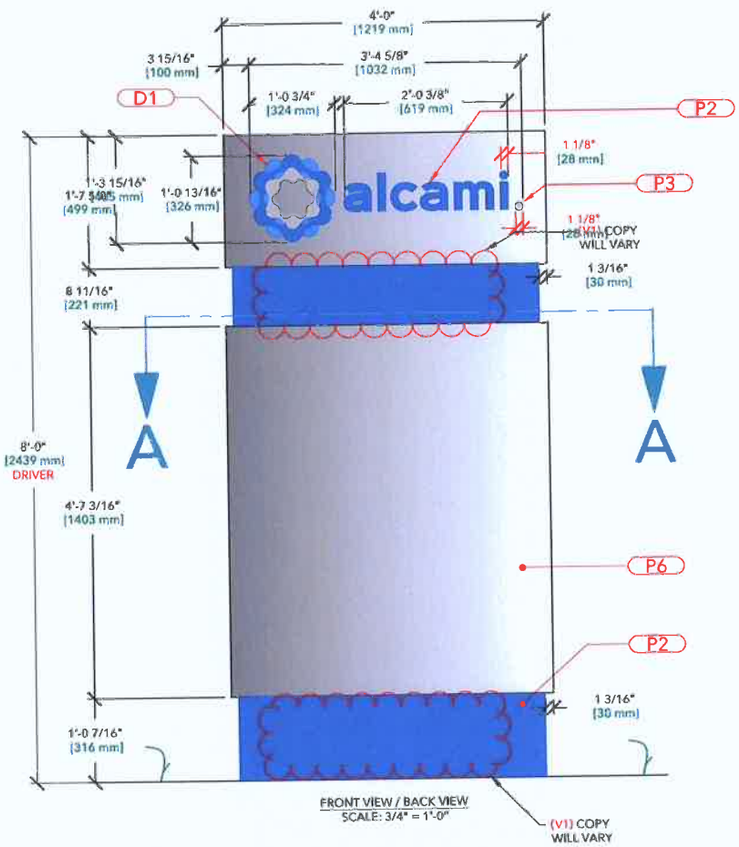
Recommended: Custom Pylon
Sign Reference:

Quantity: 1
Height: 8'-0"
Width: 4'-0"
Sq.Ft.: 32
Notes: Remove existing monument. Install new monument in its place. Concrete base with stucco finish painted to match building.

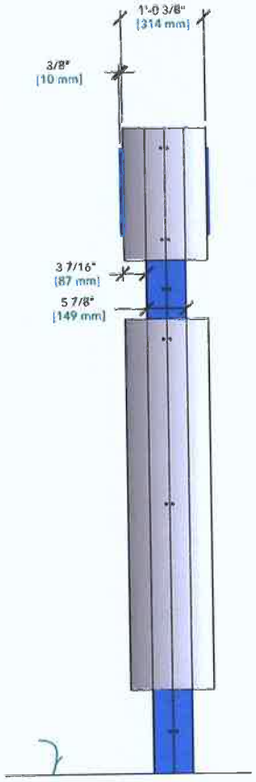
1st Surface	Illuminated	Single Face
2nd Surface	✓ Non-Illuminated	✓ Double Face

Comments: Sign Reference ALC-NILPYL

colite



FRONT VIEW / BACK VIEW
SCALE: 3/4" = 1'-0"



SIDE VIEW
SCALE: 3/4" = 1'-0"

FOR PERMITTING

SPECIFICATIONS		
PAINT	VINYL	DIGITAL PRINT
(P2) MP# 18025 DARK BLUE	(V1) 3M 7725-20 MATTE WHITE	(D1) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE LAMINATE FULL COLOR PRINT
(P3) MP# 71498 COOL GRAY 4C		(D4) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE LAMINATE TO MATCH PMS: 300C DARK BLUE
(P6) MP# 41-342 BRUSHED ALUM.		

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5 TECHNOLOGY CIRCLE
COLUMBIA SC 29203
P 803 926.7926

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DRAWING NUMBER
ALC-160039

TITLE
CST NIL 96in PYLON

SIGN TYPE

CUSTOMER
ALCAMI.

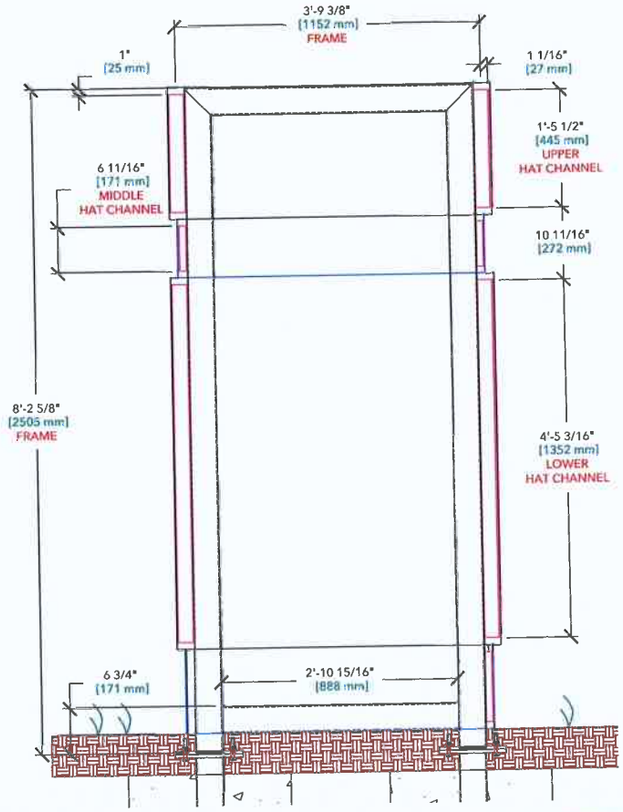
LOCATION
VARIOUS

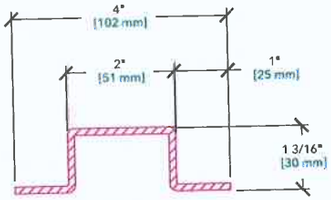
DATE
03-02-16

DRAWN BY	PRINT
JB	11X17

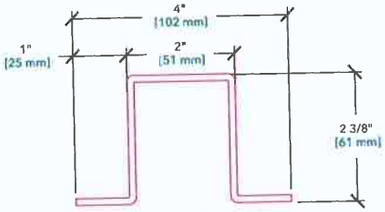
REVISIONS

REV	BY	DATE	DESCRIPTION
R	JB	03-02-16	CREATED DRAWING



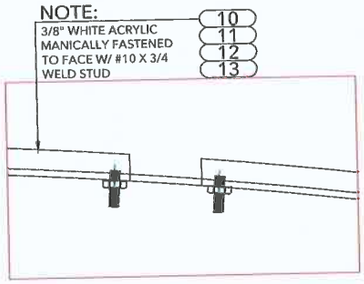


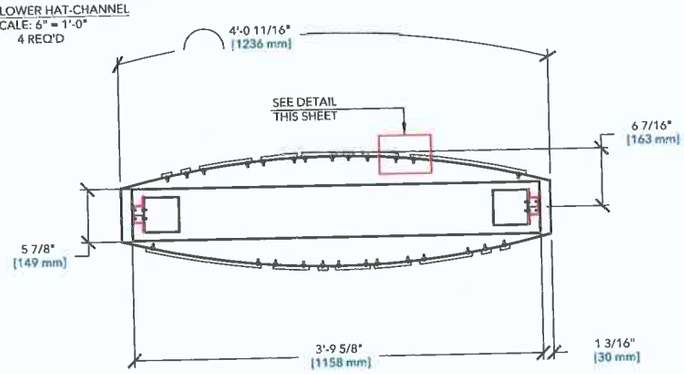
UPPER & LOWER HAT-CHANNEL
SCALE: 6" = 1'-0"
2 REQ'D



UPPER & LOWER HAT-CHANNEL
SCALE: 6" = 1'-0"
4 REQ'D

NOTE:
3/8" WHITE ACRYLIC MANICALLY FASTENED TO FACE W/ #10 X 3/4 WELD STUD





SECTION A-A
SCALE: 1" = 1'-0"

SPECIFICATIONS

PAINT	VINYL	DIGITAL PRINT
(P2) MP# 18025 DARK BLUE	(V1) 3M 7725-20 MATTE WHITE	(D1) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE LAMINATE FULL COLOR PRINT
(P3) MP# 71498 COOL GRAY 4C		(D4) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE LAMINATE TO MATCH PMS: 300C DARK BLUE
(P6) MP# 41-342 BRUSHED ALUM.		

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ALC-160039

TITLE
CST NIL 96in PYLON

SIGN TYPE

CUSTOMER
ALCAMI.

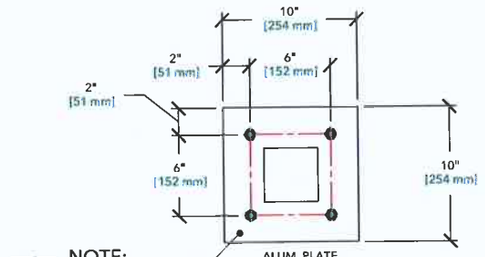
LOCATION
VARIOUS

DATE
03-02-16

DRAWN BY: JB
PRINT: 11X17

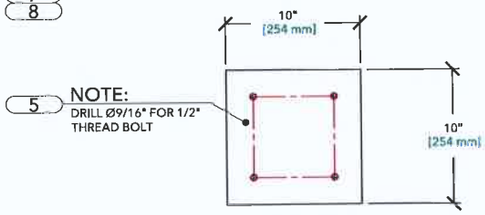
REVISIONS

REV	BY	DATE	DESCRIPTION
R	JB	03-02-16	CREATED DRAWING



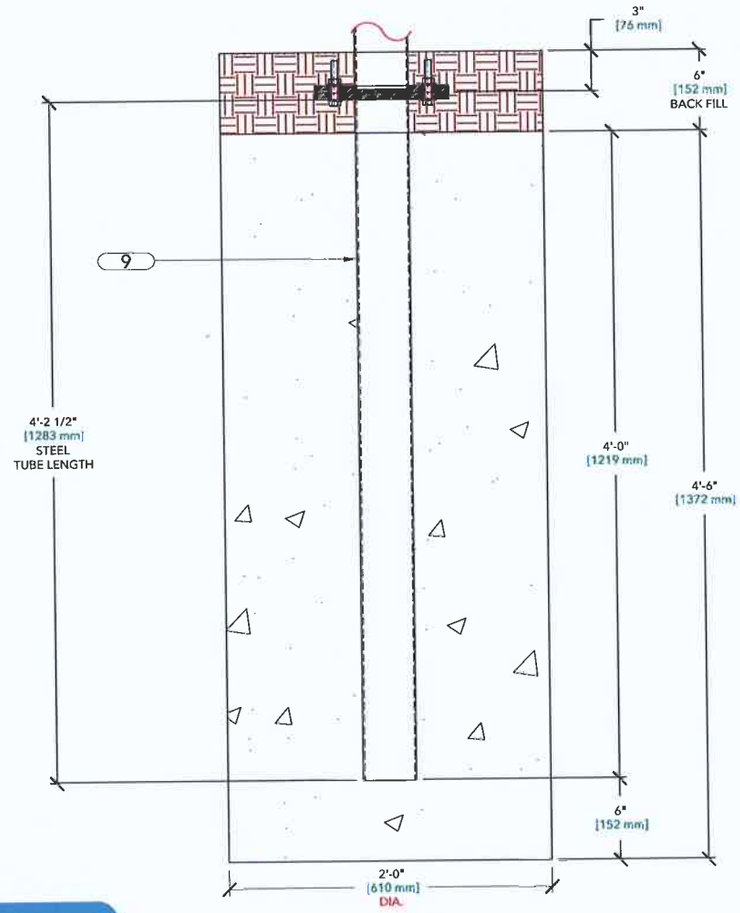
4 6 7 8 NOTE:
DRILL Ø9/16" FOR 1/2" THREAD BOLT

ALUM. PLATE
SCALE: 3" = 1'-0"
2 REQ'D



5 NOTE:
DRILL Ø9/16" FOR 1/2" THREAD BOLT

STEEL PLATE
SCALE: 3" = 1'-0"
2 REQ'D



STUB-OUT DETAIL
SCALE: 1-1/2" = 1'-0"
2 REQ'D

SPECIFICATIONS

PAINT	VINYL	DIGITAL PRINT
(P2) MP# 18025 DARK BLUE	(V1) 3M 7725-20 MATTE WHITE	(D1) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE
(P3) MP# 71498 COOL GRAY 4C		LAMINATE FULL COLOR PRINT
(P6) MP# 41-342 BRUSHED ALUM.		(D4) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE
		LAMINATE TO MATCH PMS: 300C DARK BLUE

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ALC-160039

TITLE
CST NIL 96in PYLON

SIGN TYPE

CUSTOMER
ALCAMI.

LOCATION
VARIOUS

DATE
03-02-16

DRAWN BY
JB

PRINT
11X17

REVISIONS

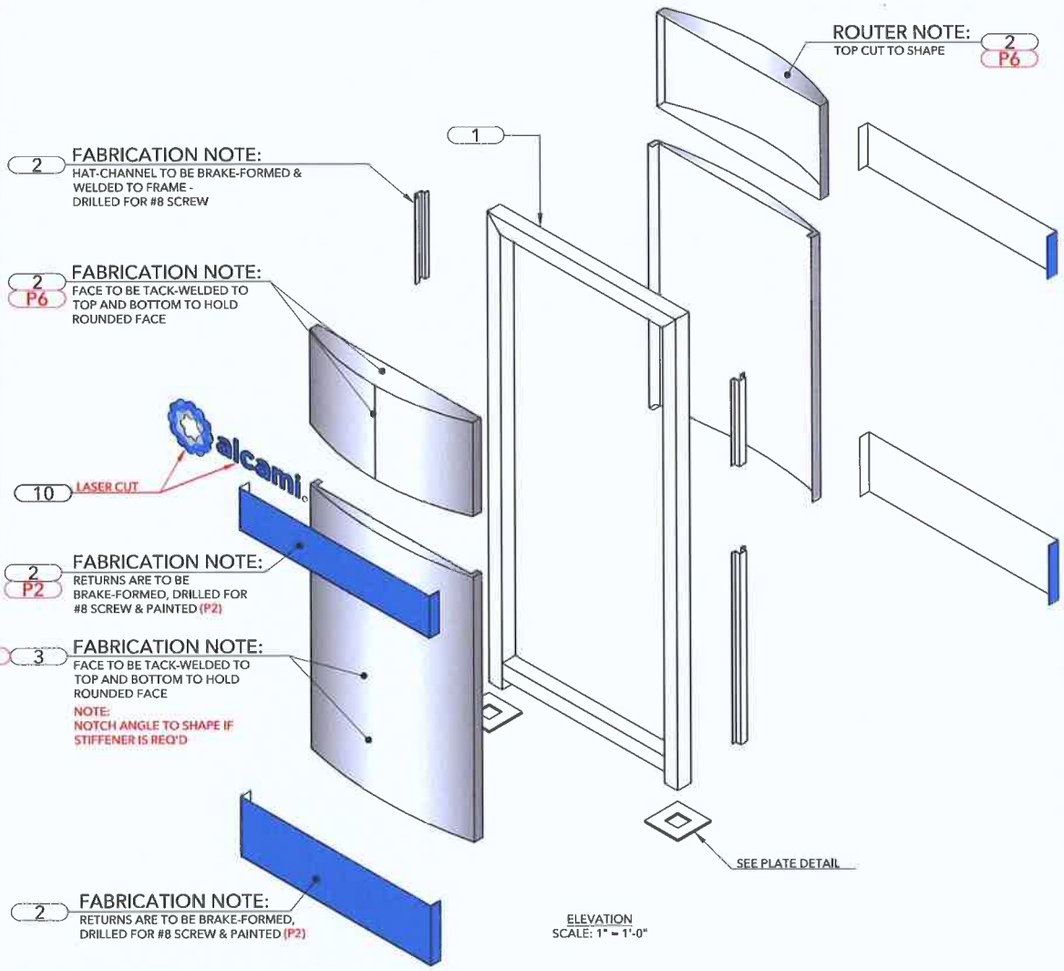
REV	BY	DATE	DESCRIPTION
R	JB	03-02-16	CREATED DRAWING

MANUFACTURING BILL OF MATERIALS

ITEM #	PART #	DESCRIPTION	QTY
1	300-16	.125X4X4 ALUMINUM TUBE	20 LN. FT.
2	300-13	.125X48X96 ALUMINUM SHEET	1-3/4 SHT
3	300-11	.125X72X144 ALUMINUM SHEET	2 SHT
4	300-34	.5X48X96 ALUMINUM PLATE	1/4 SHT
10	100-43	3/8X48X96 7508 WHITE ACRYLIC	1 SHT
11	1000-38	#10-24X3/4"L WELD ST	AS REQ
12	1000-13	10-24 SS FHN	AS REQ
13	1000-30	#10 L/W SS	AS REQ

INSTALLATION BILL OF MATERIALS

ITEM #	PART #	DESCRIPTION	QTY
5	400-80	1/2 X 48 X 96 STEEL PLATE	1/4 SHT
6	BOLT	1/2" X 3"L HEX HEAD BOLT	8
7	1000-24	1/2" ZINC FIN USS FLAT WASHER	8
8	1000-130	1/2 HVY HEX NUT PLAIN	8
9	400-40	1/8X4X4 STEEL TUBE	11'



ELEVATION
SCALE: 1" = 1'-0"

SPECIFICATIONS

PAINT	VINYL	DIGITAL PRINT
(P2) MP# 18025 DARK BLUE	(V1) 3M 7725-20 MATTE WHITE	(D1) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE
(P3) MP# 71498 COOL GRAY 4C		LAMINATE FULL COLOR PRINT
(P6) MP# 41-342 BRUSHED ALUM.		(D4) ORACAL 3651 GRA WHITE GLOSS W/ 215 MATTE
		LAMINATE TO MATCH PMS: 300C DARK BLUE

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5 TECHNOLOGY CIRCLE
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SIGN TYPE

CUSTOMER
ALCAMI.

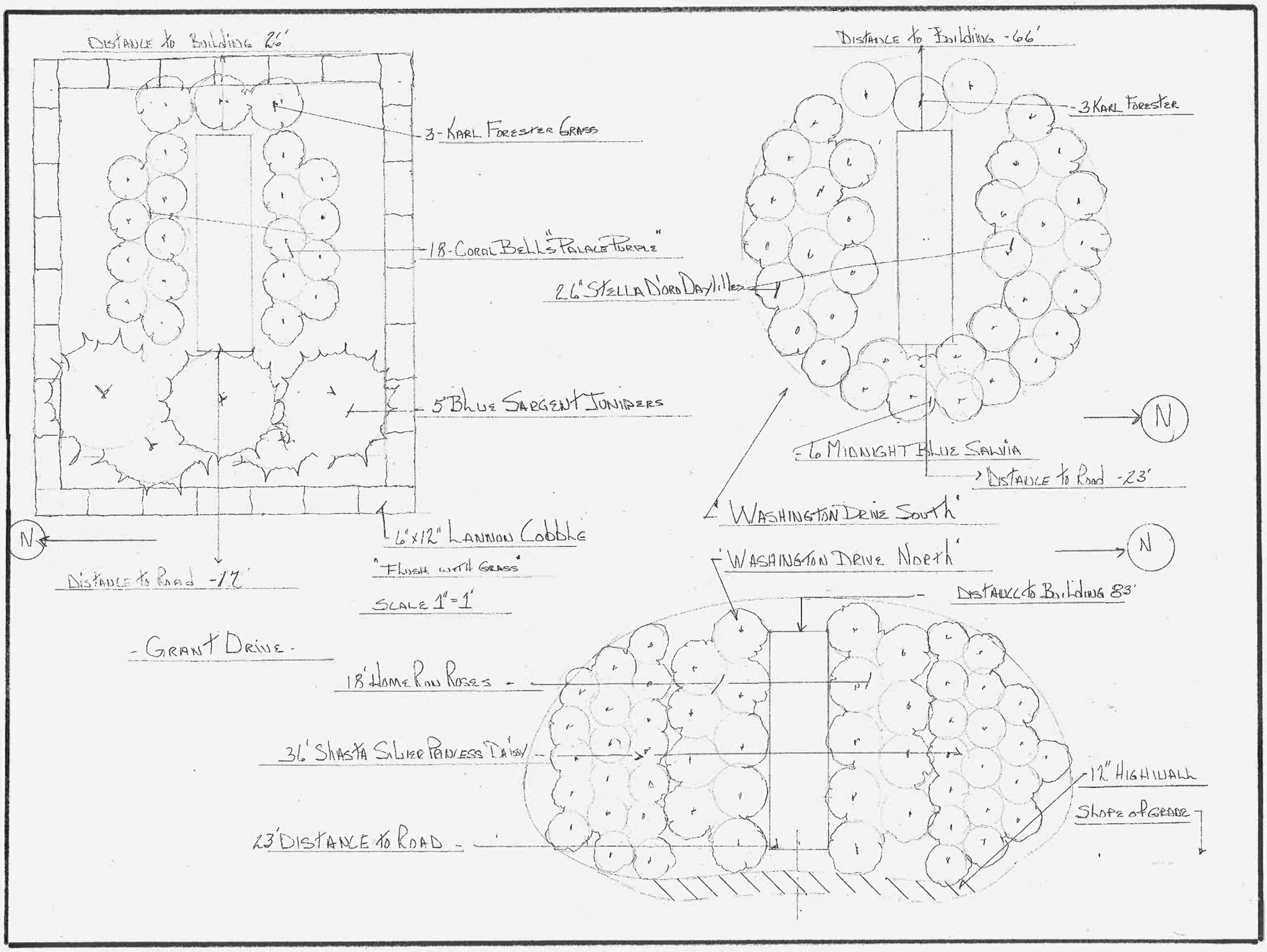
LOCATION
VARIOUS

DATE
03-02-16

DRAWN BY: JB
PRINT: 11X17

REVISIONS

REV	BY	DATE	DESCRIPTION
R	JB	03-02-16	CREATED DRAWING


Distance to Building 26'
3-Karl Forester Grass
18-Coral Bells "Palace Purple"
5' Blue Sargent Junipers
N
Distance to Road -17'
6"x12" Lannon Cobble
"Flush with Grass"
Scale 1"=1'
- Grant Drive -
Distance to Building -66'
3 Karl Forester
26" Stella D'ORO Daylilies
6 Midnight Blue Salvia
Distance to Road -23'
N
'Washington Drive South'
'Washington Drive North'
N
Distance to Building 83'
18' Home Run Roses
36' Shasta Silver Peaness Daisy
23' Distance to Road
12" High Wall
Slope of Grade

RIGHT-OF-WAY RESERVATION VACATION

4/11/16 Plan Commission Meeting

Aaron & Emily Diener / Craig & Diana Ostovich / Dave Kontz

Village Planner Report **Germantown, Wisconsin**

Summary

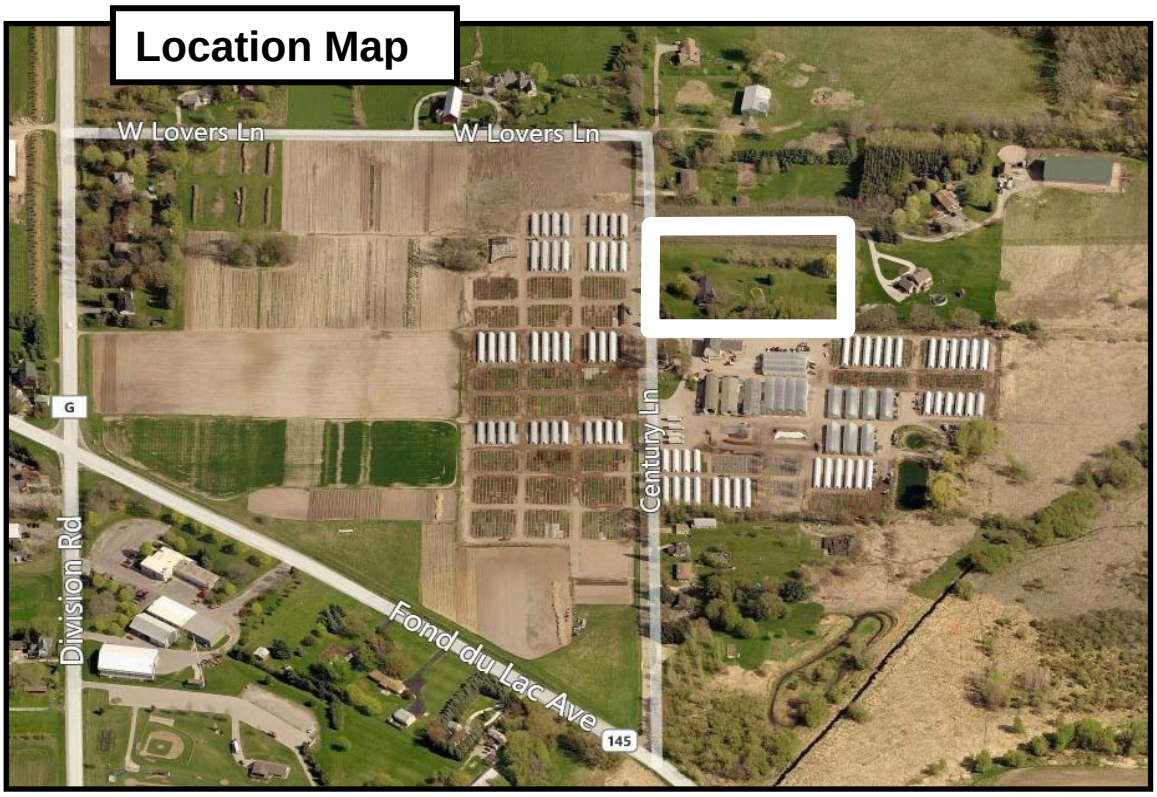
Aaron & Emily Diener, Craig & Diana Ostovich, and Dave Kontz, property owners, have submitted a petition to discontinue a public street right-of-way "reservation" that abuts their residential property located on Century Lane.

Location: W168 N12330 Century Lane

Property Owner/ Applicant: Aaron Diener
W168 N12330 Century Lane
Germantown, WI

Current Zoning District: Rs-2: Single-Family

Adjacent Land Uses		**Zoning**
North	Residential/Agricultural	Rs-3/A-2
South	Agricultural	A-1
East	Agricultural	A-2
West	Agricultural	A-2



Proposal

Aaron & Emily Diener, Craig & Diana Ostovich, and Dave Kontz, property owners, have submitted a petition to discontinue a public street right-of-way "reservation" that abuts their residential property located on Century Lane.

According to the Village's meeting minutes from October 14, 1968, The Village Board approved Certified Survey Map (CSM) No. 191 with the 66' wide road reservation across the northern portion of the 2.66-acre parcel being created (see Exhibit A). However, there's nothing in the meeting minutes that reveals what planned road improvement the road right-of-way was being reserved.

Staff Comments

Consistency with Village's Land Use Plan.

The Village's Comprehensive Plan and 2020 Future Land Use Plan map does not provide for any future road extension or improvement for which this 66' wide road right-of-way reservation would be needed. Further, Public Works Department staff support the petition and recommend approval of the request to discontinue or vacate the road reservation as shown on CSM No. 191.

The Plan Commission is required to review and forward a recommendation to the Village Board for such petitions under the powers and responsibilities of the Plan Commission set forth in Wis. Stats. 62.23 (City and Village Planning).

Wis. Stats. 62.23(5) provides:

> *(5) Matters referred to city plan commission. The council, or other public body or officer of the city having final authority thereon, shall refer to the city plan commission, for its consideration and report before final action is taken by the council, public body or officer, the following matters: The location and architectural design of any public building; the location of any statue or other memorial; the location, acceptance, extension, alteration, vacation, abandonment, change of use, sale, acquisition of land for or lease of land for any street, alley or other public way, park, playground, airport, area for parking vehicles, or other memorial or public grounds… unless such report is made within 30 days, or such longer period as may be stipulated by the common council, the council or other public body or officer, may take final action without it.*

Final action will be taken by the Village Board following a public hearing of the petition.

VILLAGE PLANNER RECOMMENDATION

APPROVE the petition and application submitted by Aaron & Emily Diener, Craig & Diana Ostovich, and Dave Kontz to discontinue the 66' wide public street right-of-way "reservation" that abuts their property located on CSM No. 191.

PETITION AND APPLICATION TO DISCONTINUE PUBLIC STREET RIGHT OF WAY RESERVATION PURSUANT TO SECTION 66.1003 OF THE WISCONSIN STATUTES

WHEREAS, Certified Survey Map No. 191 recorded in the Office of the Register of Deeds for Washington County, Wisconsin, in Volume 1 of Certified Survey Maps on Pages 300-301 as Document No. 303485, being a part of the NE ¼ of the SW ¼ of Section 15, Town 9 North, Range 20 East in the Village of Germantown, Washington County, Wisconsin reserved an area of land for future public street purposes as shown and identified in the attached Exhibit A (hereinafter referred to as "Public Street Reservation"); and

WHEREAS, the undersigned, AARON DIENER AND EMILY DIENER, husband and wife (hereinafter collectively referred to as "Diener"), and CRAIG OSTOVICH AND DIANA OSTOVICH, husband and wife (hereinafter collectively referred to as "Ostovich"), and DAVE KONTZ (hereinafter "Kontz"), a single person, are all of the owners of all of the lands and lots that abut and constitute the frontage of said Public Street Reservation; and

WHEREAS, said owners Diener, Ostovich, and Kontz wish to discontinue and terminate said Public Street Reservation;

NOW, THEREFORE, the undersigned do hereby petition and apply to the Village Board of the Village of Germantown for the discontinuance of the Public Street Reservation more particularly described in Certified Survey Map No. 191 as follows:

> The northerly 66 feet thereof and dedicating the Westerly 50 feet of the Southerly 200 feet for public street purposes, same being located in the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 9 North of Range 20 East, in the Village of Germantown, Washington County, Wisconsin.
>
> Tax Key No. Part of GTNV 153978

Dated this 10th day of February, 2016.

Aaron Deiner

Emily Diener

Craig Ostovich

Diana Ostovich

Dave Kontz

EXHIBIT A

Certified Survey Map No. 191, recorded in the Washington County Registry on October 16, 1968 in Volume 1 of Certified Survey Maps on pages 300-301, as Document No. 303485, and being a part of the Northeast 1/4 of the Southwest 1/4 of Section 15, Township 9 North of Range 20 East, in the Village of Germantown, Washington County, Wisconsin, RESERVING the northerly 66 feet thereof and dedicating the Westerly 50 feet of the Southerly 200 feet for public street purposes.

Tax Key No. GTNV 153978

DRAFT

STATE OF WISCONSIN VILLAGE OF GERMANTOWN WASHINGTON COUNTY

RESOLUTION NO. 01-XX

RESOLUTION DISCONTINUING THE NORTHERN 66' PUBLIC ROAD RIGHT OF WAY RESERVATION SHOWN ON CSM NO. 191

WHEREAS, the Certified Survey Map No. 191 reserved the northern 66' depicted thereon to Public Road Right of Way; and

WHEREAS, the Certified Survey Map No. 191 dedicated the westerly 50' depicted thereon to Public Road Right Of Way; and

WHEREAS, the Village Board has determined that the public interest requires the discontinuation of the following described 66' right of way:

> All of the public road right of way reservation as originally platted on Certified Survey Map No. 191 recorded in the Office of the Register of Deeds for Washington County, Wisconsin, on October 16, 1968, in Volume 1 on Page 300 through 301 as Document No. 303485, being located in and part of the Northeast 1/4 of the Southwest ¼ of Section 15, Town 9 North of Range 20 East, Village of Germantown, Washington County, Wisconsin; and

WHEREAS, the public road right of way which is hereby to be discontinued does not lie within one-quarter mile of any state trunk highway or connecting highway, and does not contain a railroad crossing within its boundaries;

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Germantown, Wisconsin, do hereby vacate and discontinue the northern 66' roadway right of way reservation as shown on CSM 191 and as more specifically shown on the attached Exhibit A.

BE IT FURTHER RESOLVED, that the public road right of way so vacated and discontinued shall, upon passage and publication of this Resolution, forever vest in the owner of the lands which immediately abut thereto, and shall be annexed thereto, free and clear of any right, title or interest in the public as road right of way pursuant to the provisions of section 66.1003 of the Wisconsin Statutes.

Introduced by Trustee _____, at the Village Board Meeting of the Village of Germantown on April 18, 2016.

DRAFT

Adopted following public hearing on: April 18, 2016

Vote: Ayes: Nays: Absent:

_____
Dean Wolter, Village President

ATTEST:

_____
Barbara K.D. Goeckner, Village Clerk

This is to certify that the foregoing resolution was adopted by the Village Board of the Village of Germantown, Wisconsin, at a meeting held on the 18th day of April, 2016.

Published: _____, 2016

_____
Barbara K.D. Goeckner, Village Clerk

OFFICE OF THE VILLAGE CLERK
Germantown Village Hall
N112 W17001 Mequon Rd.
Germantown, WI 53092

I hereby certify that this document is a true and correct copy of Resolution No. 01-15, adopted by the Village Board of the Village of Germantown, Washington County, Wisconsin, at a meeting of said Village Board on the 18th day of April, 2016.

_____
Barbara K.D. Goeckner, Village Clerk

This Document drafted by:
Brian C. Sajdak, Village Attorney
State Bar No. 1027287

CERTIFIED SURVEY MAP (CSM), CONDITIONAL USE PERMIT (CUP) & SITE PLAN APPLICATIONS

4/11/16 Plan Commission Meeting

Skyline Development Corp. / Sports Specialists of Milwaukee Inc.

Village Planner Report **Germantown, Wisconsin**

Summary

Skyline Development Corp. property owner and agent for Sports Specialists of Milwaukee Inc., has submitted Certified Survey Map (CSM), Conditional Use Permit (CUP), and Site Plan applications for a 32,000 sqft warehouse distribution and office building on a 4.7-acre parcel located on Donges Bay Road @ STH145/Fond du Lac Avenue in the Germantown Business Park.

Property Location: Donges Bay Road @ STH145/Fond du Lac Avenue

Applicant/ Property Owner: Mike Krenz
Skyline Development Corp.
9400 N. 107th St
Milwaukee, WI 53224

Current Zoning: B-1: Neighborhood Business District *(rezoning application to M-1: Limited Industrial pending for VB action on April 18, 2016)*

Adjacent Land Uses		Zoning
North	Residential & Institutional	Rs-4 & I
South	Industrial	M-1
East	Industrial	M-1
West	Commercial & Residential	B-3 & Rs-4

Background

Skyline Development Corp. property owner and agent for Sports Specialists of Milwaukee Inc., has submitted Certified Survey Map (CSM), Conditional Use Permit (CUP), and Site Plan applications for a 32,000 sqft warehouse distribution and office building on a 4.7-acre parcel located on Donges Bay Road @ STH145/Fond du Lac Avenue in the Germantown Business Park.

Sports Specialists is distributor of approximately 30,000 different fishing tackle and related items in the upper Midwest. Sports Specialists relocated to Germantown in 1993 to their existing facility in the Germantown Industrial Park. As discussed in the project summary, Sports Specialists has outgrown their existing location and are looking to double their warehouse floor space with the proposed high bay facility at the Donges Bay Road site. Sports Specialists estimates the new facility can/will employ up to 24 employees.

Proposal: Certified Survey Map (CSM)

The 4.7-acre parcel proposed for development is currently part of a larger 11.2-acre parcel. Skyline is proposing to divide the land into two parcels as shown in the preliminary CSM (copy enclosed). Lot 1, the 4.7-acre parcel proposed for development, contains a number of utility easements and environmental features that affect the amount and relative location of developable area on the parcel. The parcels will be divided along the unnamed navigable stream that meanders across the north side of Lot 1 from west to east, then south along the east property line, then across the southeast corner of Lot 1.

Proposal: Conditional Use Permit (CUP)

The applicant has submitted a conditional use permit (CUP) application under the Village's Shoreland-Wetland Zoning Code because of proposed development activity within portions of the 25' wetland and 75' navigable water setback areas associated with the unmade navigable stream.

Although the Village's Shoreland-Wetland Code requires a 25' setback from all DNR-approved delineated wetlands (regardless of size or location), the Village may allow development within the 25' setback with a CUP. Section 24.04 of the Code permits development in the required 25' and 75' setbacks to provide additional buffering and/or compensation for the affected area(s) at a 1:1 ratio (for "horizontal" development) and a 2:1 ratio (for "vertical" development having impervious surface or a grade change greater than 3' height).

As shown in the Mitigation Plan Narrative (dated April 1, 2016), almost all of the proposed development activity within the 25' and 75' setback areas is associated with the access driveway and parking area on the east side of the parcel. Detailed in the narrative and exhibits, the total amount of setback area encroachment is approximately 17,960 sqft, including:

- 16,800 sqft with < 3' of grade change (horizontal development)
- 1,160 sqft with > 3' of grade change (vertical development)

Due to some of the encroachment being "vertical" development (> 3' grade change) with a compensation ratio of 2:1, the total amount of area requiring compensation totals 19,120 sqft.

Compensation will be provided in an area totaling 19,500 sqft lying along the east property line within and around portions of the setback areas. Compensation will be provided in the form of: (1) invasive species removal/eradication; and (2) planting native prairie vegetation comprised of a native prairie seed mix and species-appropriate ornamental trees as shown in Exhibit 1 and Exhibit 2 to the Mitigation Plan Narrative.

Proposal: Site Development & Building Plans
As presented in the detailed site plans and other supporting information, Skyline proposes to develop the site with a 32,000 sqft warehouse/office building with the following features:

- 32,000 gross sqft (w/ potential 20,000 sqft future expansion)
    - 26,200 sqft 1st floor
    - 7,578 sqft mezzanine
    - 4,660 sqft office
- Smooth Pre-cast concrete 28' wall panels w/ reveals (2-color architectural finish)
- Anodized aluminum solar screen over office area windows (southeast corner)
- (2) recessed truck docks & (1) at-grade overhead door
- (2) Roof-Top Mechanicals over office area

Access & Parking. The development will be served by one (1) driveway onto Donges Bay Road. A total of (40) parking stalls are proposed in two separate lots east of the building. An area for additional future parking is provided on the south side of the building to be installed if/when needed.

Storm Water Management. A total of 69,260 sqft (34%) of impervious surfaces are proposed for the 4.7-acre site leaving 66% in open space. The site is served by an existing regional storm water basin located east of the storage facility at the end of Spaten Court. Existing and additional storm sewer will be installed to convey run-off from the site to the off-site regional basin to the south.

Landscaping. An extensive landscaping plan is proposed consistent with the street tree and overall landscaping requirements of the Business Park covenants. Landscaping is comprised of deciduous shade and ornamental trees, evergreen trees, and deciduous and evergreen shrubs, and ornamental grasses. A total of (42) street trees will be installed along the frontage of STH145 and the north property line (south of the navigable stream and Donges Bay Road).

As discussed above, invasive species will be removed from and native prairie vegetation will be established in the disturbed portions of the wetland and navigable stream setback areas as compensation for encroachment into the 25' wetland setback areas as a protective transition to the existing wetlands and stream along the east side of the parcel.

Lighting. Exterior lighting of the building and site will include:

- (3) 168W LED 5700K "cool white" cut-off fixtures mounted at a height of 25' on exterior poles in the parking area;
- (7) 42W LED 5700K "cool white" cut-off fixtures mounted on the building at heights varying from 8' at the entrance doors and 14'6" over the loading dock doors.

Signage. No signage is proposed at this time.

Staff Comments

Wetland Setback CUP

With regard to the CUP for development within the 25' wetland and 75' setback areas, staff supports the proposed mitigation plan that includes the removal of invasive species and the planting/restoration of native prairie vegetation in the disturbed setback areas. However, success of the native grass plantings and invasive plant removal depends on monitoring of the actions taken. Consequently, the owner should be required to prepare and submit an annual monitoring report to the Village documenting all management activities, the success of those management activities, and any corrective actions needed to ensure success of the mitigation plan for a minimum of three (3) years after initial implementation.

Certified Survey Map (CSM)

The Village Surveyor identified a series of technical corrections (see March 22, 2016 memo) for the CSM that will need to be addressed prior to recording the CSM. The current draft CSM has been revised to address almost all of the items listed; however, final confirmation from the Village Surveyor has not yet been received.

Site Development & Building Plans

In 2013, the Plan Commission discussed a similar proposal and expressed the following comments and concerns:

- Industrial use preferred versus commercial use
- Schematics look good
- Concerned with tall vertical façade so close to Fond du Lac Ave.
- The building is at an entrance to Germantown – should have more landscaping and better aesthetics
- Move building farther south on lot
- The building is very close to road and will be overbearing
- Wetland issues need to be addressed
- Surrounding residential owners may oppose an industrial use
- May be some challenges with size of trucks used and potential issues that may occur with the future round-about.

At that time, the proposed building had 24' high vertical walls and was oriented with the primary entrance and office area in the northwest corner nearest to the Donges Bay Road @ STH145 intersection (soon-to-be re-constructed with a round-about as depicted on the site plan). Since then and as shown in the site plan, the orientation of the building has been "reversed" with the primary entrance and office area in the southeast corner of the property, the height of the exterior walls has increased to 28',

access to Spaten Court to the south has been removed as a secondary means of access, the parcel size has been reduced from 5.5 to 4.7 acres due to additional right-of-way taken by the WisDOT for the STH145 roundabout improvement land DNR's re-alignment of the navigable stream along Donges Bay Road, and additional easements granted for the high-pressure gas main project running across the property.

To counter some of these impacts, the Village agreed to make changes to the minimum building setback requirements affecting development in the Business Park for those parcels abutting Donges Bay Road and STH145/Fond du Lac Avenue. Last year the Village obtained permission from land owners in the Business Park to revise the covenants and restrictions by reducing the minimum building setback abutting Donges Bay Road and STH145 from 75 feet to 30 feet. In so doing, it is staffs understanding and intent that in exchange for a reduced building setback, additional landscaping and architectural enhancements would be made to the sites and buildings developed on those properties that benefit from the reduced building setback. Unlike other Business Park properties fronting a major arterial such as Mequon Road, this site and others along Donges Bay Road and STH145 do not have the benefit of a 10-25' high and extensively landscaped berm or the minimum 75' setback.

These concerns were brought up back in 2013 by the Plan Commission and are equally if not more important today given what has transpired since 2013 in terms of the development ability of this property; notwithstanding this properties relative location as an entrance into the Village and proximity to existing residential uses west of STH145.

Consequently, staff feels strongly that the site development and building plans for development of this site include significant landscaping, architectural enhancements and high-quality exterior materials equal to and even greater than that provided elsewhere in the Business Park.

While the proposed landscaping plan does include significant landscaping that more than meets the Business Park covenants and staff concerns, the building architecture and exterior materials do not. Some type of architectural devices, e.g. pilaster, more pronounced reveals and/or articulation, material changes, etc., or other architectural features and/or enhancements should be added to the building, specifically to the south and west elevations (that also wrap the northwest corner of the north expansion wall). Also, the wall panels proposed are comprised of smooth concrete painted two different colors. While the Business Park covenants allow tilt-up concrete wall panels, the covenants discourage the use of smooth masonry block as a primary material. Staff is not sure where on the continuum of smooth concrete wall panels are relative to block, but the appearance is likely not any different. Given the above concerns, if wall panels are acceptable for this building, some sort of architectural finish in addition to color should be required).

The building plans indicate that at least two (2) RTU's up to 4'6" high (over the office area) will be installed. A sight line exhibit has been prepared that attempts to show that RTU's would not be visible from STH145. Nonetheless, the use of RTU's without some method of screening is unacceptable if the RTU's are visible from the public right-of-way. As with similar Business Park projects, staff recommends that the need for architectural screening be reassessed by Skyline after the building has been constructed and operation with the Plan Commission determining the possibility of screening being required in the future.

Engineering
The Engineering Department has identified a number of technical corrections and construction plan/permitting requirements (see February 23, 2016 memo) that will need to be addressed prior to any construction. The current set of plans been revised to address all of the items listed; however, final confirmation from the Engineering Department has not yet been received.

Fire Department
The Fire Department has the following comments and requirements:

- Knox Box is required with the location approved by the Fire Department. The Fire Department Connection (FDC) and alarm panel locations also need to be approved by the Fire Department.

The Police Department is requesting that all doors and docks be numbered with reflective numbers to aid emergency personnel access.

Inspection Services
The Building Inspector has indicated that the submission of state-approved plans will be required prior to issuing a building permit along with the required $20,000 occupancy bond

VILLAGE PLANNER RECOMMENDATION

APPROVE the proposed Certified Survey Map (CSM) to combine the two parcels into one parcel subject to the following conditions:

1. All technical corrections listed in the Village Surveyor's March 22, 2016 review memo shall be addressed and/or reflected in a revised CSM prior to recording the CSM.

VILLAGE PLANNER RECOMMENDATION

APPROVE a Conditional Use Permit to allow development within the 25' wetland setback areas and proposed compensation as presented in the Wetland Mitigation Plan pursuant to Section 24.04 of the Shoreland-Wetland Zoning Code and subject to the following conditions:

1. The owner shall prepare and submit an annual monitoring report to the Village and local DNR staff concerning the various management activities proposed in the plan, including the planting/restoration of native vegetation. Said report shall, at a minimum, detail the type and amount of plantings, all activities carried out in the previous year and the observed success of all previous activities, recommendations for new or different activities needed to ensure success of the mitigation measures and management activities to be carried out, and a list of planned activities for the upcoming year. Said report shall be submitted annually at the end of each year beginning in 2017 for a period of three (3) years.

Village Planner Recommendation

APPROVE the site development and building plans for the proposed 32,000 sqft warehouse distribution and office building on a 4.7-acre parcel located on Donges Bay Road @ STH145/Fond du Lac Avenue in the Germantown Business Park subject to the following conditions:

1. This approval is subject to all of the conditions and requirements set forth herein and adopted by the Plan Commission. Approval is granted for the site development and building plan set dated stamped April 5, 2016 unless superseded by subsequent plan sheets approved by the Village Planner pursuant to revisions required herein and/or by the Plan Commission.
2. All landscaping, screening, grading, and paving improvements shown on the approved site plans shall be installed as proposed prior to issuance of an occupancy permit unless a cash bond or letter of credit in an amount equal to 120 percent of the estimated installation and material costs reviewed and approved by the Village is submitted to the Village as necessary to ensure that installation of the proposed features and improvements will be completed within one (1) year after issuance of the occupancy permit.
3. The following items shall be provided as required by the Village Fire Department: (a) one Knox box shall be installed at a location approved by the Fire Department; (b) the Fire Department Connection (FDC) and alarm panel locations shall be approved by the Fire Department.
4. All exterior doors (except primary entrance) shall be clearly marked with reflective 5” or larger letters/numbers to aid emergency personnel access as required by the Police Department.
5. State approved plans and a $20,000 occupancy bond are required by the Building Inspection Department as part of the building permit application.
6. All technical corrections raised in the Village Engineer’s February 23, 2016 review memo shall be addressed and reflected in a revised set of plans submitted to the Village Engineer for review/approval prior to issuance of a building permit.
7. The requirement for architectural screening of any roof-mounted HVAC equipment shall be re-assessed by Skyline and the Plan Commission within one (1) year after issuance of an occupancy permit. If deemed necessary by the Plan Commission, the owner shall submit plans and renderings for said screening to the Plan Commission for review/approval with any required screening to be installed within two (2) years after issuance of an occupancy permit.
8. To comply with the Business Park covenants and restrictions, additional architectural devices, e.g. pilaster, more pronounced reveals, wall panel articulation, material changes or other architectural features or enhancements shall be added to the south and west elevations that also wrap the northwest corner of the north expansion wall. The proposed smooth-finish wall panels shall include an additional architectural finish that is not limited to just different color. A revised elevation/architectural plan and rendering showing these changes shall be prepared and submitted to the Plan Commission for review/approval prior to issuance of a building permit.

Engineering Department Memorandum

To: Jeff Retzlaff Village Planner

CC:

From: Bob Beilfuss, PLS, Village Surveyor

Date: March 22, 2016

Re: Skyline CSM

Jeff,

Here are my re-review comments for the CSM received 3-21-2016.

Certified Survey Map

Applicant or Owner: Skyline Development Corporation
Land Surveyor/Firm: Mike Berry, PLS Capitol Survey Enterprises
Current Zoning: B-1 Rezoning to M-1

1. Lot 1 of Certified Survey Map No. 5464 no longer exists as stated in the sheet headers for sheets 1 thru 6 and in the Surveyor's Certificate due to a fee simple taking of lands by the Wisconsin Department of Transportation along STH-145 and along Donges Bay Road by R/W plat.

   A new metes and bounds legal description will be required for the Surveyor's Certificate on Sheet 2 of the exterior boundary of the lands being divided.
   Addressed

2. In the Surveyor's Certificate, there is a reference in the last paragraph to Chapter 330 of the Village Code.

   There is no Chapter 330. The Village land division ordinance is Chapter 18. This needs to be changed.

3. The Village no longer requires the line tables for the wetland delineation as shown on sheet 2 of 6 as long as the wetland lines are tied to either existing or proposed lot lines with a bearing and distance. The surveyor can remove these tables if need be.

4. There is a WeEnergies easement that runs parallel to the north R/W line of Spaten Court on proposed Lot 2. I obtained the easement document from WeEnergies and sent it to Mike Krenz.

   The easement lines, bearings, dimensions and recording information for said easement have yet to be added to the document.

5. Remove the note pertaining to the floodplain located in the City of Brookfield.

   Addressed

6. The map sheets submitted do not scale as does the graphics scale on Sheet 1. Addressed

7. The graphics scale appears to have some annotation issues as the scales go from 0 to 100' to 100'. Check your block. Addressed

8. The bearing of the west line of the Northwest ¼ of Section 36, Township 9 North, Range 20 east is North 01°26'11" West and needs to be adjusted as well as the west line of Lot 1. Also will this adjustment reflect in all of the bearings? Addressed

9. According to the bearing basis described on sheet 1, the west line of CSM No. 5464 was used as the basis, but according to the legend, no original boundary corners from that CSM were recovered. It is recommended that the north or west lines of the quarter section be used as a bearing basis as a reference.

   In reviewing CSM 5464, we did not find a bearing basis noted on that survey, so what those bearings are referenced to is questionable. Addressed

10. A R/W dimension from line L3 to the west line of the ¼ sections needs to be added. Addressed

11. The smaller text notes or numbers need to be increased in size to meet the County Register of Deeds recording, scanning and archival requirements. The minimum font or text size is 10 pt or L100 in a Leroy font. Addressed

12. There is a note on Sheet 1 referring to the meander line detail on Sheet 3, but there is no mention or designation of a meander line on Sheet 3. Addressed

13. There is a utility easement shown along the north and east line of proposed Lot 2 that does not follow the same alignment or location as shown on CSM 5464. The easement line along the east boundary is converging into the RR right of way line instead of running parallel to it as indicated on CSM 5464.

    Add the bearings and distances for this utility easement along with the recording information for the easement creating the easement. Addressed

14. The vision corner located at the northwest corner of proposed Lot 1 is a remnant of the original vision corner easement and needs to be dimensioned to show what area remains impacting Lot 1. Addressed

15. Add bearings, distances and dimensions for the access easement located on proposed Lot 2. Addressed

16. The building setback lines need to be added to Lot 1 and Lot 2. Addressed

17. The 75' stream setback line from the stream C/L is missing and need to be added. Addressed

18. The 25' wetland setback lines are missing and need to be added. Addressed

19. Who performed the wetland delineation as shown, when was it performed and why was it not performed for Lot 2? I consider this delineation incomplete for this land division.

    This issue remains unresolved. I talked with Dave Meyer and he said he was told to only delineate the wetlands on proposed Lot 1. The existing wetlands on Lot 2 need to be delineated by a wetland specialist and mapped by a professional land surveyor. Now that the weather is warming up, it might be possible to complete the delineation

20. There is a reference in multiple places to an "Ordinary High Water Mark". Is this a "Approximate Ordinary High Water Mark" or did a State or County agency make the OHWM determination? If so, which agency and when was that performed.
    Performed by Dave Meyer under DNR approval.

21. The meander lines established for proposed Lot 1 and proposed Lot 2 need to be monumented per 236.15(1)(d). Addressed

22. According to the Owner's Certificate, the owner is Skyline Development Corporation. The Consent of Corporate Mortgagee is listing the owner as Donges Bay Holdings, LLC. One of these certificates (or both) need to be revised. Addressed

23. There needs to be a 3"x3" square reserved in the upper right corner of Sheet 1 for recording data purposes at Washington County Register of Deeds Office. Addressed

24. The planning commission secretary is Laura A. Johnson, not Barbara K.D. Goeckner. Addressed

25. Revise Village Board certificate to reflect text shown below: Addressed

26. The Village contacted WeEnergies and obtained a copy of the existing utility easement document for the area adjacent to the existing right of way of Spaten Court which we provided to Mike Krenz but has not been added to the map. This needs to be added.

Village of Germantown Board Approval

This Certified Survey Map, being a division of (¼ ¼ Section __, Township 9 North, Range 20 East, Village of Germantown, Washington County, Wisconsin, having been approved by the Planning Commission being the same, is hereby approved and accepted by the Village Board of Trustees of the Village of Germantown on this __day of _____, 2016.

_____	_____
Dean Wolter, Village President	Date
_____	_____
Barbara K.D. Goeckner, Village Clerk	Date

No further review comments.

Document Submittals and Data Conversion

As of October, 2005, the Village of Germantown requires a digital copy of all Certified Survey Maps, Condominium Plats and Subdivision Plats in addition to the documents as required by Wisconsin Statute and Village Ordinances as part of the land division approval.

Prior to Recording the Certified Survey Map, the professional land surveyor is responsible for submitting a copy of the AutoCad drawing file (.dwg) of the document in version 2016 on compact disk (CD) or via email to the Village Surveyor.

All digital professional land surveyor seals and signatures will be purged from the digital copy prior to submittal.

The model space of the drawing will be done in Wisconsin State Plane Coordinate System, South Zone (NAD 1927 datum) and the Grid Bearing basis.

Prior to Recording the Certified Survey Map, the Village Engineering Department will verify that the boundary markers have been installed as described on the submitted map. All boundary corners are to be clearly marked in the field by the professional land surveyor of record.

Engineering Department Memorandum

To : **Jeffrey W. Retzlaff, AICP, Village Planner/Zoning Administrator**

From : **Brionne R. Bischke, P.E., Village Engineer**

Date : **February 23, 2016**

Re : **Skyline Development for Sports Specialists, SE corner of Donges Bay Road and Fond du Lac Ave. Site Plan Review**

After reviewing drawings and documents (Harwood, 02/08/2016), the Village DPW/Engineering Dept. offers the Plan Commission the following conditions that **must** be satisfied before approval of a Village building permit application:

A) GRADING & EROSION CONTROL:

1. The swale along the west and south sides of the building presumably discharge into existing Catch Basin #101; however, the surface surrounding this catch basin isn't properly shaped to intercept runoff from the swale nor build hydraulic head over the rim. However, it is also imperative that the sanitary manhole rim not be submerged. Extension of a storm sewer branch and/or surface grading must be rethought and a design presented that will adequately intercept runoff from the swale without submerging the sanitary manhole rim.

B) STORM SEWER, ROOF DRAINS & LATERALS:

1. Wisconsin DSPS will require drainage fixture unit computations.

C) SANITARY SEWER & LATERALS:

1. Germantown Wastewater Utility does not permit lateral connections to manholes. The following connection methodology is permitted:
   a. 8"x6" Wye for Exist Sewer = 8"x6" factory wye with 2 repair couplings
   b. > 8"x6"Wye for Exist Sewer = Inserta-Tee conforming to Standard Specifications Ch. 5.3.2 and Table 10 cored in the upper pipe quadrant (30°) with 45° bend
2. Annotate invert elevations to the design.
3. Annotate that GIS presents the existing sanitary sewer as 8" dia. without specifying a material.
4. Wisconsin DSPS will require drainage fixture unit computations.

D) WATER MAIN & LATERALS:

1. The new hydrant will be a privately-owned hydrant. Germantown Water Utility requires that an easement overlays the hydrant lead and requires a maintenance agreement (example attached) for the hydrant.
2. Annotate nozzle and invert elevations to the design.
3. Annotate that GIS presents the existing water main as 12" dia. PVC.
4. Wisconsin DSPS will require water supply fixture unit computations.

E) STORMWATER MANAGEMENT:

1. The storm water management analysis (Seubert, 02/18/2016) demonstrates adequate storm water management for this development.

F) ROADWAYS, DRIVEWAYS & PARKING LOTS:

1. An AutoTurn model for driveway turning movement from eastbound to southbound indicates that a non-conforming driveway width may be needed. The developer can apply for a variance through the Planning Dept., which would then be reviewed by the Plan Commission.

G) WISCONSIN PROFESSIONAL ENGINEER SEAL & SIGNATURE:

1. The plan set must be sealed and signed by a Wisconsin Professional Engineer on the title sheet near the index. Neither an architect seal nor a surveyor seal can substitute for the professional engineer seal.

H) VILLAGE DESIGN, DRAFTING & CONSTRUCTION STANDARDS & SPECIFICATIONS

1) Include a note that requires contractor conformance with these Village standards and specifications, and including their locations on the Village's web page:
   a) Section 3.0: Grading and Erosion Control Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/74
   b) Section 4.0: Storm Water Conveyance System Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/75
   c) Section 5.0: Sanitary Sewer System Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/76
   d) Section 6.0: Water Distribution System Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/77
   e) Section 7.0: Storm Water Management Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/78
   f) Section 8.0: Roadway Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/79

I) PERMITS:

1) Driveway permit from Village Engineering Dept. is required for the new driveway.
2) Erosion control permit from Village Building Inspection Dept. is required for land disturbance > ½ ac.
3) General WPDES Construction NOI permit from Wisconsin DNR is required for land disturbance > 1 ac.
4) Exterior plumbing plan review from Wisconsin DSPS is required for private utilities construction.

Document Number

Private Water Main
Operation/Inspection/Maintenance Agreement

Document Title

1301595

RECORDED
April 02, 2012 9:30 AM
SHARON A MARTIN, REGISTER OF DEEDS
WASHINGTON COUNTY, WISCONSIN

Fee Amount: $25.00

Ellsworth Adhesives
Heather Lake LLC

Recording Area

Name and Return Address

7

Village of Germantown
P.O. Box 337
Germantown, WI 53022

Parcel Identification Number (PIN)

Please see attached Private Water Main Operation, Inspection, and Maintenance Agreement

This information must be completed by submitter: document title, name & return address, and PIN (if required). Other information such as the granting clause, legal description, etc., may be placed on this first page of the document or may be placed on additional pages of the document. Note: Use of this cover page adds one page to your document and $2.00 to the recording fee. Wisconsin Statutes, 59.43(2m).
WRDA HB Rev. 1/8/2004

PRIVATE WATER MAIN
OPERATION, INSPECTION, & MAINTENANCE AGREEMENT
Village of Germantown

THIS AGREEMENT is between Heather Lake, LLC ("Property Owner"), and the Village of Germantown, (the "Village"). It is based upon the following:

A. The Property Owner is the owner of certain real property (the "Property") located in the Village of Germantown, which is further described as follows: Lot 38 of Certified Survey Map No. 6446 as recorded in the office of the Register of Deeds of Washington County, Wisconsin on February 21, 2012 as Document Number 1298092.

B. The Property Owner intends to install a private water main on the Property within the easement areas shown in Exhibit "A" in accordance with the construction plans (the "Plan") approved by the Village and the Wisconsin Department of Commerce on file in the Village Engineering office.

C. The Plan provides for the construction of the private water main including all hydrants and valves associated with private water main (the "Private Water System") within the confines of the Property.

D. The Village requires that the Private Water Main as shown on the Plan be constructed, operated and adequately maintained by the Property Owner.

NOW, THEREFORE, based on the above, the parties agree as follows:

1. The Private Water Main shall comply with all current Department of Commerce requirements as well as the requirements of Village of Germantown Design, Drafting and Construction Standards and Specifications, and shall be constructed by the Property Owner in compliance with Village approved plans and specifications identified in the Plan.

2. The Property Owner shall supply the Village with complete set of construction as-built drawings in ink on standard size mylar, and in AutoCAD format (*DWG) on computer disk or CD of the Private Water Main within thirty (30) days of completion of the project. The as-built plan will be used by the Village to determine if the Private Water Main was constructed according to the Village approved plans. The Private Water Main will be considered complete by the Village upon the Village's approval of the as-built plan.

3. The Property Owner shall not construct, place or allow or suffer the construction or placement of structures and/or landscaping over the Private Water System that will affect the operation and maintenance of the Private Water System without the specific written approval of the Village except for the bituminous asphalt pavement that had been previously approved.

4. The Property Owner shall adequately maintain the Private Water System. Adequate maintenance shall mean the preservation of the functional integrity and efficiency of a water conveyance facility, including its valves and hydrants. The term includes preventive maintenance, correctional maintenance and replacement of defective components. Maintenance includes but is not limited to; exercising valves and hydrants annually and repairing leaks.

5. The Village will inspect and flush the Private Water System every year. The Village will work with the Property Owner to determine if any additional maintenance is necessary after said inspection. The purpose of the inspection is to assure safe and proper functioning of the facilities.

6. The Property Owner will perform or otherwise be responsible for any work necessary to keep the Private Water System in good working order. This obligation includes making all the necessary repairs and/or improvements to correct damages, both natural and man made, and disrepair. If disrepair, damages or other deficiency shall be discovered by the Village pursuant to its annual inspection under ¶5 or at any time the Village becomes aware of such defect in the Private Water System, a written report shall be promptly furnished to the Property Owner advising of the defect(s) and the Property Owner shall have thirty (30) days from the date of receipt of the report to take appropriate measures to correct any deficiencies or damages. The Property Owner shall promptly advise the Village of the actions taken to respond to, address or correct any deficiencies or complaints.

7. The Property Owner hereby grants to the Village a perpetual easement on, over, and under the easement area described in Exhibit A for the purpose of access to the Private Water System by its authorized employees and contractors, as well as for the purpose of physical inspection and repair work, as provided in §§ 5 through 8 of this Agreement, to enter upon the Property and to inspect the Private Water System on an annual basis as provided in § 5, and at any other time when the Village reasonably deems necessary.

8. If the Property Owner fails to maintain the Private Water System in good working condition reasonably acceptable to the Village and fails to make all the reasonably necessary repairs and/or improvements to correct damages, both natural and man made, then the Village, upon thirty (30) days written notice to the Property Owner, may but shall not obligated to enter upon the Property and take whatever steps necessary to correct deficiencies. In addition, if the Village performs work of any nature, or expends funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Village may impose upon the Property Owner a special charge for the cost of said work, pursuant to Section 66.0627, Wisconsin Statutes.

9. Except to the extent of the negligent or willful acts or omissions of the Village, its board members, employees, agents, or officers, the Property Owner agrees to hold harmless the Village, its board members, employees, agents, and officers from any costs, damages, loss claim suit, liability or award which may arise, be brought or incurred or assessed because of the existence of the Private Water System, or any act or omission in the

operation of the Private Water System by Property Owner. The Village shall, upon receiving notice of or otherwise being informed of an injury or damage which might lead to a claim, suit or assessment, or such a claim, suit or assessment (unless such claim, suit or assessment arises out of the negligence or misconduct of the Village), shall tender the defense of any such claim, suit or assessment to the Property Owner, who shall fully defend the Village by counsel reasonably satisfactory to it, and who shall be responsible for any and all costs and/or expenses, including but not limited to reasonable attorney's fees, damages, awards, verdicts or settlements resulting or arising from such claims, suits or assessments.

10. This Agreement shall become effective as of the date it is approved by the Village or executed by the Property Owner, whichever is later.

11. By signing below, the person signing on behalf of the Property Owner represents that he has authority to act on behalf of the Property Owner, and has authority to sign this Agreement on the Property Owner's behalf.

12. This Agreement shall be recorded with the Register of Deeds of Washington County, Wisconsin, and shall constitute a covenant running with the land, and shall be binding on both parties, their successors or assigns.

13. Whenever in this Agreement the consent or approval of the Village is required, same shall not be unreasonably withheld, conditioned or delayed.

[REMAINDER OF PAGE LEFT INTENTIONALLY BLANK]

Dated at Germantown, Wisconsin this 5 day of March, 2012.

VILLAGE OF GERMANTOWN

Dean Wolter, President

Elizabeth Knaack, Clerk

HEATHER LAKE, LLC

By:

Name: Paul Ellsworth

Title: Manager

STATE OF WISCONSIN)
) SS
WASHINGTON COUNTY)

Personally appeared before me this 5 day of March, 2012, the above-named Dean M. Wolter and Elizabeth Knaack, the President and Village Clerk, respectively, of the Village of Germantown, Wisconsin, to me known to be the persons who executed the foregoing agreement on behalf of the Village and by its authority.

Name: JOHN L. DESTEFANIS
Notary Public, State of Wisconsin
My Commission ~~Expires~~: is permanent.

STATE OF WISCONSIN)
) SS
WASHINGTON COUNTY)

Personally appeared before me this 7th day of March, 2012, the above-named Paul Ellsworth, the Manager, of Heather Lake, LLC, to me known to be the person who executed the foregoing agreement on behalf of said corporation and by its authority.

Name: RITA M. COLLINS
Notary Public, State of Wisconsin
My Commission Expires: 8/4/2013

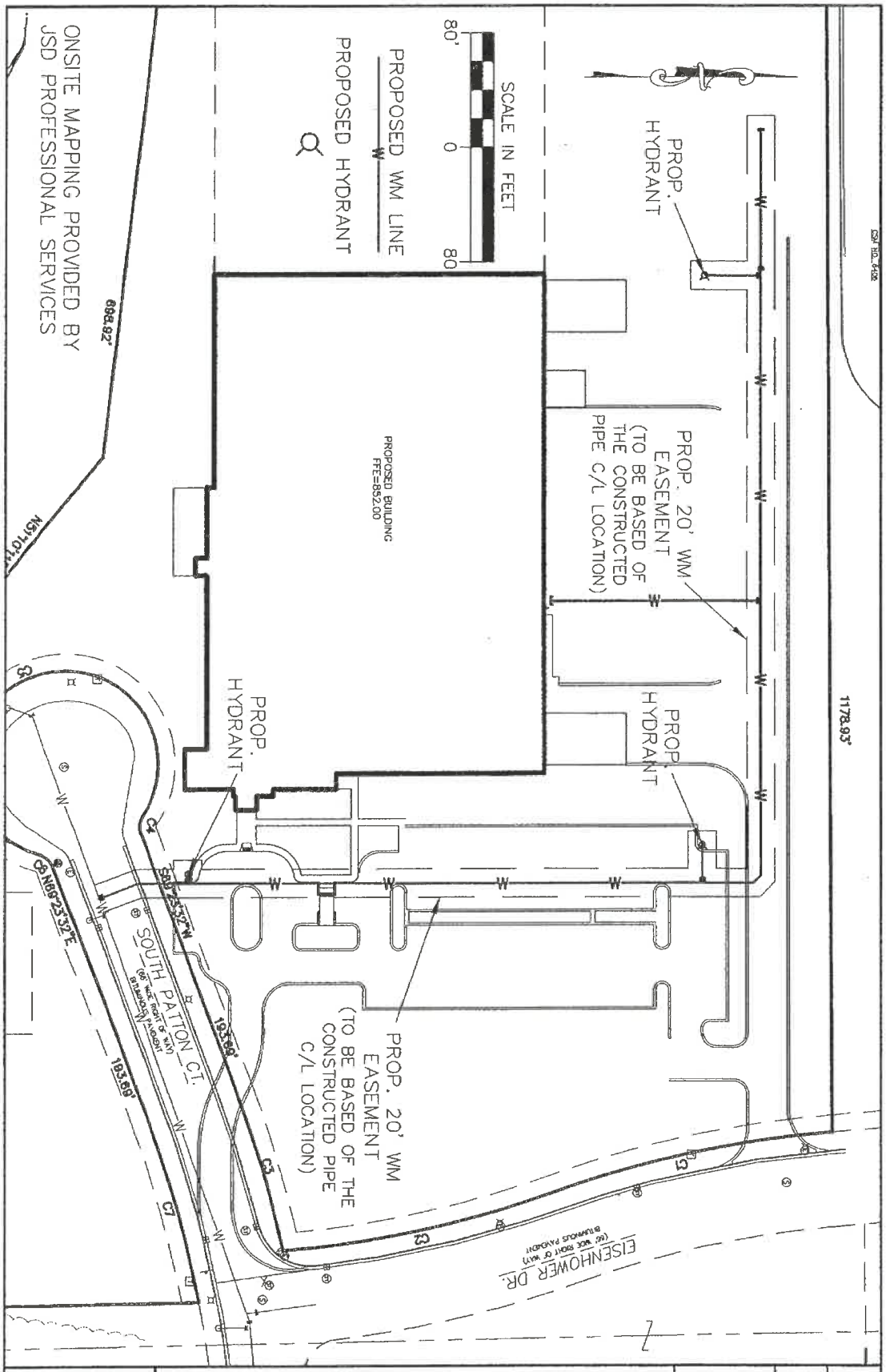
Approved by the Village Board of the Village of Germantown on the 5 day of MARCH, 2012.

Approved as to form:

John L. DeStefanis, Village Attorney

This instrument was drafted by
The Village of Germantown
Date: February 28, 2012

DOC# 1301595



VILLAGE OF GERMANTOWN ENGINEERING DEPARTMENT N112 W17001 MEQUON RD. GERMANTOWN, WIS. 53022 262-250-4720 OFFICE 262-253-8255 FAX	EXHIBIT A 20' WATER MAIN EASEMENT LOT 38 OF CERTIFIED SURVEY MAP NO. 6446 VILLAGE OF GERMANTOWN	DESIGNED BY	JSD	UNKNOWN
		DRAWN BY	RCB	3/5/12
		APPROVED BY	RCB	3/5/12
		CADFILE \ells\wm\exh	SCALE 1" = 80'	
		PROJECT NO. 1201	SHEET NO. 1	

Village of Germantown ...Willkommen

Fee must accompany application
X $2,900 with public improvements
X $1,960 no public improvements

Paid ____ Date 2-8-16

CERTIFIED SURVEY MAP APPLICATION

Pursuant to Section 18.06 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1

APPLICANT OR AGENT

Skyline Development Corp.
9400 North 107th Street
Milwaukee, WI 53224

Phone (414) 354-2880
Fax (414) 354-2885
E-Mail mrk@skylinedc.com

PROPERTY OWNER

Skyline Development Corp.
9400 North 107th Street
Milwaukee, WI 53224

Phone (414) 354-2880
EMAIL: bill@skylinedc.com

2

PROPERTY ADDRESS OR GENERAL LOCATION	TAX KEY NUMBER
SE Corner of Donges Bay Road & Fond du Lac Avenue	GTNV362983

3

PURPOSE OF LAND SPLIT

Industrial Development - 32,000 sq. ft. Bldg.	Will the land split require rezoning? yes	
	From B-1	To M-1

4

READ AND INITIAL THE FOLLOWING:

MK I understand that the Certified Survey Map is not valid until recorded at the Washington County Register of Deeds. The Village will record the document and charge the applicant all applicable recording fees.

MK I understand that the Map will not be placed on the Village Board agenda until all the technical corrections to the CSM are made, the payment of any outstanding impact fees are paid to the Village Clerk's Department, and the original signed and stamped copy of the Map is submitted on the proper paper.

MK I understand that parcels created outside the Sewer Service Area will require a soil test. I also understand that all properties abutting a State Highway will require DOT approval and I will be responsible for securing such approval prior to recording.

MK I understand all delinquent property taxes on any of the properties involved shall be paid prior to recording.

5

SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Michael Kreng — Applicant — Date 2/8/2016

Michael Kreng — Owner — Date 2-8-2016

Village of Germantown ...Willkommen

Fee must accompany application

☒ $1460 Paid [illegible] Date 2-8-16

CONDITIONAL USE PERMIT APPLICATION

Pursuant to Section 17.42 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1

APPLICANT OR AGENT

Skyline Development Corp.
9400 North 107th Street
Milwaukee, WI 53224

Phone (414) 354-2880
Fax (414) 354-2885
E-Mail mrk@skylinedc.com

PROPERTY OWNER

Skyline Development Corp.
9400 North 107th Street
Milwaukee, WI 53224

Phone (414) 354-2880
E-MAIL: bill@skylinedc.com

2

TO WHOM SHOULD THE PERMIT BE ISSUED?

Skyline Development Corp.

3

PROPERTY ADDRESS TAX	KEY NUMBER
SE Corner of Donges Bay Rd and Fond du Lac Avenue	GTNV362983

4

DESCRIPTION OF EXISTING OPERATION

Briefly describe the use as it exists today, including use, size, number of employees, hours of operation, etc. If this permit involves new construction, describe the current status of the property, e.g. "vacant." Use additional pages if necessary.

Site is currently "VACANT"

5

DESCRIPTION OF PROPOSED OPERATION

Write the name of the proposed conditional use exactly as it appears in the Municipal Code.

Development with a 25' wetland setback as provided under section 24.04 (3) 5.

Describe the proposed use, including size, number of employees, hours of operation and extent of any new construction/alterations.

Construct new 32,000 sq. ft. Industrial Building, Supplier of Outdoor (fishing) Equipment.

Currently a Germantown Business Park Employer of 24 workers - 7:30 to 5:00 Mon. - Fri.

6 METES AND BOUNDS LEGAL DESCRIPTION OF PROPERTY – REQUIRED

Attach pages as necessary

Part of Lot 1 of Certified Survey Map No. 5464 in the Northwest 1/4 of Section 26, Township 9 North, Range 20 East, in the Village of Germantown, Washington County, Wisconsin, Bounded and Described as ATTACHED:

7 SUPPORTING DOCUMENTATION:

- [x] Site Plan and elevations for new construction (can be conceptual)
- [x] N/A Photos of existing use and/or proposed use operating elsewhere
- [ ] _____
- [ ] _____

8 READ AND INITIAL THE FOLLOWING:

MK I understand that the Village is under no obligation to issue a Conditional Use Permit and will do so only if the applicant successfully demonstrates that the proposed use is harmonious with the neighborhood and the long range goals of the Village.

MK I will notify the Village if <u>any</u> aspects of the conditional use changes. I understand that failure to do so may result in the revocation of the CUP.

MK I understand that a Conditional Use Permit is valid only if the conditions and restrictions of the permit are met. I understand that failure to comply with any aspect of the permit may result in revocation.

9 SIGNATURES – ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Michael Kranz 2/8/16

Applicant Date Owner Date

PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5464 IN THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 2 OF SAID MAP AND THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE N 01°26'16" W 278.81 FEET; THENCE 188.92 FEET ALONG THE ARC OF A CURVE, WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 925.00 FEET, AND WHOSE CHORD BEARS N 05°41'56" E 241.51 FEET; THENCE N 01°26'12" 73.96 FEET TO THE SOUTH RIGHT OF WAY LINE OF DONGES BAY ROAD; THENCE N 88°09'19 E 346.52 FEET ALONG SAID RIGHT OF WAY LINE; THENCE S 01°05'41" 409.58 FEET TO A MEANDER CORNER 30 FEET MORE OR LESS NORTHERLY OF THE CENTERLINE OF A CREEK; THENCE MEANDERING THE CENTERLINE OF SAID CREEK THE FOLLOWING FIVE COURSES, (1) S 39°31'34" W 64.22 FEET, (2) S 88°35'21" W 34.91 FEET, (3) S 49°31'30" W 63.28 FEET, (4) S 00°13'24" W 33.88 FEET, (5) 23°46'59" W 69.88 FEET TO A MEANDER CORNER 20 FEET MORE OR LESS WESTERLY OF THE CENTERLINE OF SAID CREEK ON THE NORTH LINE OF SAID LOT 2; THENCE S 88°33'44" W 222.51 FEET ALONG SAID NORTH LINE TO THE POINT OF BEGINNING.

Village of Germantown ...Willkommen

Fee must accompany application

- ☐ $700 Minor Addition
- ☐ $1,240 Construction <10,000 SF
- ☒ $2,095 Construction 10,000 SF to 50,000
- ☐ $3,460 Industrial Construction >50,000 SF
- ☐ $3,460 Commercial Construction >50,000
- ☐ $200 Plan Commission Consultation
- ☒ $125 Fire Department Plan Review

PAID L. DATE 2-8-16

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1

APPLICANT OR AGENT

Skyline Development Corp.
9400 North 107th Street
Milwaukee, WI 53224

Phone (414) 354-2880
Fax (414) 354-2885
E-Mail mrk@skylinedc.com

PROPERTY OWNER

Skyline Development Corp.
9400 North 107th Street
Milwaukee, WI 53224

Phone (414) 354-2880
Fax (414) 354-2885
E-Mail bill@skylinedc.com

2

PROPERTY ADDRESS

SE Corner of Donges Bay Rd. and Fond du Lac Ave.

3

NEIGHBORING USES – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North	South	East	West
Residential	Industrial/Vacant	Industrial	Business

4

READ AND INITIAL THE FOLLOWING:

MK I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

MK I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

MK I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5

SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!

Michael Kraus 2/8/2016
Applicant Date

Skyline Development Corp
W S Burkhart
Owner W. S. Burkhart Date 2/8/16

RECEIVED
MAR 04 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

SKYLINE DEVELOPMENT CORPORATION

February 8th, 2016

Planning Department
Jeffrey Retzlaff
Village Planner & Zoning Administrator
N112 W17001 Mequon Road
Germantown, WI 53022

Re: Sports Specialists of Milwaukee, Inc. – 32,000 Sq. Ft. Facility Located at N104 W13885 Donges Bay Road (SE Corner of Donges Bay Rd and Fond Du Lac Avenue)

Dear Mr. Retzlaff,

This letter is to describe to you the intent and scope of the project that is being presented for Plan Commission for review and approval.

Project Name: **Sports Specialists of Milwaukee, Inc.**
Project Address: **N104 W13885 Donges Bay Rd (SE Corner of Donges Bay Rd & Fond Du Lac Avenue)**
Project Size: **32,000 Sq. Ft.**

The intent of this project is to build a new facility for Sports Specialists of Milwaukee, Inc., who currently has outgrown their existing facility located on McCormick Drive, in the Germantown Business Park. The project will consist of Precast Walls Panels (28' in height) that will be painted with (2) colors on all four sides of the building.

Other architectural features that will be incorporated into the new facility, will be high bay vertical windows on all elevations, as well as lower windows at the office areas to help enhance the appearance of the facility as well as let natural light into the warehouse/mezzanine/office areas. There will be (2) RTU's on the facility located on the south end above the office area, which will not be visible due to their size and location on the building. Warehouse area to be heated only, with NO RTU's. A dumpster enclosure has been shown on the East side of the facility next to the loading docks (which there will be 2 docks and 1 at grade door), which will be constructed out of masonry, painted to match.

Parking spaces there will be 40 stalls of which, 2 will be ADA, all of which will be on the east side of the facility.

The site for this project has been selected due to the following reasons:

1) – Site provides adequate space for the proposed facility and for future expansion capabilities to the north, with future parking area on the south and north sides.
2) – Site also provides a wilderness setting and seclusion.

9400 North 107th Street • Milwaukee, Wisconsin 53224-1197 • Telephone (414) 354-2880 • Fax (414) 354-2885
Design Builders Since 1964

SKYLINE
DEVELOPMENT
CORPORATION

Sports Specialists is a full-line distributor of fishing tackle and related equipment. They stock approximately 30,000 different items for sale to their retail customers (who are primarily in the upper Midwest). In 1993 the owners of the Company, Tom and Susan Ducrest, moved the business from Milwaukee to a new 12,000 sq. ft. building they had built in the Germantown Industrial Park. About seven years later a 10,000 sq. ft. addition was added to the building. That facility represents the Company's only location.
The business has outgrown its current facilities, and has engaged Skyline Development Corporation to build a "high bay" facility in a 32,000 sq. ft. footprint (including an 8,000 sq. ft. mezzanine). The new facility will (approximately) double the Company's current warehouse floor space and provide significant additional cubic feet of storage as a result of the high eaves. Sports Specialists believes this new facility will allow them to continue their modest, but steady growth, and the expansion room that the new site offers will allow for additional future growth.

If you have any questions, please feel free to give me a call to discuss.

Sincerely,

SKYLINE DEVELOPMENT CORP.

Michael Krenz

Michael Krenz
Project Manager

9400 North 107th Street • Milwaukee, Wisconsin 53224-1197 • Telephone (414) 354-2880 • Fax (414) 354-2885
Design Builders Since 1964

March 23rd[d], 2016

RECEIVED
APR 5 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

Jeff Retzlaff
Village of Germantown
N112 W17001 Mequon Road
Germantown, WI 53002

RE: 2nd Review - Comments
Sports Specialists, Donges Bay Road @ STH 145
CSM, CUP & Site Plan Applications

Mr. Retzlaff,

This letter is in response the meeting we had last week with you and our teams regarding the review letter and the corrections/updates for each of the items defined in your March 10th, 2nd Review letter.

Item 1 – Planning Department: Comprehensive Plan Map Amendment & Rezoning:

#1 - This item was presented and approved at the March 14th PC Meeting.

Item 2 – Planning Department: Certified Survey Map:

#2 – Correction made and revised CSM resubmitted per our 3/17/2016 meeting

#3 – Lot #2 is No Longer part of this submittal and only Lot #1. Lot #2 mitigation will be handled at the time of development. Additional mitigation documents submitted as per requested for Lot #1.

#4 – See item #3.

Item 3 – Planning Department: Conditional Use Permit:

#5 – See item #3. Additional support documents provided for Lot #1

Item 4 – Planning Department: Site Plans

#6 – Truck-Turning movements to/from the Donges Bay Road driveway have been resolved (see driveway revised width on current plans). Civil Engineer (Hardwood) and Skyline have had conversations with the DOT and once project is approved by Germantown, DOT will work with developer (Skyline and Hardwood Engineering) to determine exact location and size of center median to further help Truck-Turning movements into site.

Here is a current truck traffic schedule for Sports Specialtists as it relates to their seasons:

	Incoming		Outgoing		Combined		
	Ground Package	Semi's	Ground Package	Semi's	Ground Package	Semi's	Total
January	2	6	2	2	4	8	12
February	2	8	2	2	4	10	14
March	2	8	2	2	4	10	14
April	2	8	2	2	4	10	14
May	2	6	2	1	4	7	11
June	2	4	2	0	4	4	8
July	2	2	2	0	4	2	6
August	2	0	2	0	4	0	4
September	2	0	2	0	4	0	4
October	2	4	2	2	4	6	10
November	2	5	2	2	4	7	11
December	2	6	2	2	4	8	12

#7 – Parking information/calculations are on current plans.

#8 – RTU information is on plans, sheet A1.0, along with a site line study, sheet ASP1.0.

#9 – See Submit item #8.

#10 – This item should be removed, as dumpster have been screened per Germantown requirements.

#11 – Curb will be shown/installed to prevent vehicles from dropping off.

#12 – Signage will be determined at a later date. This will be a separate submittal by owner and his performed sign contractor.

#13 – A revised landscaping plan has been resubmitted per our 3/17/2016 discussions.

#14 – Yes, the sample piece of the precast is what is being proposed, which is a smooth finish that will be painted (two tones) as indicated on the renderings.

RECEIVED
APR 4th 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

2022 E. North Avenue Suite 300
Milwaukee | WI 53202
Gregg Prossen, Principal

TELEPHONE 414.406.7625
www.consortiumae.com

the Consortium ae LLC

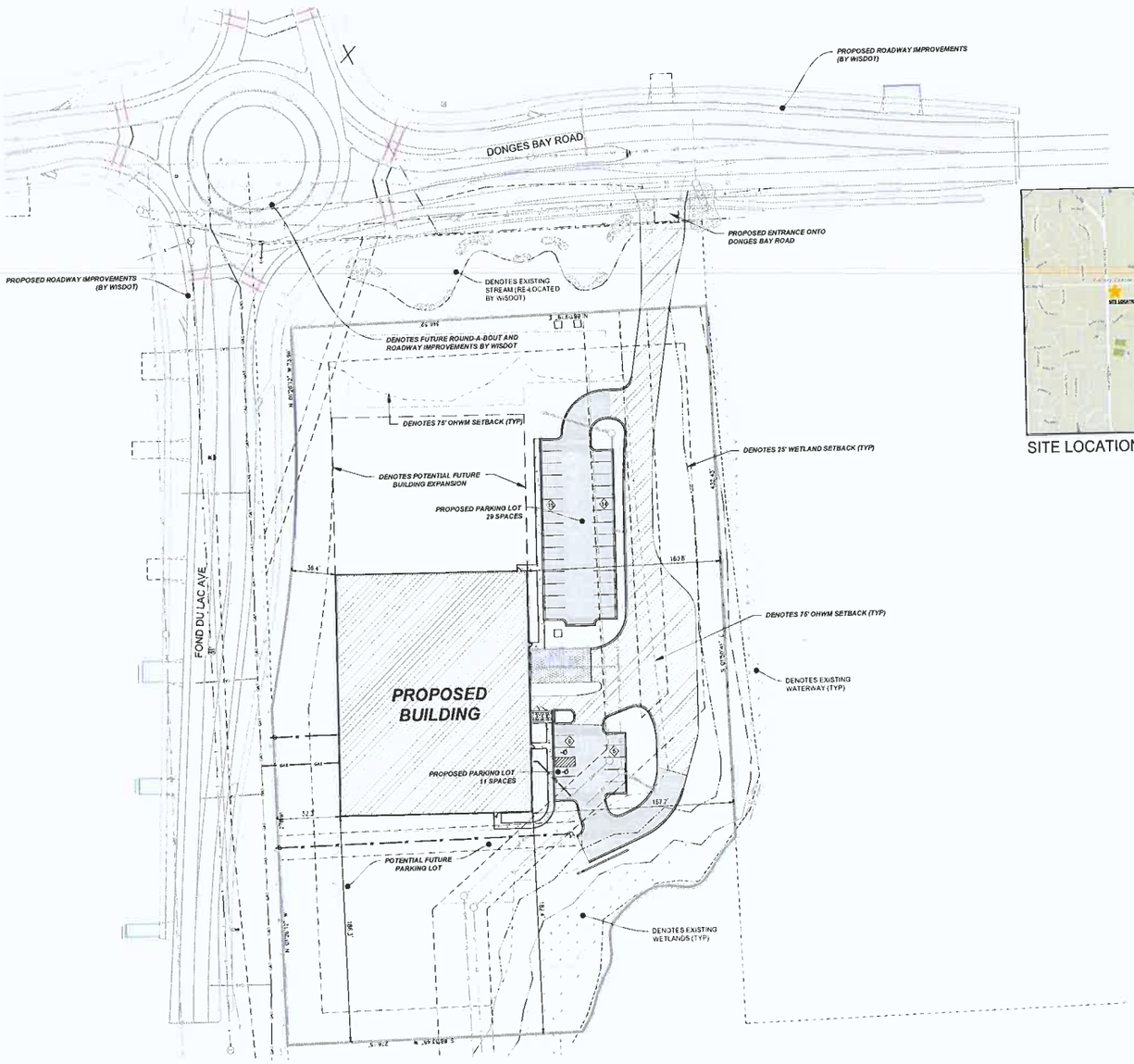
A NEW BUILDING FOR:

SPORTS SPECIALISTS

DONGES BAY ROAD
GERMANTOWN WI
the CONSORTIUM ae PROJECT #:0016-05

SKYLINE DEVELOPMENT CORPORATION

SPORTS SPECIALISTS
2016-02-25 PC UPDATE



SITE LOCATION MAP

SITE ZONING AND LOCATION TABLE

PROPERTY LOCATION:	DONGES BAY ROAD & FOND DU LAC AVENUE, GERMANTOWN, WI
EXISTING ZONING:	B1
PROPOSED ZONING:	M1 - LIMITED INDUSTRIAL
ZONING SETBACKS:	
BUILDING SETBACK	30 FEET (DONGES BAY ROAD) 30 FEET (FOND DU LAC AVE) 25 FEET (SIDE & REAR YARD)
PROPERTY OWNER:	SPORTS SPECIALISTS
PROPOSED USE AGE:	WAREHOUSE

SITE CALCULATION TABLE

SITE DATA:	
TOTAL SITE AREA	4.69 AC
TOTAL DISTURBED AREA	2.80 AC
EXISTING IMPERVIOUS AREA	0.00 AC
PROPOSED IMPERVIOUS AREA	1.59 AC
PROPOSED GREENSPACE	3.10 AC
PROPOSED GREENSPACE %	66%
MAXIMUM LOT COVERAGE ALLOWED	75%
BUILDING DATA:	
BUILDING FOOTPRINT	32,609 GROSS FT2
GROUND FLOOR WAREHOUSE	28,209 NET FT2
OFFICE AREA (FINISHED SPACE)	4,651 NET FT2
MEZZANINE LEVEL WAREHOUSE	7,576 NET FT2
PRIMARY FLOOR AREA (FOR PARKING)	3,994 NET FT2
PARKING DATA:	
PROPOSED REGULAR PARKING SPACES	38
PROPOSED HANDICAP PARKING	2
PROPOSED TOTAL PARKING	40
REQUIRED PARKING (1/500 FT2 PRIMARY FLOOR AREA)	8 SPACES
EXPECTED EMPLOYEES	24

CIVIL SHEET INDEX:

C1.00 SITE PLAN - OVERALL
C1.01 SITE PLAN - DETAILED SOUTH
C1.02 SITE PLAN - DETAILED NORTH
C1.03 GRADING PLAN - DETAILED SOUTH
C1.04 GRADING PLAN - DETAILED NORTH
C1.05 EROSION CONTROL PLAN
C1.06 EXISTING SURVEY
C5.00 CONSTRUCTION DETAILS

UTILITY LEGEND

SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
100.00	PROPOSED & EXISTING SPOT GRADE

DIGGER'S HOTLINE 1-800-242-8511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO UNDERGROUND WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE PERTAINING TO EXCAVATOR'S WORK.

HARWOOD ENGINEERING CONSULTANTS, LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE: MARCH 18, 2016

SCALE: 1" = 40'

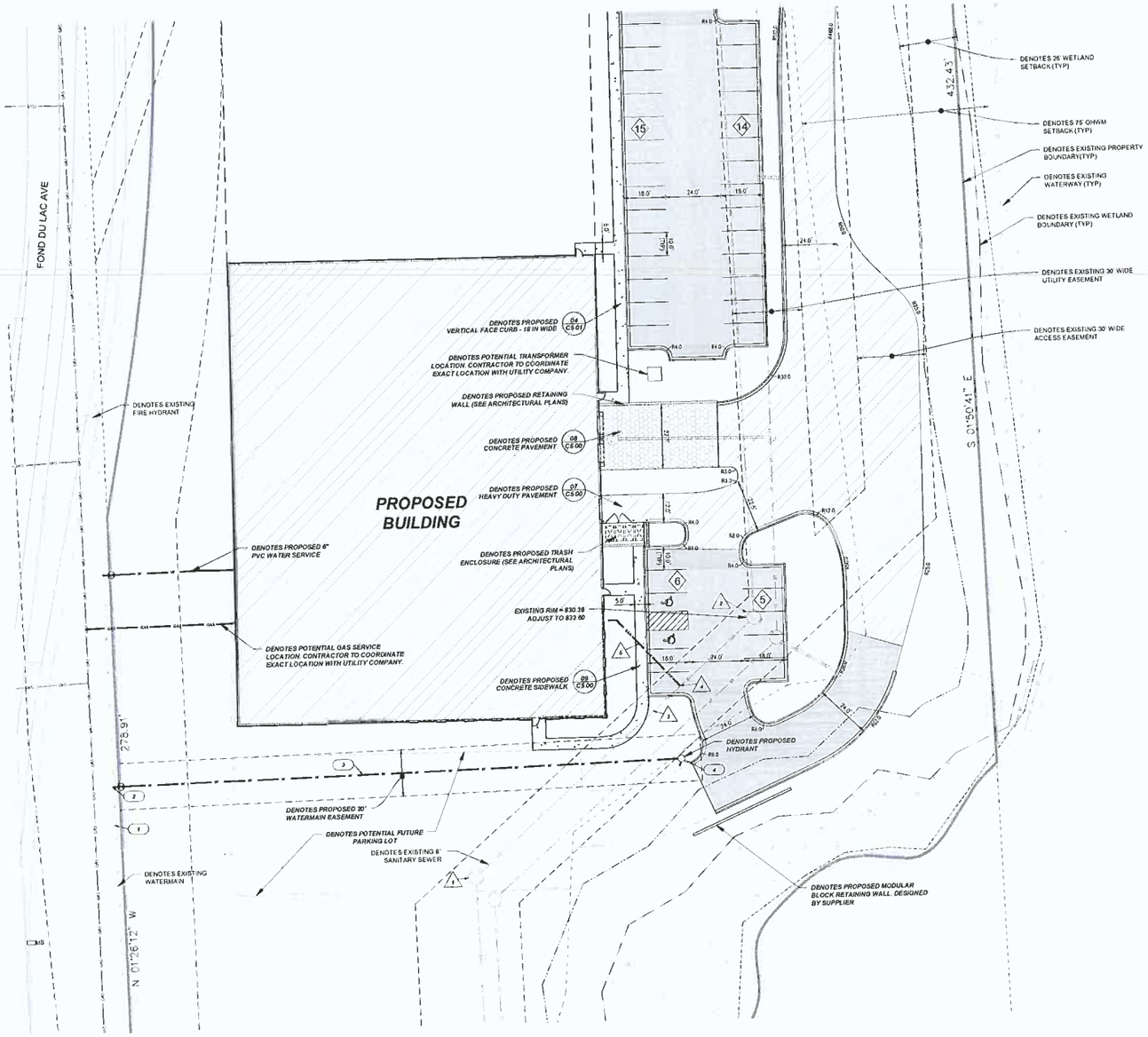
North

Site Plan - Overall

2016-03-18 PC UPDATE

Project No.
15-1170.00

Sheet No.
C1.00



UTILITY TAGS

SANITARY

1. EXISTING SANITARY MANHOLE
   RIM = 829.34
   6" INV = 815.84 (NE)
   6" INV = 815.68 (S)
2. EXISTING SANITARY MANHOLE
   PROP RIM = 832.60
   8" INV = 818.60 (N)
   8" INV = 818.80 (E) (STUB)
   8" INV = 818.38 (SW)
3. EXISTING 8" SANITARY @ 1.7%
4. CONNECT TO EXISTING 8" SANITARY W/ 8" X 6" FACTORY WYE AND TWO REPAIR COUPLINGS
5. PROP 43 L.F. 6" PVC SANITARY SEWER @ 1.00% (MIN) REFER TO PLUMBING PLANS FOR CONNECTION AT BUILDING

WATER

1. EXISTING 12" PVC WATERMAIN
2. CONNECT TO EXISTING WATERMAIN W/ TAPPING SLEEVE AND 8" GATE VALVE W/ BOX.
3. PROPOSED 265 L.F. 8" PVC WATERMAIN
4. PROPOSED HYDRANT
   BURY ELEVATION = 831.00
5. CONNECT TO EXISTING WATERMAIN W/ TAPPING SLEEVE AND 6" GATE VALVE W/ BOX.
6. PROPOSED 57 L.F. 6" PVC WATERMAIN REFER TO PLUMBING PLANS FOR CONNECTION AT BUILDING

UTILITY LEGEND

SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
100.00	PROPOSED & EXISTING SPOT GRADE

DIGGER'S HOTLINE 1-800-242-8511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON these DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

HARWOOD ENGINEERING CONSULTANTS LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE: MARCH 18, 2016

SCALE: 1" = 20'

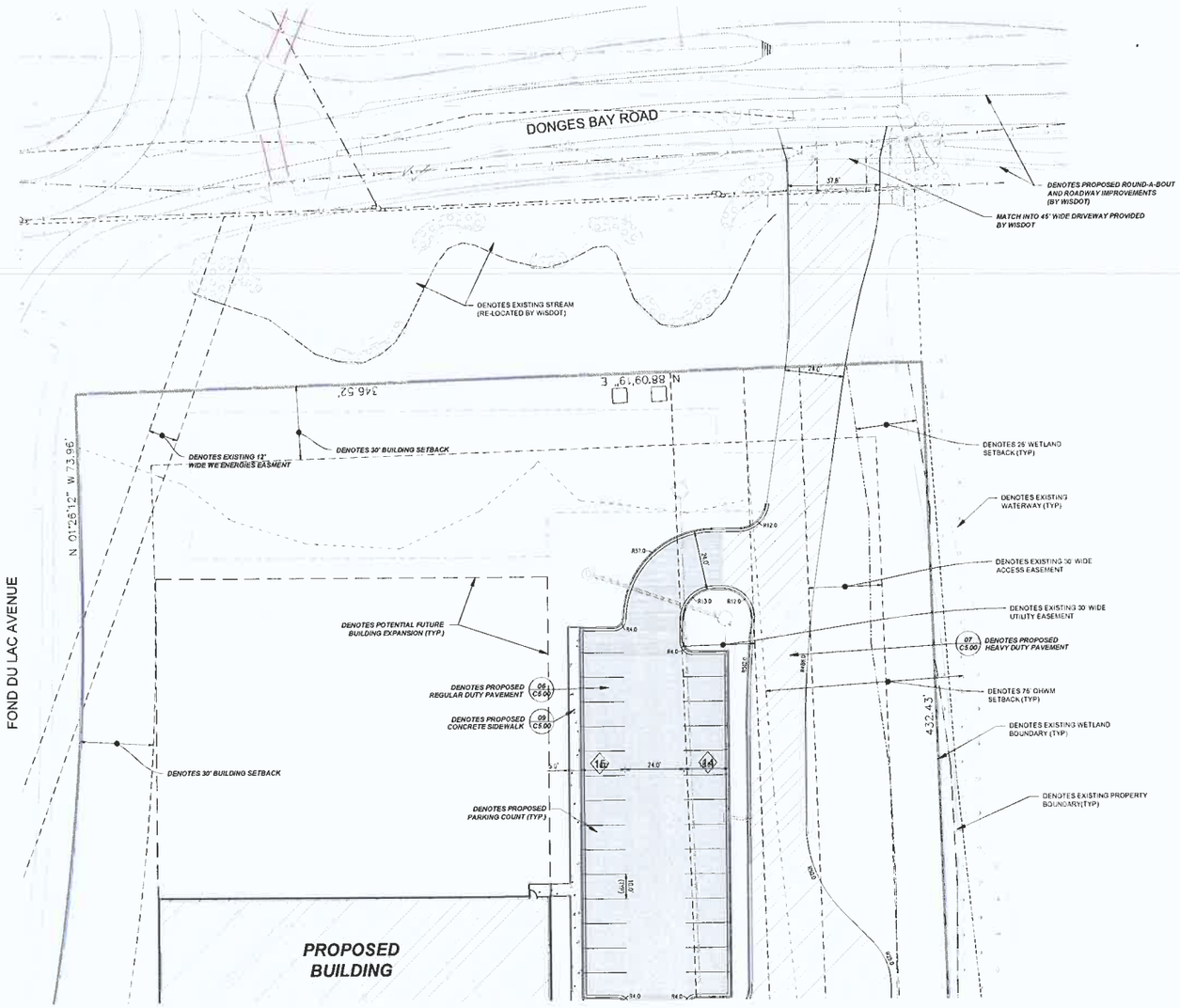
North

Site Plan - Detailed South

2016-03-18 PC UPDATE

Project No.
15-1170.00

Sheet No.
C1.01



HARWOOD ENGINEERING CONSULTANTS, LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE MARCH 18, 2016

SCALE: 1" = 20'

North

Site Plan - Detailed
North

UTILITY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
100.00	PROPOSED & EXISTING SPOT GRADE

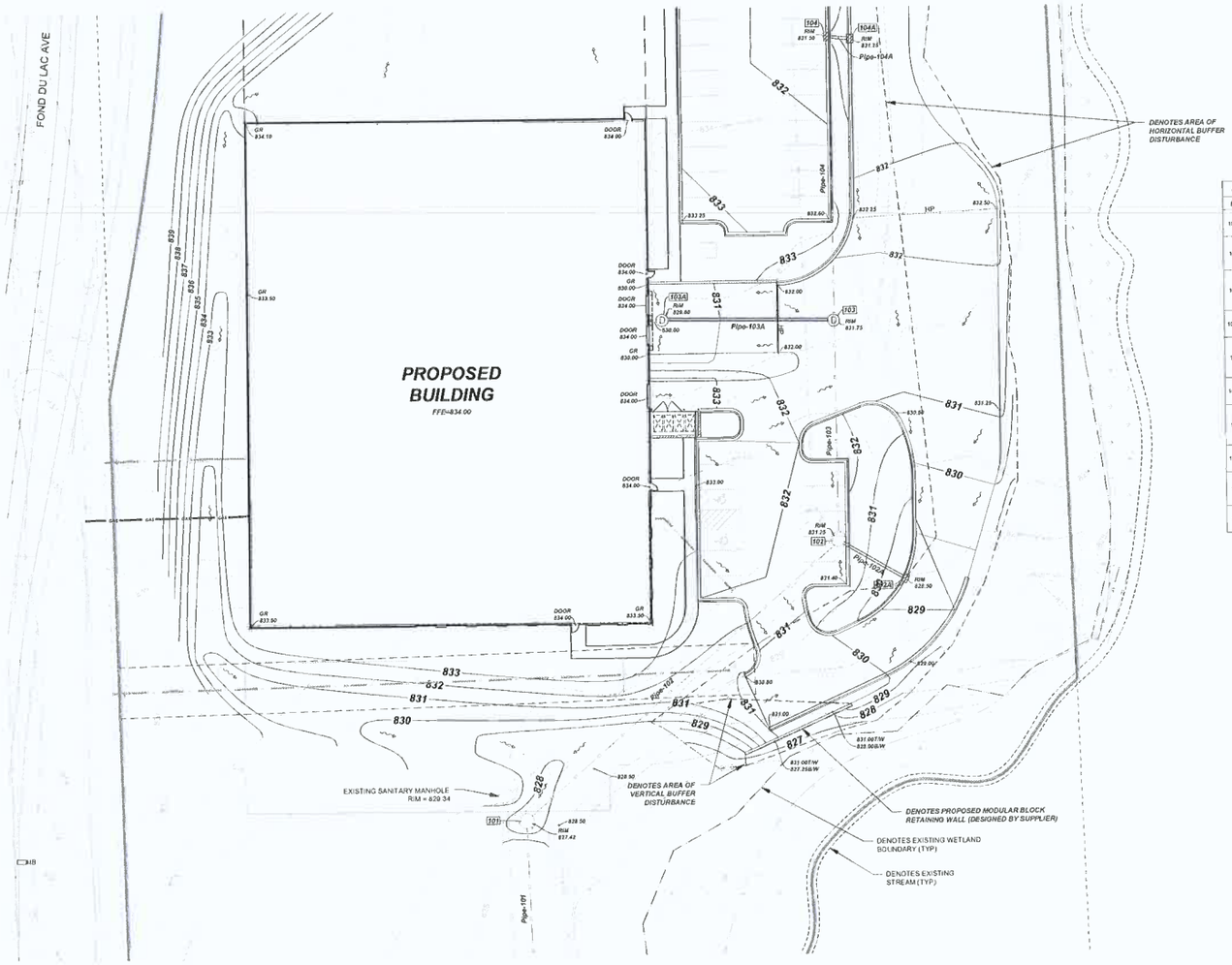
DIGGER'S HOTLINE 1-800-242-8511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED TONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

2016-03-18 PC UPDATE

Project No.
15-1170.00

Sheet No.
C1.02



Storm Structure Table	
#	Structure Details
100	CATCH BASIN RIM = 835.21 Pipe-101 = 815.64
101	CATCH BASIN RIM = 827.42 Pipe-102 = 820.38 Pipe-101 = 820.38
102	EXISTING CATCH BASIN RIM = 831.25 Pipe-103 = 822.23 Pipe-102A = 825.20 Pipe-102 = 821.45
102A	CATCH BASIN - CURB RIM = 828.90 Pipe-102A = 825.50
103	CATCH BASIN RIM = 831.75 Pipe-104 = 823.88 Pipe-103 = 823.88 Pipe-103A = 826.12
103A	CATCH BASIN RIM = 829.80 Pipe-103A = 826.85
104	CATCH BASIN - CURB RIM = 831.50 Pipe-105 = 826.00 Pipe-104A = 827.90 Pipe-104 = 828.00
104A	CATCH BASIN - CURB RIM = 831.25 Pipe-104A = 828.00
105	EXISTING CATCH BASIN RIM = 834.20 Pipe-108 = 827.50 Pipe-105 = 827.52
106	CATCH BASIN RIM = 830.90 Pipe-108 = 828.09

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe-101	30	RCP	117	0.83%	EXISTING PIPE
Pipe-102	30	RCP	166	0.84%	EXISTING PIPE
Pipe-102A	12	PVC	30	1.00%	
Pipe-103	18	RCP	67	1.59%	EXISTING PIPE
Pipe-103A	12	RCP	66	1.01%	
Pipe-104	18	RCP	112	1.59%	EXISTING PIPE
Pipe-104A	12	PVC	9	1.09%	
Pipe-105	12	RCP	61	1.64%	EXISTING PIPE
Pipe-106	12	PVC	50	1.00%	

UTILITY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
100.00	PROPOSED & EXISTING SPOT GRADE

DIGGER'S HOTLINE 1-800-242-8511

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HARWOOD ENGINEERING CONSULTANTS, LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE MARCH 18, 2016

SCALE: 1" = 20'

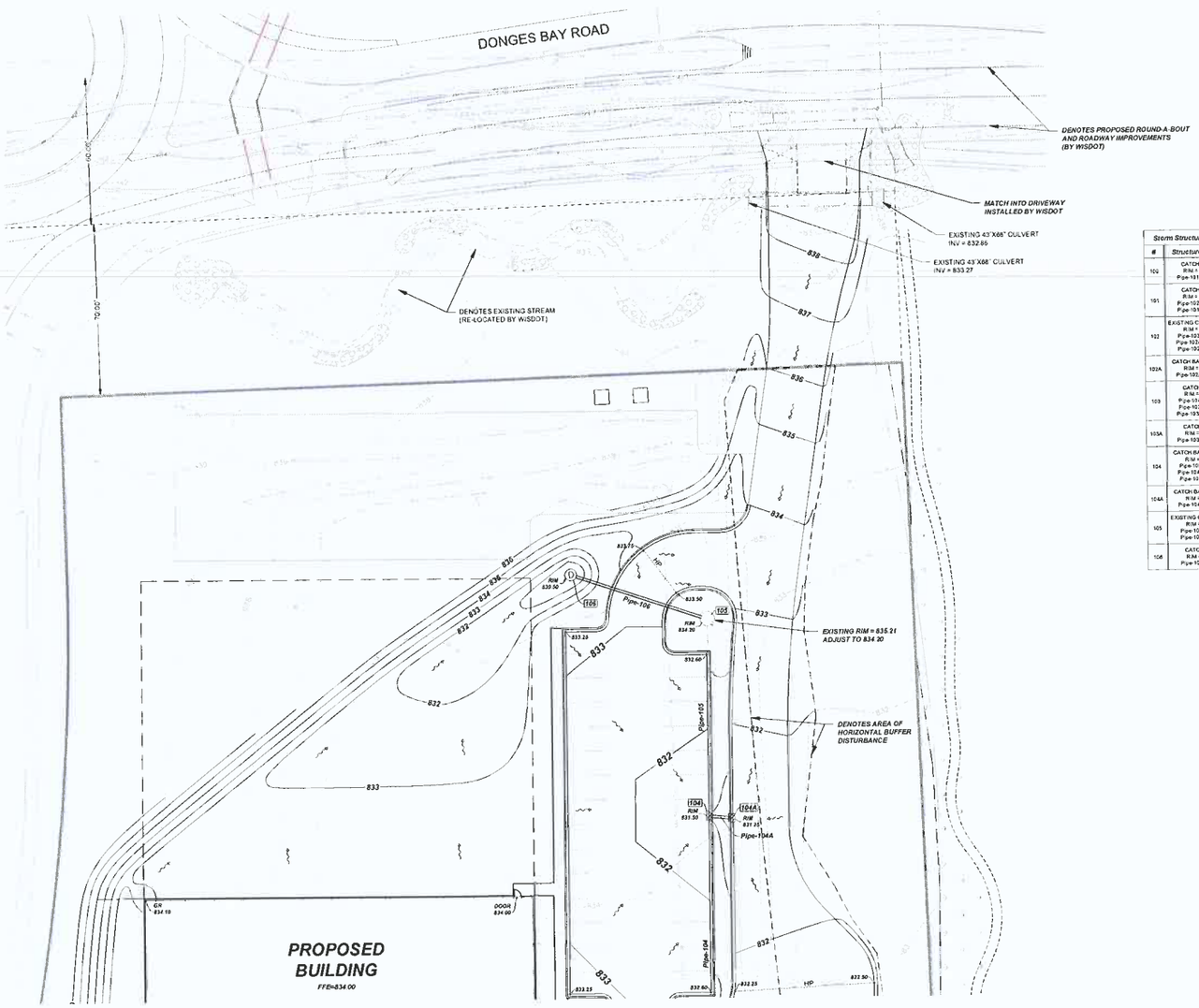
North

Grading Plan - Detailed South

2016-03-18 PC UPDATE

Project No.
15-1170.00

Sheet No.
C1.03



Storm Structure Table	
#	Structure Details
100	CATCH BASIN RIM = 835.21 Pipe-101 = 818.84
101	CATCH BASIN RIM = 827.42 Pipe-102 = 820.38 Pipe-101 = 820.38
102	EXISTING CATCH BASIN RIM = 831.26 Pipe-103 = 823.23 Pipe-102A = 828.28 Pipe-102 = 831.48
102A	CATCH BASIN - CURB RIM = 828.50 Pipe-102A = 825.50
103	CATCH BASIN RIM = 831.75 Pipe-104 = 823.86 Pipe-103 = 823.86 Pipe-103A = 826.12
103A	CATCH BASIN RIM = 828.50 Pipe-103A = 826.65
104	CATCH BASIN - CURB RIM = 831.50 Pipe-105 = 826.00 Pipe-104A = 827.00 Pipe-104 = 825.00
104A	CATCH BASIN - CURB RIM = 831.25 Pipe-104A = 826.00
105	EXISTING CATCH BASIN RIM = 834.20 Pipe-106 = 827.50 Pipe-105 = 827.53
106	CATCH BASIN RIM = 830.50 Pipe-106 = 826.00

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe-101	30	RCP	177	0.67%	EXISTING PIPE
Pipe-102	30	RCP	166	0.64%	EXISTING PIPE
Pipe-102A	12	PVC	30	1.00%	
Pipe-103	18	RCP	87	1.50%	EXISTING PIPE
Pipe-103A	12	RCP	65	1.07%	
Pipe-104	18	RCP	112	1.60%	EXISTING PIPE
Pipe-104A	12	PVC	9	1.00%	
Pipe-105	12	RCP	81	1.00%	EXISTING PIPE
Pipe-106	12	PVC	59	1.00%	

UTILITY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
100.00	PROPOSED & EXISTING SPOT GRADE

DIGGER'S HOTLINE 1-800-242-8511

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HARWOOD ENGINEERING CONSULTANTS, LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE MARCH 18, 2016

SCALE: 1" = 20'

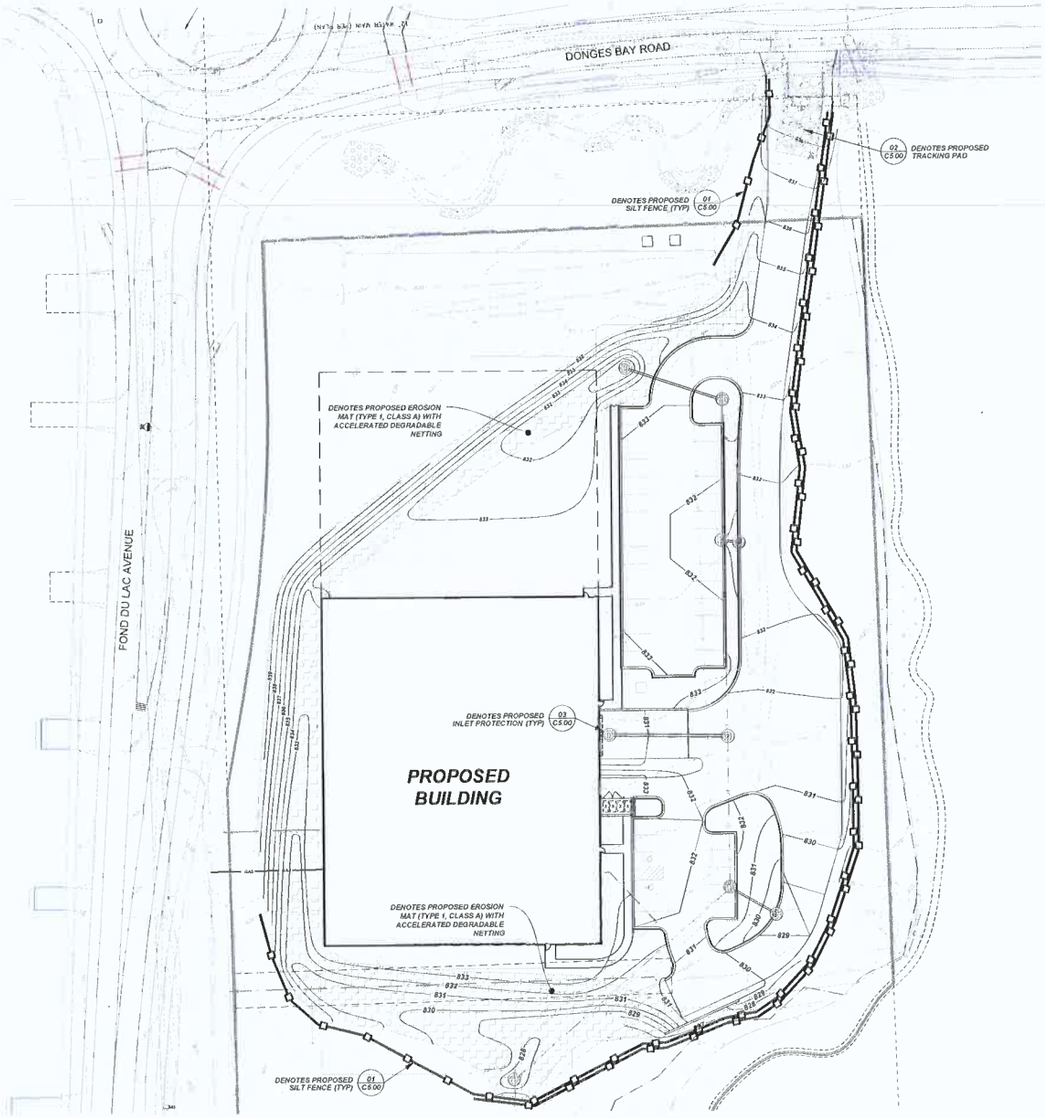
North

Grading Plan - Detailed North

2016-03-18 PC UPDATE

Project No.
15-1170.00

Sheet No.
C1.04



EROSION CONTROL NOTES AND PHASING

ESTIMATED CONSTRUCTION TIMEFRAMES
INSTALL EROSION CONTROL = APRIL 2016
GRADING AND UTILITY INSTALLATION = APRIL 2016
BEGIN BUILDING CONSTRUCTION = APRIL 2016
FINAL SITE GRADING AND RESTORATION = OCTOBER 2016
COMPLETE BUILDING CONSTRUCTION = OCTOBER 2016

ALL CHANGES TO THE ABOVE SCHEDULE SHALL BE REVIEWED AND APPROVED BY THE MUNICIPALITY.

1. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL PRACTICES WEEKLY AND AFTER ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL PERFORM ALL INSPECTIONS AND DOCUMENTATION PER THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES. ALL REQUIRED REPAIRS SHALL BE MADE WITHIN 24 HOURS.
2. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL HAVE IN PLACE, ALL APPLICABLE PLAN APPROVALS AND PERMITS.
3. INSTALL CONSTRUCTION ENTRANCES, SEDIMENT TRACKING PADS, AND ALL SILT FILTER FENCING, AS INDICATED ON PLANS. SEDIMENT TRACKING PADS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PROJECT. SEDIMENT TRACKED ONTO STREETS SHALL BE REMOVED (BY SWEEPING) AT END OF EACH WORK DAY.
4. STRIP TOPSOIL FROM THE SITE (WHERE PROPOSED IMPROVEMENTS OR GRADING IS SHOWN ONLY). TOPSOIL STOCKPILE(S) REMAINING FOR MORE THAN SEVEN DAYS SHALL BE STABILIZED WITH VEGETATIVE COVER, MULCH, TARPS OR OTHER APPROVED PRACTICE. EROSION FROM TOPSOIL PILES LEFT FOR LESS THAN SEVEN DAYS SHALL BE CONTROLLED WITH SILT FENCE OR OTHER APPROVED METHOD. ANY TOPSOIL STOCKPILE WITHIN 25' OF A ROADWAY OR DRAINAGE DITCH SHALL BE COVERED WITH TARPS OR OTHER APPROVED METHOD. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS IS TO BE STABILIZED BY SEED, SOD, MULCH, OR OTHER APPROVED METHOD.
5. INSTALL UTILITIES
6. BEGIN BUILDING CONSTRUCTION
7. REDISTRIBUTE TOPSOIL FROM STOCKPILE(S) TO A DEPTH OF 6 INCHES. SURPLUS TOPSOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. COORDINATE W/ OWNER. FINAL GRADE, SEED AND MULCH SITE. PLACE EROSION CONTROL MATTING WHERE INDICATED ON PLANS. (SEEDING AND MULCHING TO CONFORM WITH APPROVED SEED MIXTURES AND APPLICATION RATES. SEE LANDSCAPE PLAN FOR FINAL SEED AND SOD SPECS. EROSION CONTROL MATTING TO BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS.)
8. INSTALL AGGREGATE BASE COURSE IN AREAS TO BE ASPHALT AND/OR CONCRETE PAVED
9. INSTALL ASPHALT AND CONCRETE SECTIONS
10. UPON SITE STABILIZATION, REMOVE TEMPORARY EROSION CONTROL PRACTICES. CLEAN STRUCTURES OF ANY SEDIMENT AND/OR CONSTRUCTION DEBRIS.
11. CONSTRUCTION AND WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF ON A ROUTINE BASIS. NO CONSTRUCTION OR WASTE MATERIALS SHALL BE TRACKED, BLOWN OR OTHERWISE LOCATED OR STORED ON ADJACENT PROPERTIES.
12. DUST CONTROL SHALL BE MAINTAINED ONSITE WITH USE OF A WATER TRUCK (IF NECESSARY).

EROSION CONTROL LEGEND

SILT FILTER FENCE		DITCH CHECK	
CONSTRUCTION ENTRANCE		STABILIZED TOPSOIL PILE	
EROSION MAT		INLET SEDIMENT GUARD	

UTILITY LEGEND

SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
E E	EXISTING ELECTRICAL LINE
E E	PROPOSED ELECTRICAL LINE
GAS GAS	EXISTING GAS MAIN
GAS GAS	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
S	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
100.00 100.00	PROPOSED & EXISTING SPOT GRADE

DIGGER'S HOTLINE 1-800-242-8511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED ONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK

HARWOOD ENGINEERING CONSULTANTS, LTD
206 NORTH 21ST STREET, WAUKESHA, WI 53186
P 262.513.0666 F 262.513.0709 E info@hecltd.com
HEC Project Number 15-1170

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE: FEBRUARY 25, 2016

SCALE: 1" = 20'

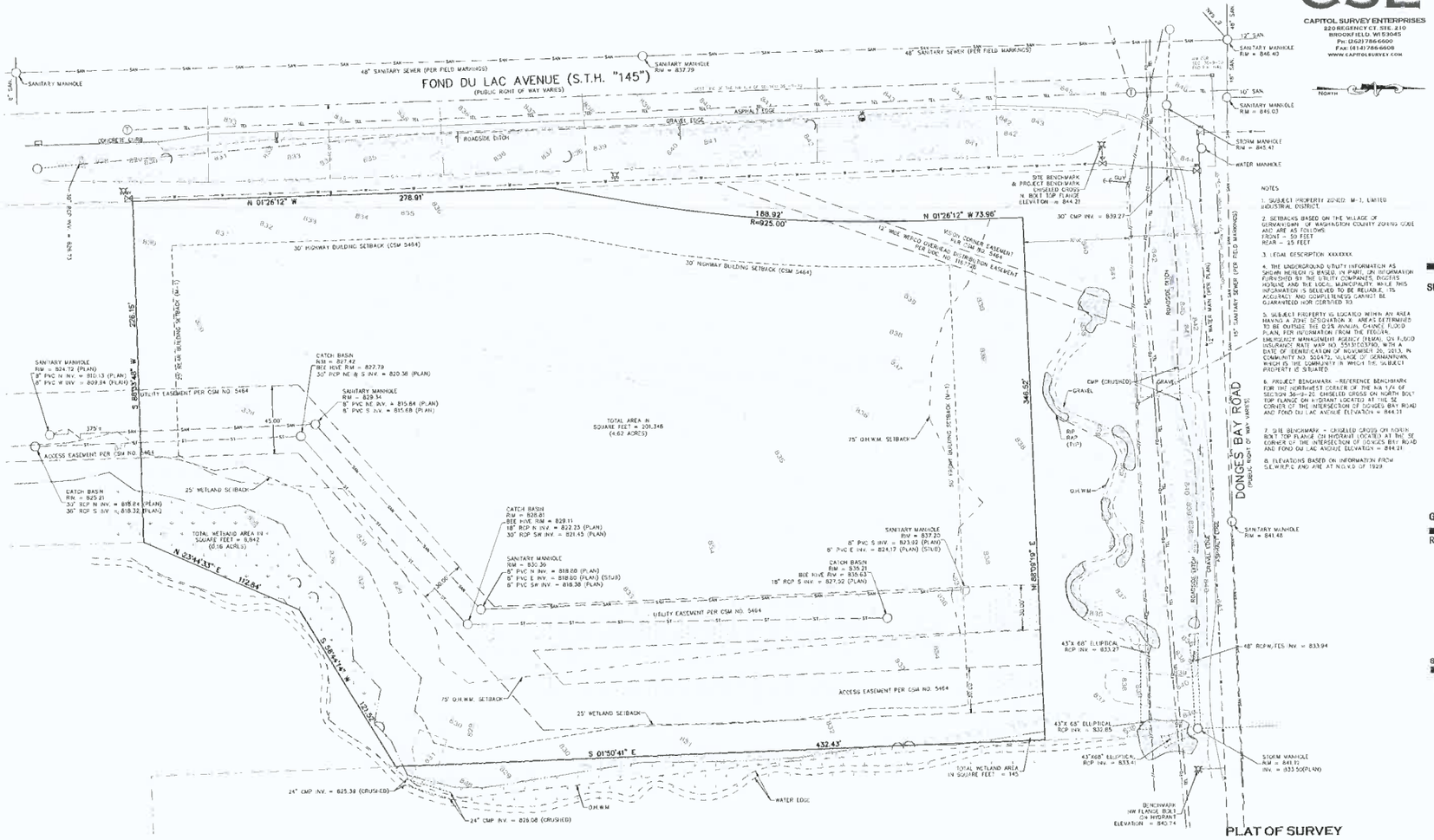
North

Erosion Control Plan

2016-02-25 PC UPDATE

Project No.
15-1170.00

Sheet No.
C1.05



CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53045
Ph: (262) 786-6600
Fax: (414) 786-6608
WWW.CAPITOLSURVEY.COM

HARWOOD ENGINEERING CONSULTANTS, LTD

NORTH

NOTES

1. SUBJECT PROPERTY ZONED: M-1, LIMITED INDUSTRIAL DISTRICT.

2. SETBACKS BASED ON THE VILLAGE OF GERMANTOWN OF WASHINGTON COUNTY ZONING CODE AND ARE AS FOLLOWS
FRONT – 50 FEET
REAR – 25 FEET

3. LEGAL DESCRIPTION XXXXXXX.

4. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

5. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55131C0376D, WITH A DATE OF IDENTIFICATION OF NOVEMBER 26, 2013, IN COMMUNITY NO. 550472, VILLAGE OF GERMANTOWN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

6. PROJECT BENCHMARK – REFERENCE BENCHMARK FOR THE NORTHWEST CORNER OF THE N.W.1/4 OF SECTION 36-9-20. CHISELED CROSS ON NORTH BOLT TOP FLANGE ON HYDRANT LOCATED AT THE SE CORNER OF THE INTERSECTION OF DONGES BAY ROAD AND FOND DU LAC AVENUE ELEVATION = 844.21

7. SITE BENCHMARK – CHISELED CROSS ON NORTH BOLT TOP FLANGE ON HYDRANT LOCATED AT THE SE CORNER OF THE INTERSECTION OF DONGES BAY ROAD AND FOND DU LAC AVENUE ELEVATION = 844.21

8. ELEVATIONS BASED ON INFORMATION FROM S.E.W.R.P.C. AND ARE AT N.G.V.D. OF 1929

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE: MARCH 18, 2016

SCALE: 1" = 30'

North

Existing Survey

LEGEND

SAN — SANITARY SEWER	ELECTRIC TRANSFORMER	HYDRANT	
SS — SANITARY SEWER	ELECTRIC METER	WATER VALVE	
W — WATER MAIN	ELECTRIC BOX / PEDESTAL	TRAFFIC SIGNAL	
WL — WATER SERVICE LINE	ELECTRIC BOX / AIR DROP	GAS VALVE	
T — BURIED TELEPHONE LINE	TELEPHONE BOX / AIR DROP	TELEPHONE MANHOLE	
FO — BURIED FIBER OPTIC LINE	TELEPHONE PEDESTAL		
CATV — BURIED CABLE TELEVISION LINE	FIN PEDESTAL	CATCH BASIN	
GAS — BURIED GAS LINE	GAS METER	METAL LIGHT POLE	
	AIR CONDITIONER	DIGGERS HOTLINE MARK	
	UTILITY POLE		
	WATER SHUT OFF		
	METAL SIGN		
	UTILITY POLE		
	GRAVEL		
	BOX ELDER		
	SIZE OF TREES AND SHRUBS		

www.Diggers-Hotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

GRAPHIC SCALE
30 0 15 30 60
(IN FEET)
1 inch = 30 ft.

DRAWN BY:	RAP	DATE:	10-28-15
CHECKED BY:	MJB	DRAWING NO.	P - 1
CSE JOB NO.:	15 - 091	SHEET	1 OF 1

PLAT OF SURVEY
FOR
SPORTS SPECIALISTS
DONGES BAY RD
GERMANTOWN, WI

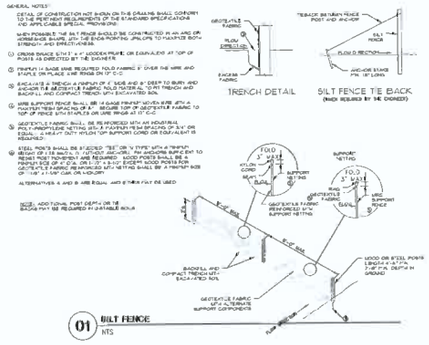
2016-03-18 PC UPDATE

Project No.
15-1170.00

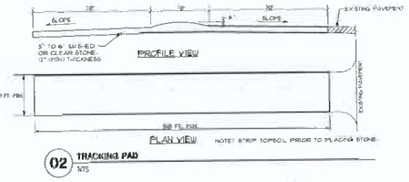
Sheet No.
C1.06

GENERAL NOTES AND SPECIFICATIONS

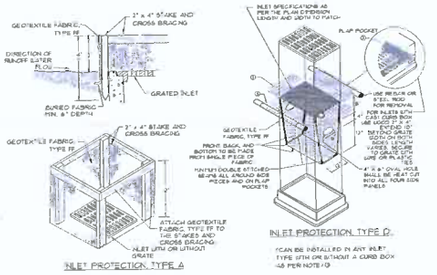
1. THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
3. ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE VILLAGE OF GERMANTOWN CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
4. CONTRACTOR SHALL CONFORM TO THE FOLLOWING VILLAGE SPECIFICATIONS FOR ALL PUBLIC PORTIONS OF THE PROJECT:
   - Section 3.0: Grading and Erosion Control Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/74
   - Section 4.0: Storm Water Conveyance System Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/75
   - Section 5.0: Sanitary Sewer System Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/76
   - Section 6.0: Water Distribution System Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/77
   - Section 7.0: Storm Water Management Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/78
   - Section 8.0: Roadway Requirements: http://www.village.germantown.wi.us/DocumentCenter/View/79
5. ALL UTILITY PERMITS MUST BE RECEIVED FROM THE VILLAGE OF GERMANTOWN PRIOR TO THE START OF CONSTRUCTION.
6. NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
7. BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
8. ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
9. ALL PROPOSED WATERMAIN SHALL BE PVC SDR 18, CLASS 150, AWWA C900 WITH ELASTOMERIC JOINTS.
10. PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
11. PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
12. UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
13. SILT FENCE AND ALL OTHER EROSION CONTROL METHODS MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALSO, CONTRACTOR IS RESPONSIBLE FOR REMOVING EROSION CONTROL METHODS ONCE THE SITE IS STABILIZED.
14. THE PROPOSED SITE LOCATION AND SURROUNDING STREETS MUST BE KEPT DEBRIS FREE. SWEEP STREETS AS NEEDED TO MAINTAIN CLEAN STREETS.
15. ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. ALL DISTURBED GRASS AREAS SHALL BE STABILIZED (PER DNR TECHNICAL STANDARDS) WITHIN 7 DAYS OF COMPLETION. DISTURBED GRASS AREAS SHALL BE TOPSOILED (6"), RESEEDED AND STABILIZED. AREAS WITH A SLOPE OF 3H:1V OR STEEPER SHALL BE COVERED WITH A CLASS I - TYPE A EROSION FABRIC. (SEE SPECIFICATIONS)
17. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
18. ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
19. ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
20. ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
21. CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
22. REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
23. ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
24. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
25. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
26. PROJECT SAFETY ON SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
27. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
28. CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

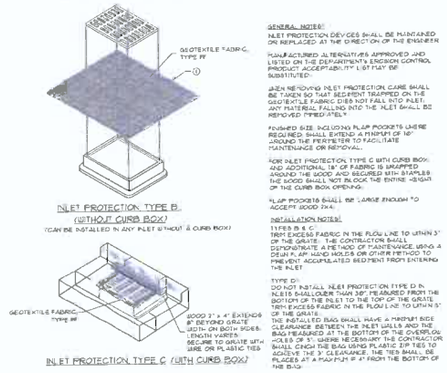


01 SILT FENCE
NTS



02 TRACKING PAD
NTS





GENERAL NOTES:
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING INLET PROTECTION CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

FINISHED SITE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

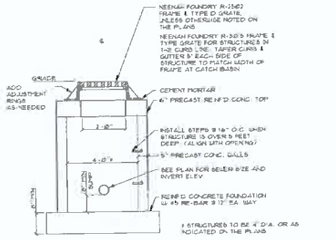
FOR INLET PROTECTION TYPE C WITH CURB BOX, AND ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD, AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE VERTICAL OF THE CURB BOX OPENING.

FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

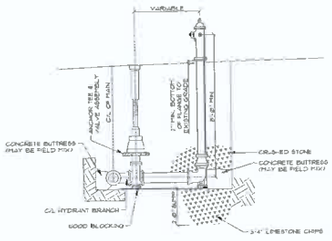
INSTALLATION NOTES:
TYPES B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE USING A DEVICE, AIR WAND HOLES OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 36" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW +0.5 OR 3", WHICHEVER IS GREATER. THE CONTRACTOR SHALL CINCH THE BAG USING PLASTIC ZIP TIES TO ADJUST THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM 8" FROM THE BOTTOM OF THE BAG.

03 INLET PROTECTION
NTS



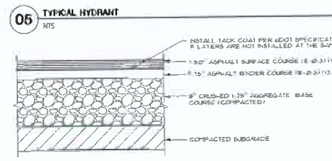
04 CATCH BASIN
NTS



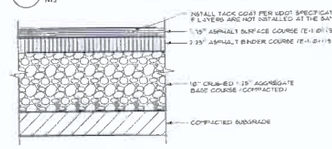
NOTE:
1) MEGALUG RESTRAINING GLANDS ON ALL MECHANICAL JOINTS. THE BOLTS & NUTS ARE TO BE HIGH STRENGTH LOW ALLOY STEEL (CORTEN) AS PER SECTION 11.6.5 OF A.W.W.A. C-111.

2) THE FOLLOWING HYDRANTS SHALL BE ALLOWED:
- MUELLER SUPER CENTURION 250 3-WAY FIRE HYDRANT
- U.S. PIPE METROPOLITAN-54 DUCTILE IRON FIRE HYDRANT
- WATEROUS 5 1/4" PACER FIRE HYDRANT

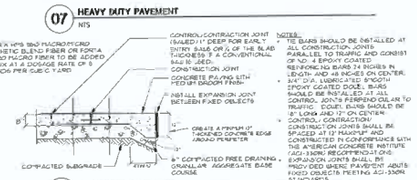
05 TYPICAL HYDRANT
NTS



06 REGULAR DUTY PAVEMENT
NTS



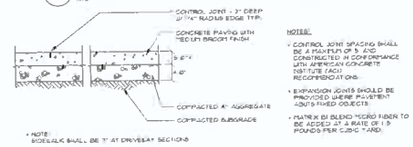
07 HEAVY DUTY PAVEMENT
NTS



NOTE:
- PLEASE USE SYNTHETIC BLEND MACRO FIBER OR FIBER MICRO FIBER TO BE ADDED TO MIX AT A DOSAGE RATE OF 5 POUNDS PER CUBIC YARD.

NOTES:
- TIE BARS SHOULD BE INSTALLED AT ALL CONSTRUCTION JOINTS PARALLEL TO TRAFFIC AND CONSIST OF NO. 4 EPOXY COATED REINFORCING BARS 24 INCHES IN LENGTH AND 48 INCHES ON CENTER.
- 3/4" DIA. LUBRICATED SMOOTH DOWEL BARS 18 INCHES IN LENGTH ARE INSTALLED AT ALL CONTROL JOINTS PERPENDICULAR TO TRAFFIC. DOWEL BARS SHOULD BE 18" LONG AND 12" ON CENTER.
- CONTROL/CONTRACTION/CONSTRUCTION JOINTS SHALL BE SPACED AT 12' MAXIMUM AND CONSTRUCTED IN CONFORMANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI-330R) RECOMMENDATIONS.
- EXPANSION JOINTS SHALL BE PROVIDED WHERE PAVEMENT ABUTS FIXED OBJECTS.
- PLEASE USE SYNTHETIC BLEND MACRO FIBER TO BE ADDED AT A RATE OF 1.5 POUNDS PER CUBIC YARD.

08 CONCRETE PAVEMENT
NTS



NOTES:
- CONTROL JOINT SPACING SHALL BE A MAXIMUM OF 5' AND CONSTRUCTED IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) RECOMMENDATIONS.
- EXPANSION JOINTS SHOULD BE PROVIDED WHERE PAVEMENT ABUTS FIXED OBJECTS.
- PLEASE USE SYNTHETIC BLEND MACRO FIBER TO BE ADDED AT A RATE OF 1.5 POUNDS PER CUBIC YARD.

* NOTE:
SIDEWALK SHALL BE 7" AT DRIVEWAY SECTIONS

09 CONCRETE SIDEWALK
NTS

HARWOOD ENGINEERING CONSULTANTS, LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

PLAN COMMISSION SET
NOT FOR CONSTRUCTION
DATE: MARCH 18, 2016

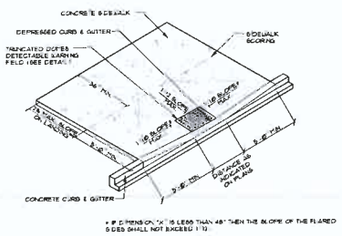
SCALE:

Construction Details

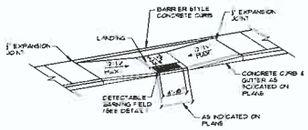
2016-03-18 PC UPDATE

Project No.
15-1170.00

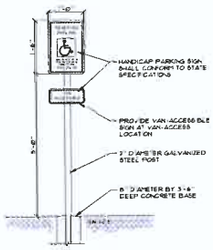
Sheet No.
C5.00



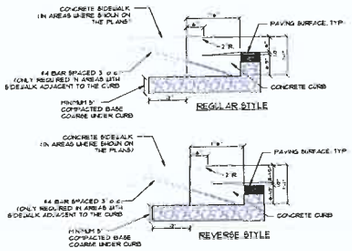
01 HANDICAP RAMP
NTS



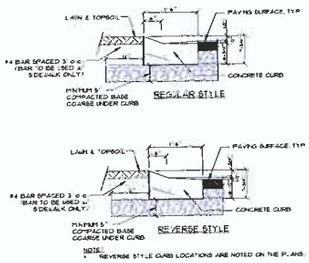
02 HANDICAP RAMP - SPLIT
NTS



03 HANDICAP SIGN
NTS



04 VERTICAL FACE CURB - 18 IN WIDE
NTS



NOTE:
* REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

05 DEPRESSED CURB - 18 IN WIDE
NTS

HARWOOD ENGINEERING CONSULTANTS LTD

SPORTS SPECIALISTS

SKYLINE DEVELOPMENT CORPORATION

GERMANTOWN, WI

Revisions

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15-1170.00

Sheet No.
C5.01

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG - WISCONSIN

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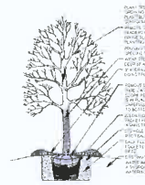
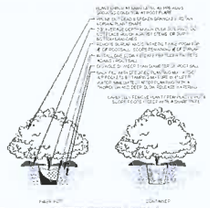
WEB AREA 159-1101
MS STATE 1-800-782-5474
REQUIRED MIN 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

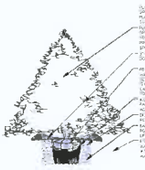
One Redwood Court
Racine, Wisconsin 53402
ph 262 639 9733
fx 262 639 9737
david@wsdwcheller.com



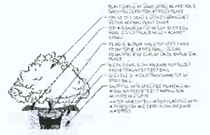
1 DETAIL SHADE TREE PLANTING



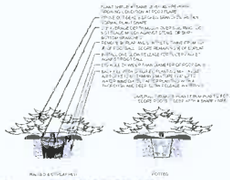
2 DETAIL POTTED SHRUB PLANTING



3 DETAIL EVERGREEN TREE PLANTING



4 DETAIL DECIDUOUS SHRUB PLANTING



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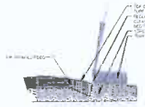
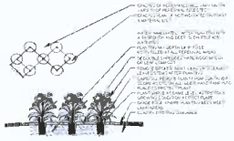


6 DETAIL SPADE EDGE PLANT BED EDGE DETAIL



7 DETAIL GROUNDCOVER / PERENNIAL PLANTING

SHADE TREES (DECIDUOUS)

ARM	Armstrong Red Maple
ABM	Autumn Blaze Maple
SHL	Skyline Honeylocust
AGMH	Autumn Gold Maidenhair
SWO	Swamp White Oak
GSL	Greenspire Linden

ORNAMENTAL TREES (DECIDUOUS)

ABS	Autumn Brilliance Serviceberry
TCH	Thornless Cockspur Hawthorn
RJFC	Red Jewel Flowering Crabapple
JTL	Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

FVJ	Fairview Upright Juniper (upright)

EVERGREEN SHRUBS

SGJ	Sea Green Juniper
KCPJ	Kallay Compact Pfitzer Juniper

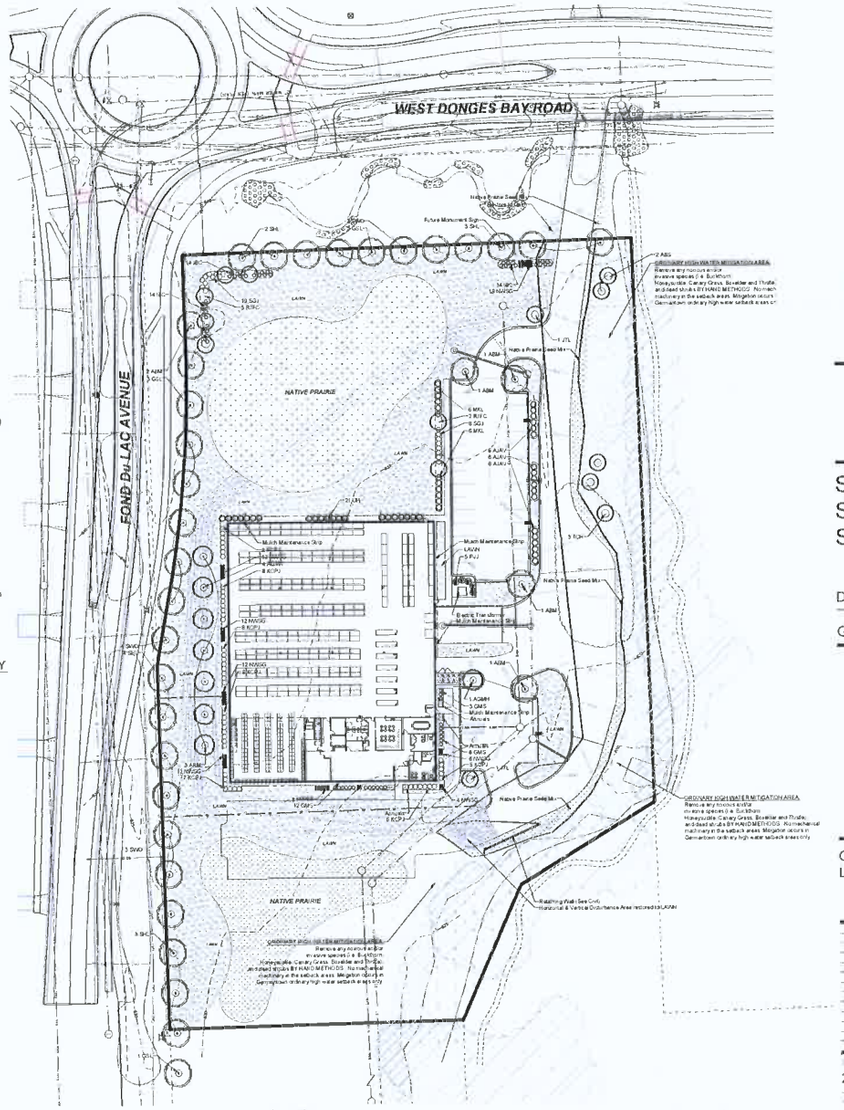
DECIDUOUS SHRUBS

IBC	Iroquis Beauty Black Chokeberry
UH	Unique Hydrangea
GMS	Goldmound Spirea
MKL	Miss Kim Dwarf Lilac
AJAV	Autumn Jazz Arrowood Viburnum

ORNAMENTAL GRASSES

HMSG	Heavy Metal Switch Grass

PLANT ABBREVIATION KEY



North

OVERALL LANDSCAPE PLAN

Scale: 1" = 40'0"

0 20 40 80

CONSORTIUM ae

the Consortium ae LLC

SKYLINE SPORT SPECIALISTS

DONGES BAY ROAD

GERMANTOWN, WI

SKYLINE DEVELOPMENT CORPORATION

OVERALL LANDSCAPE PLAN

Date	Issue Set
03.04.16	Rev. For Plan Commission
03.23.16	Rev. For Plan Commission
04.04.16	Rev. For Plan Commission

Date: 2016-04-04

Project No: 0016-05

Sheet No: L100

TO OBTAIN LOCATIONS OF THE VARIOUS UNDERGROUND FACILITIES WITHIN WISCONSIN

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511
WOW AREA 414-1191
MIS STATE 162-0175/1762
REACHES NON 3 WORK DAYS
HOLIDAYS SHOWN FOR EXCLUSIVE

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

One Redwood Court
Racine, Wisconsin 53402
ph 262 639 9733
fx 262 639 9737
david@wdavidheller.com

SHADE TREES (DECIDUOUS)

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AGMH	Autumn Gold Maidenhair
SWO	Swamp White Oak
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TCH	Thornless Cockspur Hawthorn
RJFC	Red Jewel Flowering Crabapple
JTL	Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

FVJ	Fairview Upright Juniper (upright)

EVERGREEN SHURBS

SGJ	Sea Green Juniper
KCPJ	Kallay Compact Pfitzer Juniper

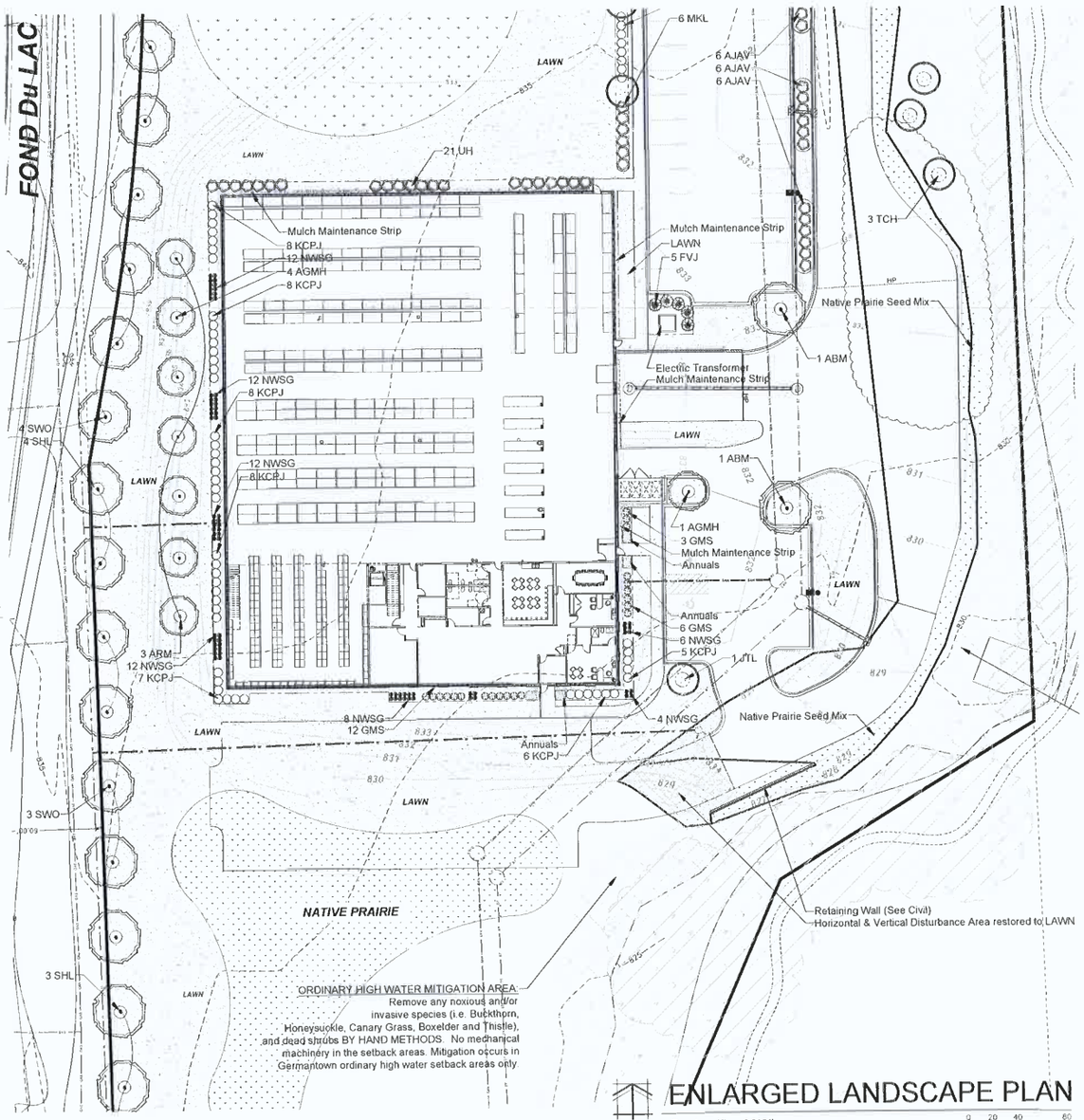
DECIDUOUS SHRUBS

IBC	Iroquois Beauty Black Chokeberry
UH	Unique Hydrangea
GMS	Goldmound Spirea
MKL	Miss Kim Dwarf Lilac
AJAV	Autumn Jazz Arrowood Viburnum

ORNAMENTAL GRASSES

HMSG	Heavy Metal Switch Grass

PLANT ABBREVIATION KEY



ENLARGED LANDSCAPE PLAN

CONSORTIUM ae
the Consortium ae LLC
2002 E. North Avenue | Milwaukee | WI 53202

SKYLINE SPORT SPECIALISTS

DONGES BAY ROAD

GERMANTOWN, WI

SKYLINE DEVELOPMENT CORPORATION

ENLARGED LANDSCAPE PLAN

Date	Issue	Rev
02.04.16	Issue Set	
03.04.16	Rev. for Plan Commission	
03.23.16	Rev. for Plan Commission	
04.04.16	Rev. for Plan Commission	

Date
2016-04-04

Project No.
0016-05

Sheet No.
L101

TO OBTAIN LOCATIONS OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG, CALL:

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511
WISC. AREA 414-1161
IFN 1-312-75 142-0175(TDD)
RESPECTS WITH 2 WORK DAYS NOTICE BEFORE YOU EXCAVATE

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

One Redwood Court
Racine, Wisconsin 53402
ph 262 638 9737
fx 262 638 9737
david@davidrheller.com

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CALIPER SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials						
SHADE TREES (DECIDUOUS)						
ASM	3	Acer x freemanii 'Armstrong'	Armstrong Red Maple	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
ASM	6	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
SHL	12	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
AGMH	5	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
SWO	10	Quercus bicolor	Swamp White Oak	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
GSL	6	Tilia cordata 'Greenspire'	Greenspire Linden	3.0"	B&B	Straight central leader, full and even crown. Prune only after planting
ORNAMENTAL TREES (DECIDUOUS)						
ABS	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
TCH	3	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	8'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
RJFC	7	Malus x 'Inverleith'	Red Jewel Flowering Crabapple	7'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
JTL	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	7'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance
EVERGREEN TREES						
PV2	5	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	6'	B&B	Evenly shaped tree with branching to the ground

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	SHRUB SIZE	ROOT/ CONT.	SPECIFICATION / NOTES
EVERGREEN SHRUBS						
SGJ	18	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub
KCPJ	49	Juniperus chinensis 'Kallay'	Kallay Compact Pfitzer Juniper	24"w	Cont.	Full rounded well branched shrub

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	SHRUB SIZE	ROOT/ CONT.	SPECIFICATION / NOTES
DECIDUOUS SHRUBS						
IBC	42	Aronia melanocarpa 'Iroquois Beauty'	Iroquois Beauty Black Chokeberry	24"	Cont.	Full, well rooted plant, evenly shaped
HIN	21	Hydrangea paniculata 'Unique'	Unique Hydrangea	36"	Cont.	Full, well rooted plant, evenly shaped
GMS	21	Spiraea x bumalda 'Goldmound'	Goldmound Spirea	24"	Cont.	Full, well rooted plant, evenly shaped
MKL	12	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rooted plant, evenly shaped
AJAV	18	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowood Viburnum	30"	Cont.	Full, well rooted plant, evenly shaped

PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES
ORNAMENTAL GRASSES						
HMSG	88	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant
Annuals	330	Annual Bed Areas			SF	Prepare Beds, Plant Installation by Owner
LAWN	7730	Lawn Establishment Area / Grading Area	*Hydroseed all LAWN areas*		SY	Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)
	36575	Erosion Matting for sloped seeded areas	*see plan for area delineation*		SF	EroTex 0575 Erosion Control Blanket (or Approved equal)
PRAIRIE	3952	Economy Short Prairie	*see plan for area delineation*		SY	
Hardscape Materials						
	71	Shredded Hardwood Mulch (3" depth)	7,675 SF		CY	Bark Mulch; apply Preemergent after installation of mulch
	35	Soil Amendments (2" depth)	7,675 SF		CY	
	323	Pulverized Topsoil (Lawn Area)	106,040 SF		CY	
	38	Pulverized Topsoil (2" over bed areas)	7,675 SF		CY	

*Landscape notes & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on the Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted thereon shall govern.

Seed Compositions:

Cedar Creek Premium Blue Tag (Ph: 888-313-6807):

10% Mvt Adelphia Kentucky Bluegrass	10% Atlantis Kentucky Bluegrass
20% Mvt Kentucky Bluegrass	10% Origin Kentucky Bluegrass
30% Boreal Red Fescue	10% Palmer II Fine Perennial Ryegrass
20% Pleasant View Perennial Ryegrass	

Seed at Rate of 3# per 1000 SF

PLANT & MATERIAL SCHEDULE

1. Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting

2. Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect, General Contractor.

3. All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate the planting site.

4. Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Mater Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.

5. Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long term plant healt Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.

6. Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1 of the rootball and carefu bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 1 of the burlap and remove the twine. Provide three slow release fertilizer for each tree planted.

7. Tree Planting: Backfill tree planting holes 60% existing soils removed from excavation and 20% plant starter mix. Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is ½ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting detail planting plan) shredded hardwood bark mulch ring around all trees planted in lawn areas. Do not build up any mulch onto the trunk of any tree. Trees that ar installed incorrectly will be replaced at the time and expense of the Landscape Contractor.

8. Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a ⅓ mix of plant starter wit topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are ½ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rater of 1 per 24" height/diameter of shrub at planting.

9. Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). perennial planting areas (groupings) shall receive a 2" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do n mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

10. Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.

11. Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil.

Per 100 SF of bed area (Soil Amendment composition):
½ CY Peat Moss or Mushroom Compost
½ CY blend/pulverized Topsoil
½ CY composted manure

In roto-tilled beds only, also include in above mixture:
2 lbs Starter Fertilizer

12. Lawn Installation for all sodded turfgrass areas: Contractor to furnish and prepare blended topsoil (2" minimum) and sod bed, removing all debris and stones ½" and larger. Apply a 10-10-10 starter lawn fertilizer uniformly throughout areas prior to laying sod. Use only premium sod blend according to TPI (revised 1996) and ASPA Standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on slopes steeper than 1:3, and in all swale applications. Contractor is responsible to provide a smooth, uniform, healthy turf, and is responsible for the first two mowings of the newly installed turf, and is also responsible for watering during this period.

13. Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, amended and roto-cultivated topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:
No bare spots larger than one (1) square foot
No more than 10% of the total area with bare areas larger than one (1) square foot
A uniform coverage through all turf areas

14. No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Cedar Creek Seed Farm 888-313-6807, or Prairie Nursery 608-296-3679) or approved equivalent mix from a reputable seed mix provider. Apply at 220 lbs per acre or at rate recommended by supplier. Prepare seed bed and sod as specified in item #13 above.

15. Native Prairie Seed Mix / Stormwater Seed Mix: Native seed mixes as listed on the Plant and Material List or other seeding schedules outlined on the landscape plan set. Seed mixes available from Prairie Nursery 608-296-3679 or JF New 608-848-1789 or approved equivalent mix from a reputable seed mix provider. Apply at rates specified herein, or per supplier recommendation. Prepare soil and seed bed as in item #13 above.

16. Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.

17. The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.

18. Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

LANDSCAPE GENERAL NOTES

CARDINO / JF New, Inc.
www.cardinojfnew.com
138 Sunset Drive
Walworth, Indiana 46574
Ph: 574-586-3400

6140 Cottonwood Road
Suite A
Fitchburg, Wisconsin 53719
Ph: 608 661-2968

6605 Stinger Road
Suite A
Monee, Illinois 60449
Ph: 708 534-3490

Economy Prairie Seed Mix

Total Area (SF): 20575

Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses:		
Andropogon gerardii	Big Bluestem	16.00
Bouteloua curtipendula	Side-Oats Gramma	18.00
Carex bicknellii / Carex brevior	Prairie Sedge Mix	1.00
Elymus canadensis	Canada Wild Rye	16.00
Panicum virgatum	Switch Grass	2.50
Schizachyrium scoparium	Little Bluestem	24.00
Sorghastrum nutans	Indian Grass	16.00
	Total	95.50
Temporary Cover:		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
	Total	460.00
Forbs:		
Asclepias syriaca	Common Milkweed	0.50
Asclepias tuberosa	Butterfly Milkweed	1.00
Aster laevis	Smooth Blue Aster	0.25
Aster novae-angliae	New England Aster	0.75
Chamaecrista fasciculata	Partridge Pea	12.00
Coreopsis lanceolata	Sand Coreopsis	5.00
Echinacea purpurea	Broad-Leaved Purple Coneflower	7.50
Heliopsis helianthoides	False Sunflower	0.25
Lupinus perennis	Wild Lupine	0.50
Monarda fistulosa	Wild Bergamot	0.25
Pycnanthemum tenuifolium	Common Mountain Mint	0.50
Ratibida pinnata	Yellow Coneflower	3.50
Rudbeckia hirta	Black-Eyed Susan	8.00
	Total	40.00
Annual/Perennial Forbs Mix		24.00

SPECIALTY SEED MIX

CONSORTIUM ae
the Consortium ae LLC
20925 E. North Avenue | Milwaukee | Wisconsin | Grange Prospect, Pennsylvania

SKYLINE SPORT SPECIALISTS

DONGES BAY ROAD

GERMANTOWN, WI

SKYLINE DEVELOPMENT CORPORATION

LANDSCAPE GENERAL NOTES & SCHEDULES

Date	Issue Set
02.04.16	Issue Set
03.04.16	Rev. for Plan Commission
03.25.16	Rev. for Plan Commission
04.04.16	Rev. for Plan Commission

Date
2016-04-04

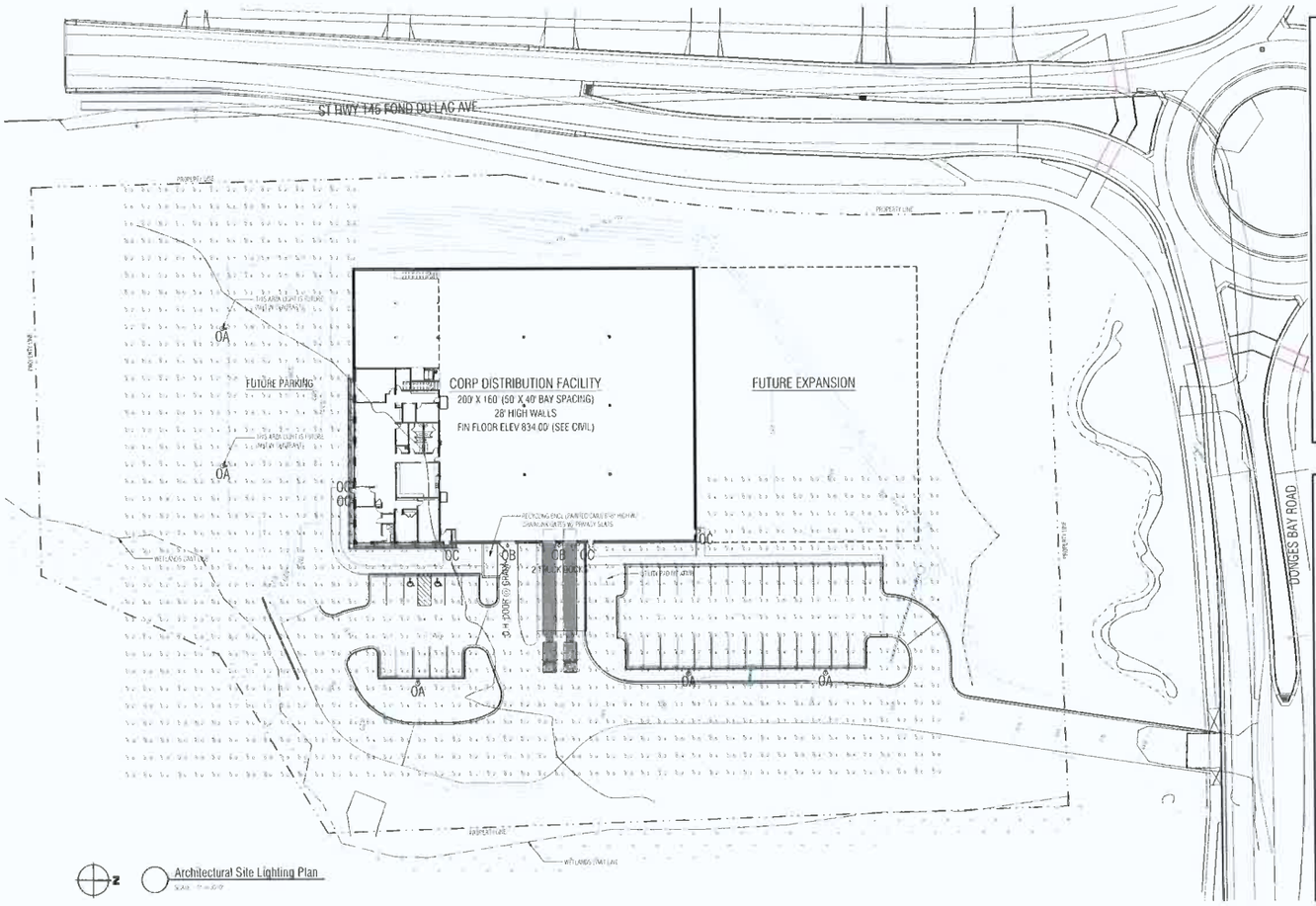
Project No.
0016-05

Sheet No
L102

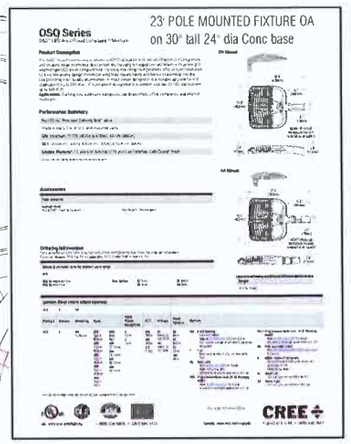
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	3	OA	SINGLE	N A	0.910	CREE - OSQ-A-XM-3ME-J-57K/OSQ-OA-STD COLOR/23FT RSS POLE
	2	OB	SINGLE	N A	0.910	CREE - XSPWA03MC-U-STD
	5	OC	SINGLE	N A	0.910	CREE - XSPWA03MC-U-STD

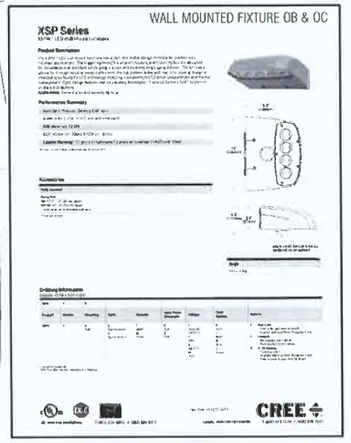
Calculation Summary								
Grid	Calc Type	Grids	Avg	Max	Min	Avg/Min	Max/Min
Grids	Illuminance	76	0.09	6.9	0.0	N A	N A
PLAN SOUTH EXT	Illuminance	14	2.99	4.6	0.3	9.96	15.33
PLAN SOUTH WEST	Illuminance	15	2.07	4.5	0.4	5.18	11.25
PLAN WEST	Illuminance	15	2.11	4.6	0.4	5.28	11.50

OB WALL MTD FIXTURE AT 14'-6" A.F.F.
OC WALL MTD FIXTURE AT 8'-0" A.F.F.



Architectural Site Lighting Plan





the Consortium ae LLC

Project
SPORTS SPECIALISTS

DONGES BAY ROAD

Location
GERMANTOWN WI

SKYLINE DEVELOPMENT CORPORATION

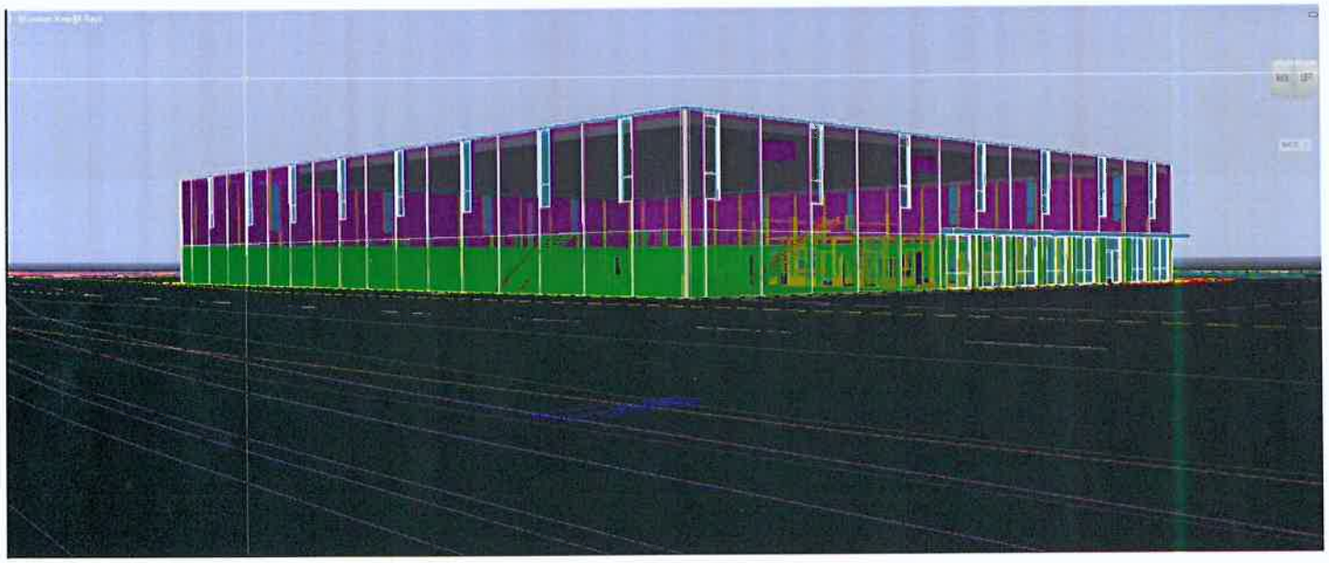
Sheet
ARCHITECTURAL SITE LIGHTING PLAN

Date
2016-02-25 PC UPDATE

Project No
0016-05

Sheet No
SP1.0

Site Plan Showing Camera Location and RTU's



Xray View from ST HWY 145

Note: Camera elevation set 5.5' above proposed road surface to demonstrate placement of RTU's not visible

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the Consortium ae LLC

Project
SPORTS SPECIALISTS

DONGES BAY ROAD

Location
GERMANTOWN WI

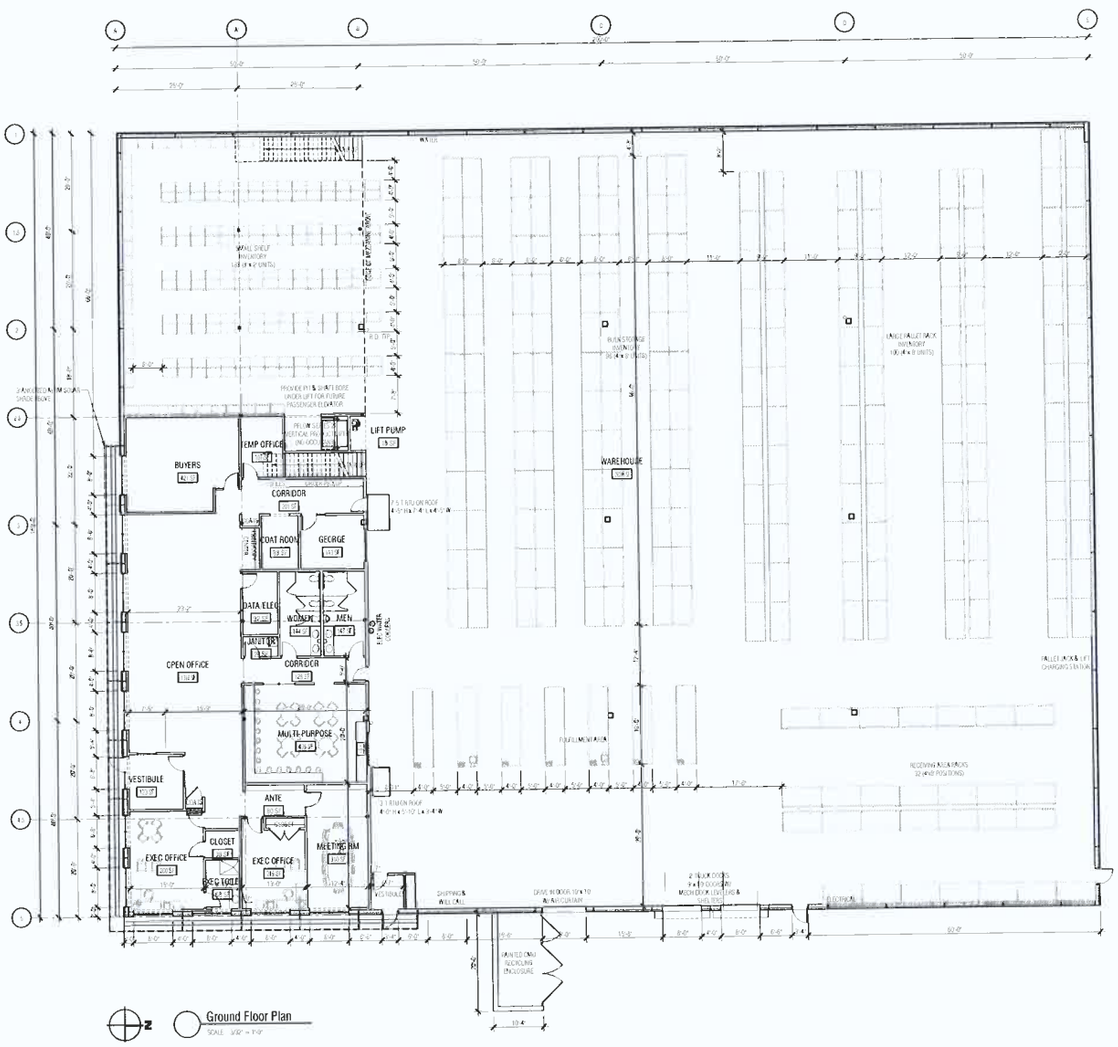
SKYLINE DEVELOPMENT CORPORATION

Sheet
ARCHTECTURAL SITE EXHIBIT

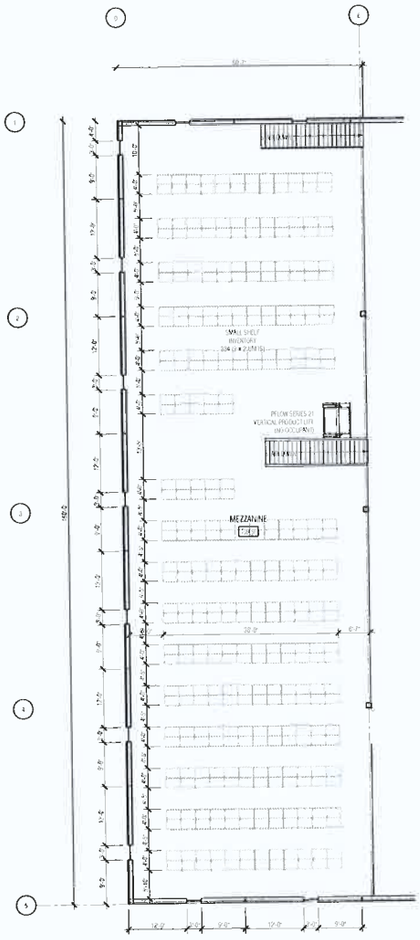
Date
2016-02-25 PC UPDATE

Project No.
0016-05

Sheet No.
ASP1.0



Ground Floor Plan



Mezzanine Level Plan

CONSORTIUM ae

the Consortium ae LLC

2020 E. North Avenue | Milwaukee | WI 53202 | Unity Project Program
Architect: 414.698.1625

Project
SPORTS SPECIALISTS

DONGES BAY ROAD

Location
GERMANTOWN WI

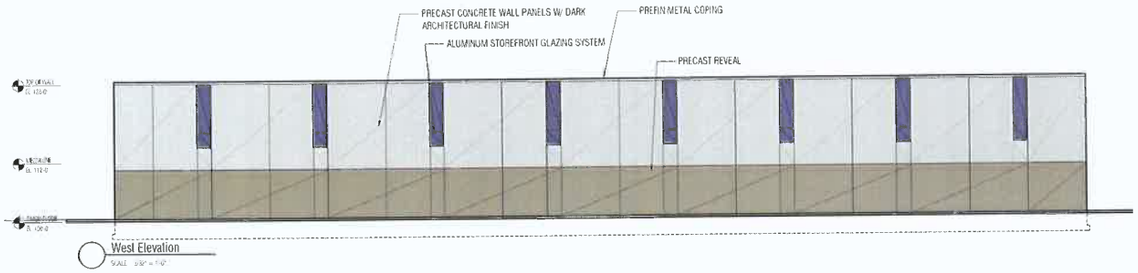
SKYLINE DEVELOPMENT CORPORATION

Sheet
PROPOSED PLAN

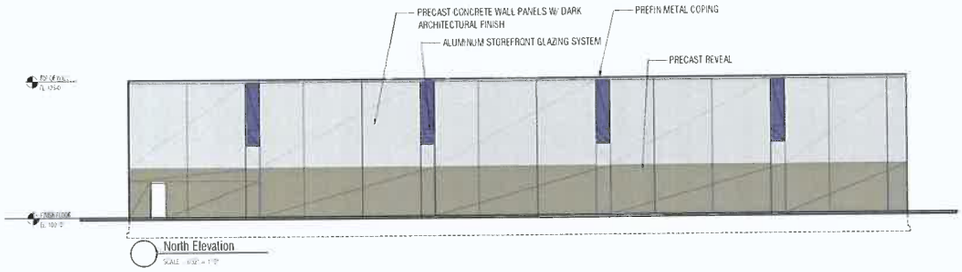
Date
2016-02-25 PC UPDATE

Project No.
0016-05

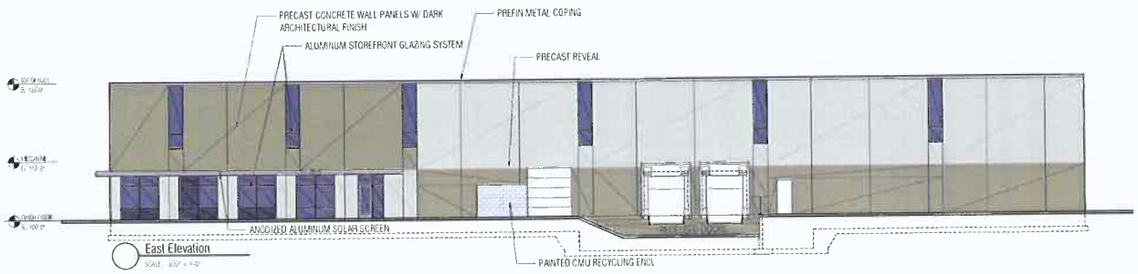
Sheet No.
A1.0



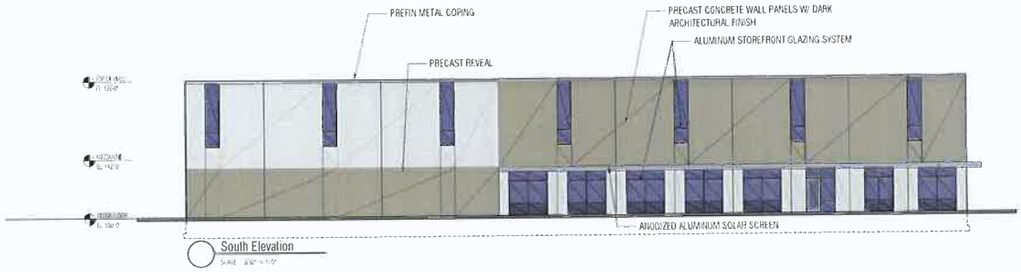
West Elevation



North Elevation



East Elevation



South Elevation

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the Consortium ae LLC

Project
SPORTS SPECIALISTS

DONGES BAY ROAD

Location
GERMANTOWN WI

SKYLINE DEVELOPMENT CORPORATION

Sheet
ELEVATIONS

Date
2016-02-08 GERMANTOWN PC

Project No
0016-05

Sheet No
A4.0

HELLER & ASSOCIATES LLC
LANDSCAPE ARCHITECTURE

RECEIVED
APR 4 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

April 1, 2016

Jeffrey W. Retzlaff, AICP
Village Planner & Zoning Administrator
N112 W17001 Mequon Road
Germantown, Wisconsin 53022

RE: Sports Specialists of Milwaukee, Inc.
N104 W13885 Donges Bay Rd.
Germantown, WI 53022

Dear Mr. Retzlaff:

As you may know, Sports Specialists would like to construct a new 32,000 +/- SF Office/Warehouse/Distribution facilty within the Village boundaries. Specifically, the proposed site is at the southeast corner of the intersection of West Donges Bay Rd. and Fond Du Lac Avenue.

Skyline Development Corporation- the developer of record for this proposed facility- has avoided wetland impacts and has substantially minimized encroaching into the required 25' wetland setback with impervious surfaces and structures resulting from the proposed development. However, due to the constraints of the site, and the desire to conceal the loading and refuse areas of this project from the public view (Donges Bay and Fond du Lac frontages), Skyline is seeking a Conditional Use Permit (CUP) for unavoidable encroachments into the identified wetland setback. Skyline Development Corporation has minimized vertical development encroachments to the fullest extent practicable while still serving the needs of the proposed development. The remaining proposed encorachments will serve to improve the wetland setbacks by removing exotic and invasive plants, and establishing native plant communities.

Mitigation Plan Narrative

This Mitigation Plan Narrative (the "Narrative") will summarize the mitigation practices provided for the wetland setback areas located on the proposed 5.02 acre site. The setback requirements follow the recent guidelines as defined by the Village of Germantown Shoreland & Wetland Zoning Ordinance. The setback areas for proposed mitigation for this project include:

- 25' Wetland setback with 1:1 mitigation for horizontal development

4715 James Avenue
Racine, Wisconsin 53402

ph 262 639 9733
fx 262 639 9737

david@wdavidheller.com
www.wdavidheller.com

- 25' Wetland setback with 2:1 mitigation for vertical development 3' (or more)
- 75' Ordinary High Water Mark (OHWM) Setback

These areas are graphically depicted on the attached Exhibit 1 (dated 2016-02-04) attached hereto. Exhibit 1 is entitled "*Sports Specialists Mitigation Exhibit*".

Exhibit 1: Ordinary High Water Setback Disturbance

The total area of disturbance within the 75' OHWM / 25' wetland setback area is identified on Exhibit 1.

- The total wetland/OHWM setback area being disturbed = 17,960 SF

The majority of the proposed encroachments located in the 75' OHWM and 25' wetland setback area are the result of the location of the main access drive (off of Donges Bay Rd.) along the eastern portion of the site. This drive will serve as the only entry/egress to the site for both truck and automobile traffic. Appromimately 16,800 SF of the total encroachment is the result of grading activity (less than 3' of grade change) for the proposed access drive, curbing, and grading activities.

Additionally, approximately 1,160 SF of the total encroachment is the result of grading, curbing and paving activities (greater than 3' of grade change).

The following table summarizes the proposed encroachments and compensation ratios required by the Village of Germantown:

ENCROACHMENT TYPE	ENCROACHMENT AREA (SF)	COMPENSATION RATIO	COMPENSATION AREA (SF)
Structures and impervious surfaces- *horizontal development*	16,800 SF	1:1	16,800 SF
Structures and impervious surfaces- *vertical development*	1,160 SF	1:2	2,320 SF
TOTAL	**17,960 SF**		**19,120 SF**
Total Compensation Area Identified on Exhibit 1			19,500 SF

Compensatory Mitigation Plan

Skyline Development Corporation plans to address the identified mitigation compensation areas (areas identified in red "dots" on the attached Exhibit 1 as follows:

The identified compensation area lies undisturbed at the far eastern portion of the proposed site. Within this area, and beyond the the Exhibit 2 (partial landscape plan) addresses the instructions for this area:

4715 James Avenue
Racine, Wisconsin 53402

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fx 262 639 9737

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"Remove any noxious and / or invasive species (i.e. Buckthorn, Honeysuckle, Canary grass, Boxelder, and Thistle), and dead shrubs BY HAND METHODS. No mechanical machinery in the setback areas. Restore all hatched areas with Native Prarie Seed Mix and set with erosion matting. Mitigation occurs in Germantown ordinary high water setback areas only."

- Invasive species eradication/control will serve to enhance the quality of vegetative areas adjacent to the existing wetland areas, but allowing the native species to thrive in their natural environment.
- The proposed mitigation area will be further enhanced with the planting of new, species-appropriate ornamental trees. As depicted on the attached Exhibit 2, the development team proposes the installation of five (5) ornamental trees. Varieties to include (2) Amelanchier spp. (Serviceberry) and (3) Crataegus spp. (Hawthorn). These trees are to be installed at a height of 8.0' at the time of installation.

The areas of horizontal and vertical disturbances- as identified on the attached Exhibit 1- are to be restored in the following manner:

- Area of horizontal disturbance (dark green shading on Exhibit 1): all areas to be seeded with a native prairie seed mix, and matted (seed protection and erosion control) with a lightweight accelerated photodegradable polypropylene netting encasing a straw fill.
- The total proposed seeded and matted area in the horizontal and vertical disturbance is approximately 4,890 SF.
- An area approximately 1,070 SF in size near the proposed edge of pavement and adjacent to the proposed retaining wall, will be restored in a bluegrass turf mix (Lawn). Per the proposed landscape drawing set, this area shall be matted (seed protection and erosion control) similarly to the native seed mix area.

For your review and consideration, we offer this Narrative, including Exhibit 1 and Exhibit 2.

Should you have any questions on any of these materials, I would be happy to speak with you personally.
Thank you in advance for your consideration.

Very Truly Yours,

W. David Heller, ASLA
Wisconsin Registered Landscape Architect WI- 438-014

Dh/wdh Enclosures

4715 James Avenue
Racine, Wisconsin 53402

ph 262 639 9733
fx 262 639 9737

david@wdavidheller.com
www.wdavidheller.com

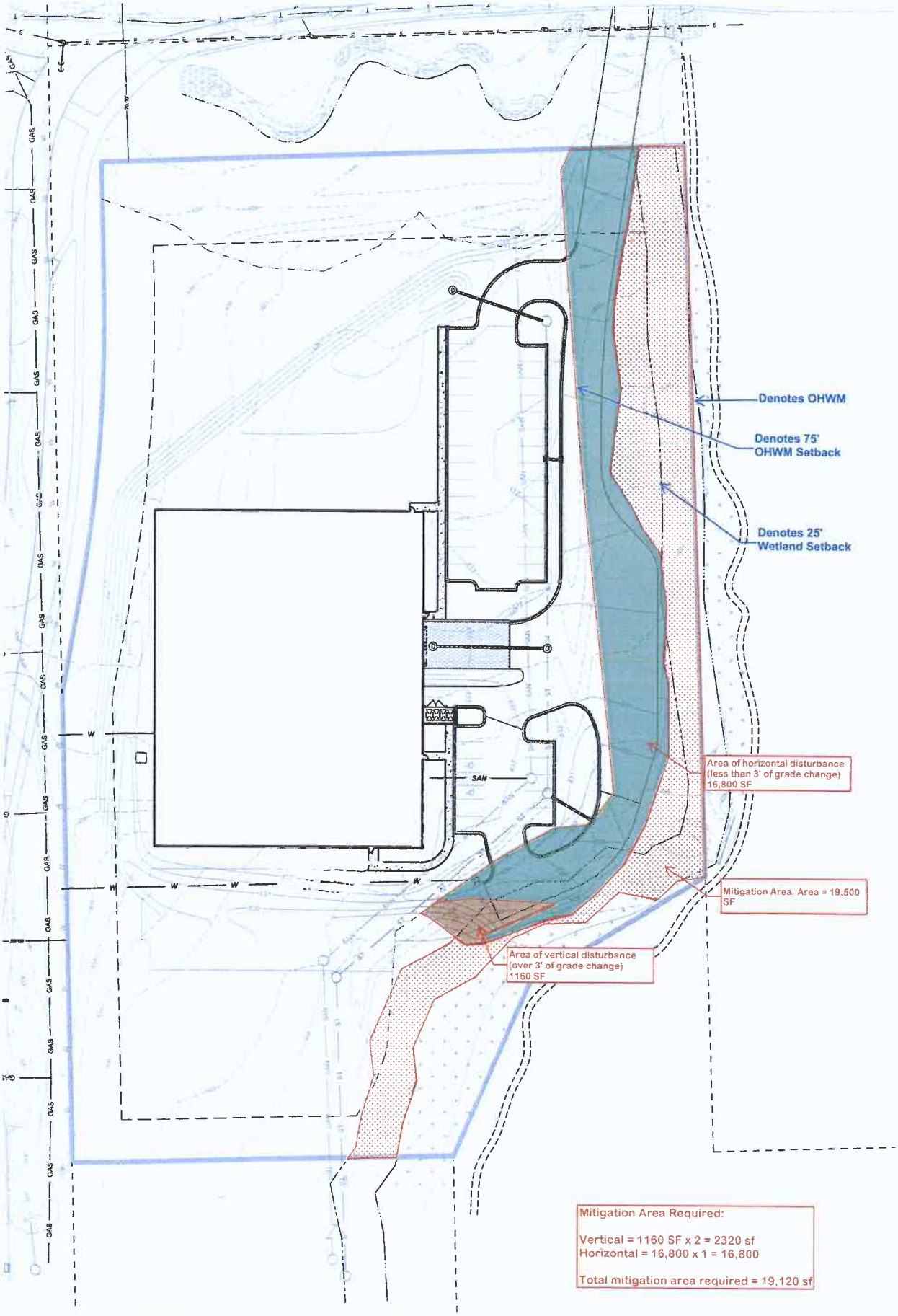
View into site from Donges Bay Road (pre-WIDOT road project)

Looking east to wetland area (post WIDOT project)

4715 James Avenue
Racine, Wisconsin 53402

ph 262 639 9733
fx 262 639 9737

david@wdavidheller.com
www.wdavidheller.com



Sports Specialists
Mitigation Exhibit
2016-02-04

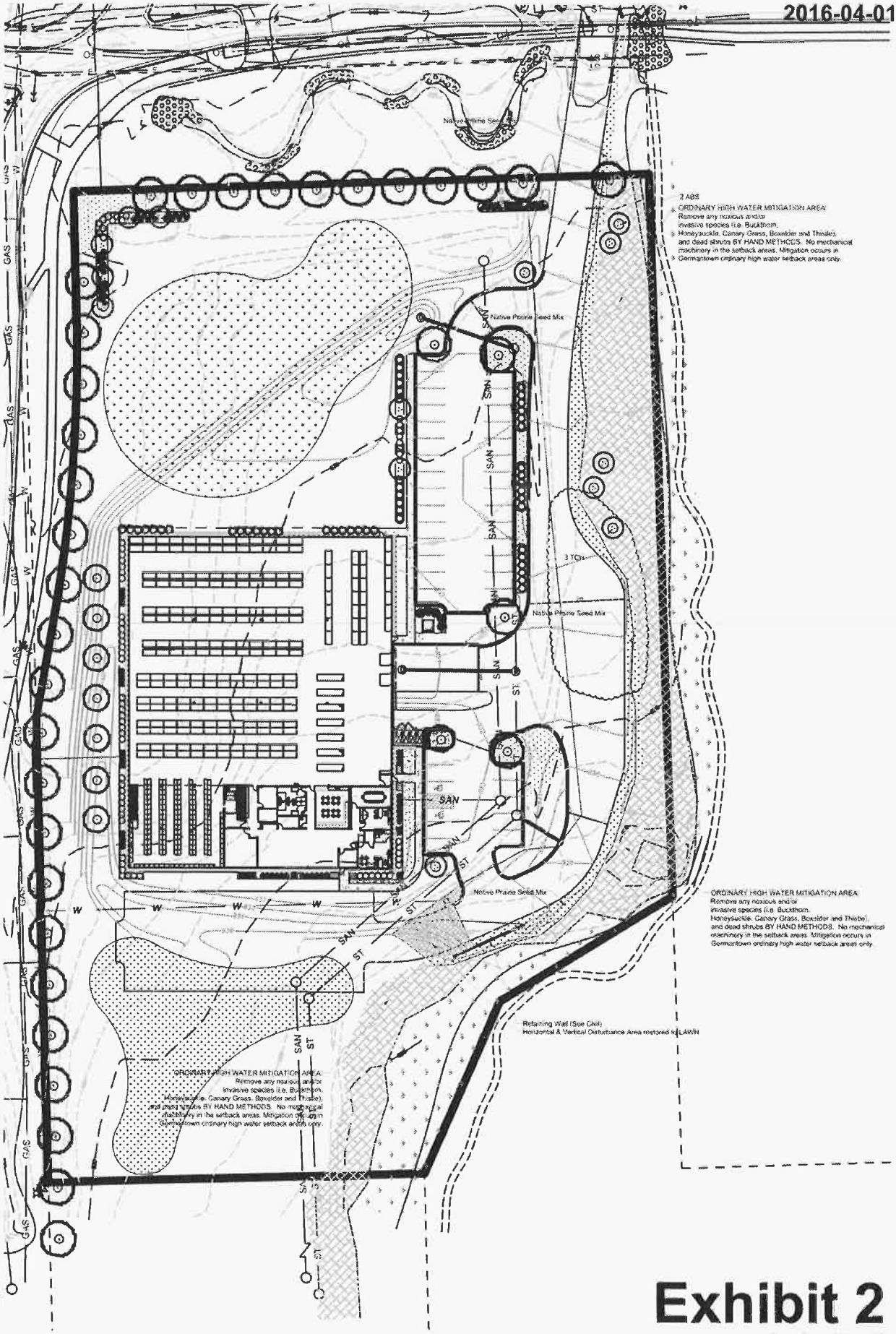
North
Scale: 1" = 50'

EXHIBIT 1

Partial Landscape Plan

2016-04-01

SPORTS SPECIALISTS of Milwaukee, Inc.



HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
One Redwood Court
Racine, Wisconsin 53402
ph 262.639.9733
fx 262.639.9737
david@wdavidheller.com

Exhibit 2

Scale: 1"=80'

RECEIVED
APR 4 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

CERTIFIED SURVEY MAP NO._____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

CSE
CAPITOL SURVEY ENTERPRISES
220 REGENCY CT STE 210
BROOKFIELD, WI 53045
PH: (262)-786-6600
WWW.CAPITOLSURVEY.COM

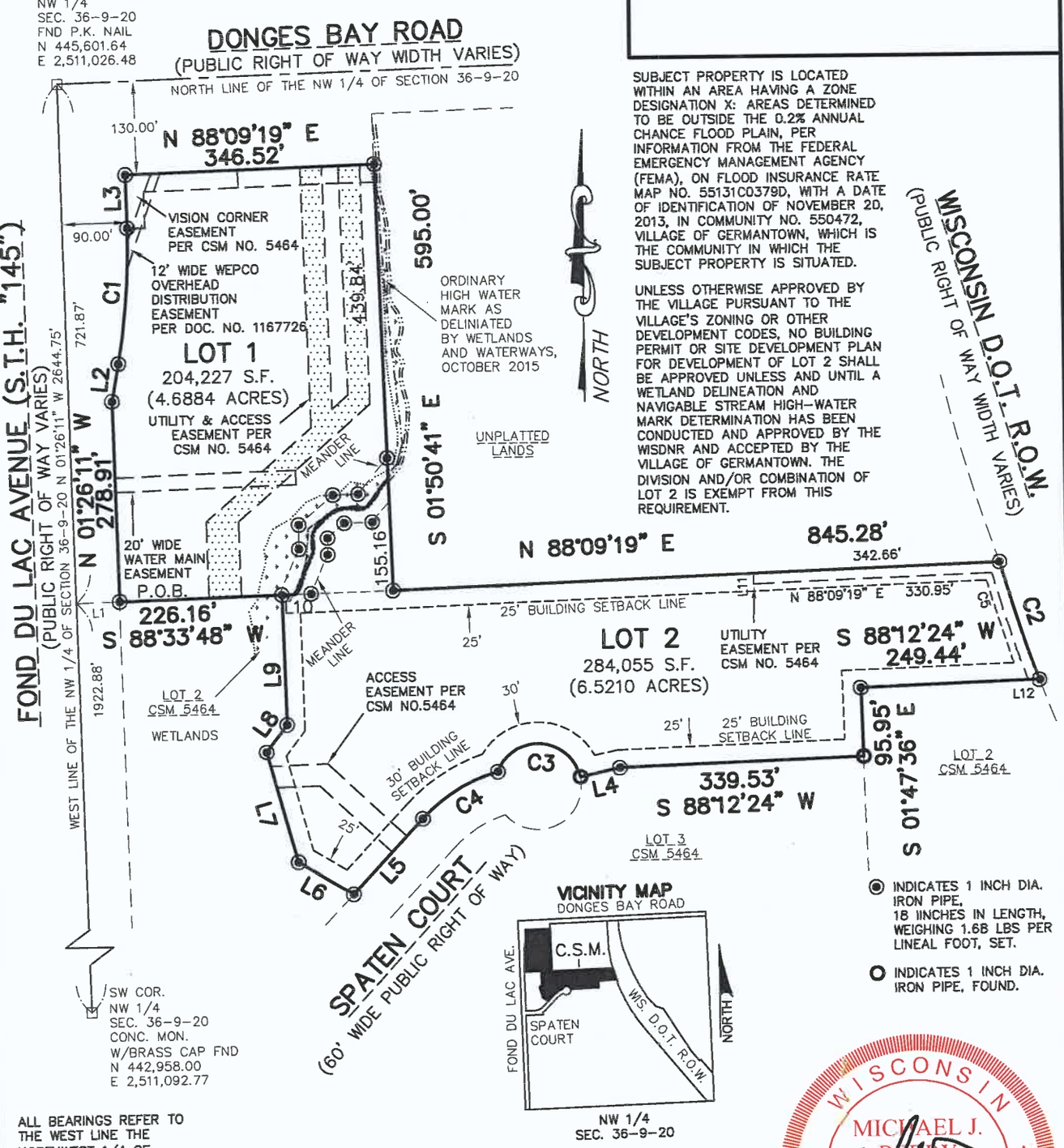
PREPARED FOR:
SKYLINE DEVELOPMENT CORP.
9400 N. 107TH STREET
MILWAUKEE, WI

SEE SHEET 2 FOR LINE AND CURVE TABLE.

SEE SHEET 3 FOR LOT 1 AND MEANDER LINE DETAIL

SEE SHEET 4 FOR EASEMENT DETAIL

SEE SHEET 5 FOR LOT 2 EASEMENT AND WETLAND DETAIL



SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55131C0379D, WITH A DATE OF IDENTIFICATION OF NOVEMBER 20, 2013, IN COMMUNITY NO. 550472, VILLAGE OF GERMANTOWN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

UNLESS OTHERWISE APPROVED BY THE VILLAGE PURSUANT TO THE VILLAGE'S ZONING OR OTHER DEVELOPMENT CODES, NO BUILDING PERMIT OR SITE DEVELOPMENT PLAN FOR DEVELOPMENT OF LOT 2 SHALL BE APPROVED UNLESS AND UNTIL A WETLAND DELINEATION AND NAVIGABLE STREAM HIGH-WATER MARK DETERMINATION HAS BEEN CONDUCTED AND APPROVED BY THE WISDNR AND ACCEPTED BY THE VILLAGE OF GERMANTOWN. THE DIVISION AND/OR COMBINATION OF LOT 2 IS EXEMPT FROM THIS REQUIREMENT.

● INDICATES 1 INCH DIA. IRON PIPE, 18 IINCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.

O INDICATES 1 INCH DIA. IRON PIPE, FOUND.

ALL BEARINGS REFER TO THE WEST LINE THE NORTHWEST 1/4 OF SECTION 36-9-20, WHICH HAS A BEARING OF N 01°26'11" W.

SUBJECT PROPERTY ZONED:
M-1 LIMITED BUSINESS DISTRICT

SETBACKS FOR AREAS ZONE M-1:
FRONT = 30'
SIDES = 25'
REAR = 25'

GRAPHIC SCALE
200 0 100 200
1 inch = 200ft.

WISCONSIN
MICHAEL J. BERRY
S-2555
BROOKFIELD, WI
LAND SURVEYOR

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

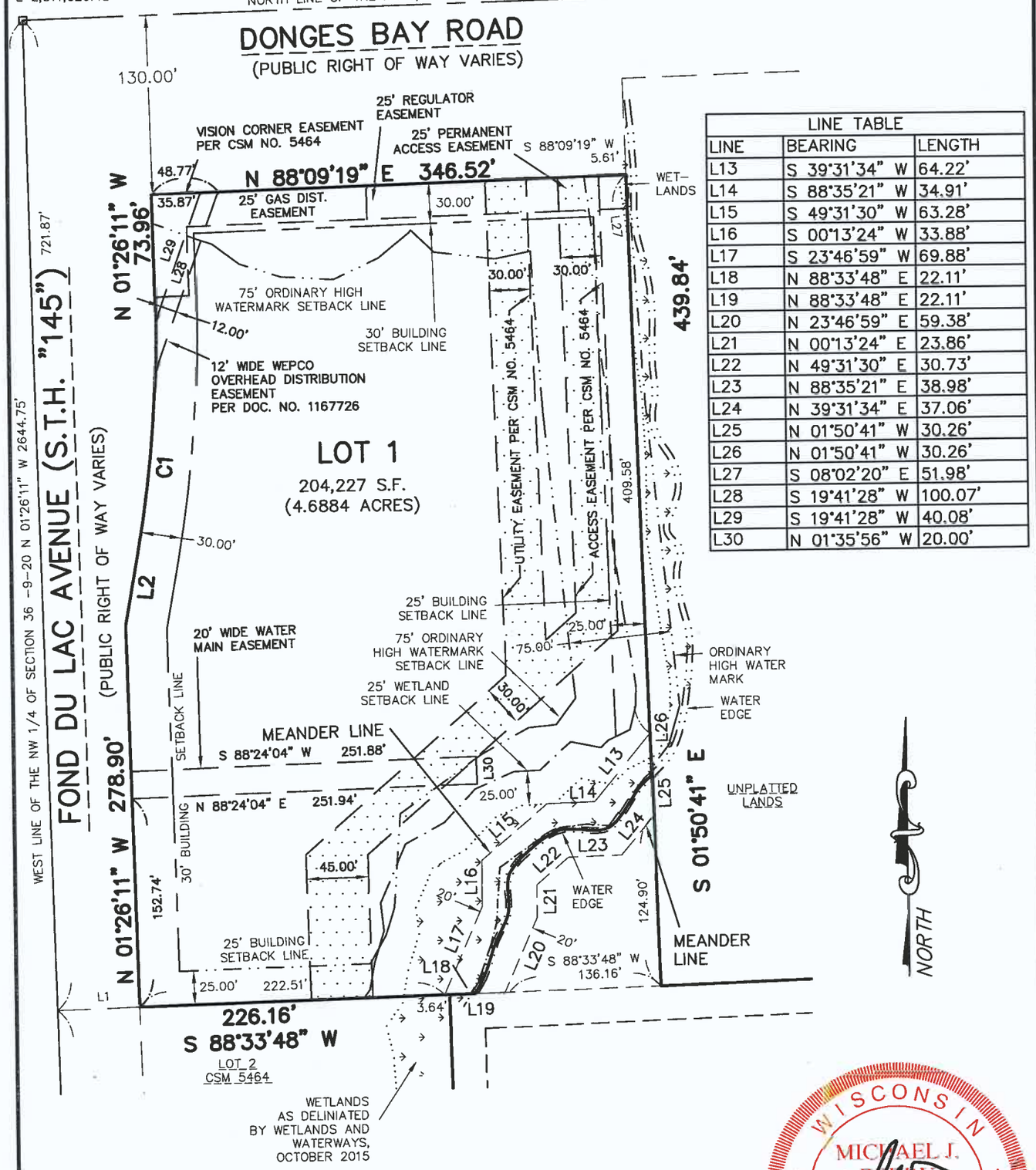
THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

LOT 1 DETAIL

CAPITOL SURVEY ENTERPRISES
220 REGENCY CT STE 210
BROOKFIELD, WI 53045
PH: (262)-786-6600
WWW.CAPITOLSURVEY.COM



LINE TABLE		
LINE	BEARING	LENGTH
L13	S 39°31'34" W	64.22'
L14	S 88°35'21" W	34.91'
L15	S 49°31'30" W	63.28'
L16	S 00°13'24" W	33.88'
L17	S 23°46'59" W	69.88'
L18	N 88°33'48" E	22.11'
L19	N 88°33'48" E	22.11'
L20	N 23°46'59" E	59.38'
L21	N 00°13'24" E	23.86'
L22	N 49°31'30" E	30.73'
L23	N 88°35'21" E	38.98'
L24	N 39°31'34" E	37.06'
L25	N 01°50'41" W	30.26'
L26	N 01°50'41" W	30.26'
L27	S 08°02'20" E	51.98'
L28	S 19°41'28" W	100.07'
L29	S 19°41'28" W	40.08'
L30	N 01°35'56" W	20.00'

SEE SHEET 2 FOR PROPERTY LINE AND CURVE TABLE

SEE SHEET 4 FOR NORTH LINE EASEMENT DETAIL

SEE SHEET 5 FOR WETLAND AND LOT 2 EASEMENT DETAIL

GRAPHIC SCALE

100 0 50 100

1 inch = 100 ft.

WISCONSIN MICHAEL J. BURRY S-2545 BROOKFIELD, WI LAND SURVEYOR

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5464 IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, IN THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE S 01°26'11" E 721.87 FEET ALONG THE WEST LINE OF SAID SECTION; THENCE N 88°33'48" E 60.00 FEET TO THE EAST RIGHT OF WAY LINE OF FOND DU LAC AVENUE (ALSO KNOWN AS S.T.H. "145") AND THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE N 01°26'11 W 278.91 FEET; THENCE N 10°15"45" E 53.15 FEET; THENCE 188.92 FEET ALONG THE ARC OF A CURVE, WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 925.00 FEET, AND WHOSE CHORD BEARS N 04°24'52" E 188.59 FEET; THENCE N 01°26'11" W 73.96 FEET TO THE SOUTH RIGHT OF WAY LINE OF DONGES BAY ROAD; THENCE N 88°09'19" E 346.52 FEET ALONG SAID SOUTH LINE; THENCE S 01°50'41" E 595.00 FEET; THENCE N 88°09'19" E 845.28 FEET TO THE WEST LINE OF A WISCONSIN D.O.T. RIGHT OF WAY; THENCE ALONG SAID WEST LINE 173.65 FEET ALONG THE ARC OF A CURVE, WHOSE CENTER LIES TO THE NORTHEAST, WHOSE RADIUS IS 2281.71, AND WHOSE CHORD BEARS S 17°55'15" E 173.61 FEET; THENCE S 88°12'24" W 249.44' FEET; THENCE S 01°47'36" E 95.95 FEET; THENCE S 88°12'24" W 339.53 FEET; THENCE S 78°01'18" W 56.55 FEET TO THE NORTH RIGHT OF WAY LINE OF SPATEN COURT; THENCE ALONG SAID NORTH LINE 153.95 FEET ALONG THE ARC OF A CURVE, WHOSE CENTER LIES TO THE SOUTHWEST, WHOSE RADIUS IS 60 FEET, AND WHOSE CHORD BEARS N 85°29'13" W 115.06 FEET; THENCE CONTINUING ALONG SAID NORTH LINE 124.78 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE SOUTHEAST, WHOSE RADIUS IS 230.00 FEET, AND WHOSE CHORD BEARS S 58°44'56" W 123.26 FEET; THENCE CONTINUING ALONG SAID NORTH LINE S 43°12'24" W 141.97 FEET; THENCE N 59°11'45" W 89.07 FEET; THENCE N 15°21'43" W 159.36 FEET; THENCE N 37°04'08" E 47.67 FEET; THENCE N 01°26'12" W 181.26 FEET; THENCE S 88°33'48" 226.16 FEET TO THE POINT OF BEGINNING.

CONTAINING: 488,282 SQUARE FEET OR 11.2094 ACRES

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF SKYLINE DEVELOPMENT CORP., OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN AND CHAPTER 330 OF THE VILLAGE OF GERMANTOWN CODE OF ORDINANCES IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 5TH DAY OF FEBRUARY, 2016.

MICHAEL J BERRY
PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN

WISCONSIN
MICHAEL J.
BERRY
S-2545
BROOKFIELD,
WI
LAND SURVEYOR

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 88°33'48" E	60.00'
L2	N 10°15'45" E	53.15'
L3	N 01°26'11" W	73.96'
L4	S 78°01'18" W	56.55'
L5	S 43°12'24" W	141.97'
L6	N 59°11'45" W	89.07'
L7	N 15°21'43" W	159.36'
L8	N 37°04'08" E	47.67'
L9	N 01°26'12" W	181.28'
L10	N 88°33'48" E	18.47'
L11	N 01°50'41" W	15.00'
L12	S 88°12'24" W	15.79'

CURVE TABLE					
CURVE	ARC	RADIUS	BEARING	CHD. LENGTH	DELTA
C1	188.92'	925.00'	N 04°24'52" E	188.59'	11°42'07"
C2	173.65'	2281.71'	S 17°55'15" E	173.61'	04°21'38"
C3	153.95'	60.00'	N 85°29'13" W	115.06'	147°00'41"
C4	124.78'	230.00'	S 58°44'56" W	123.26'	31°05'03"
C5	158.08'	2296.71'	S 18°00'20" E	158.05'	03°56'17"

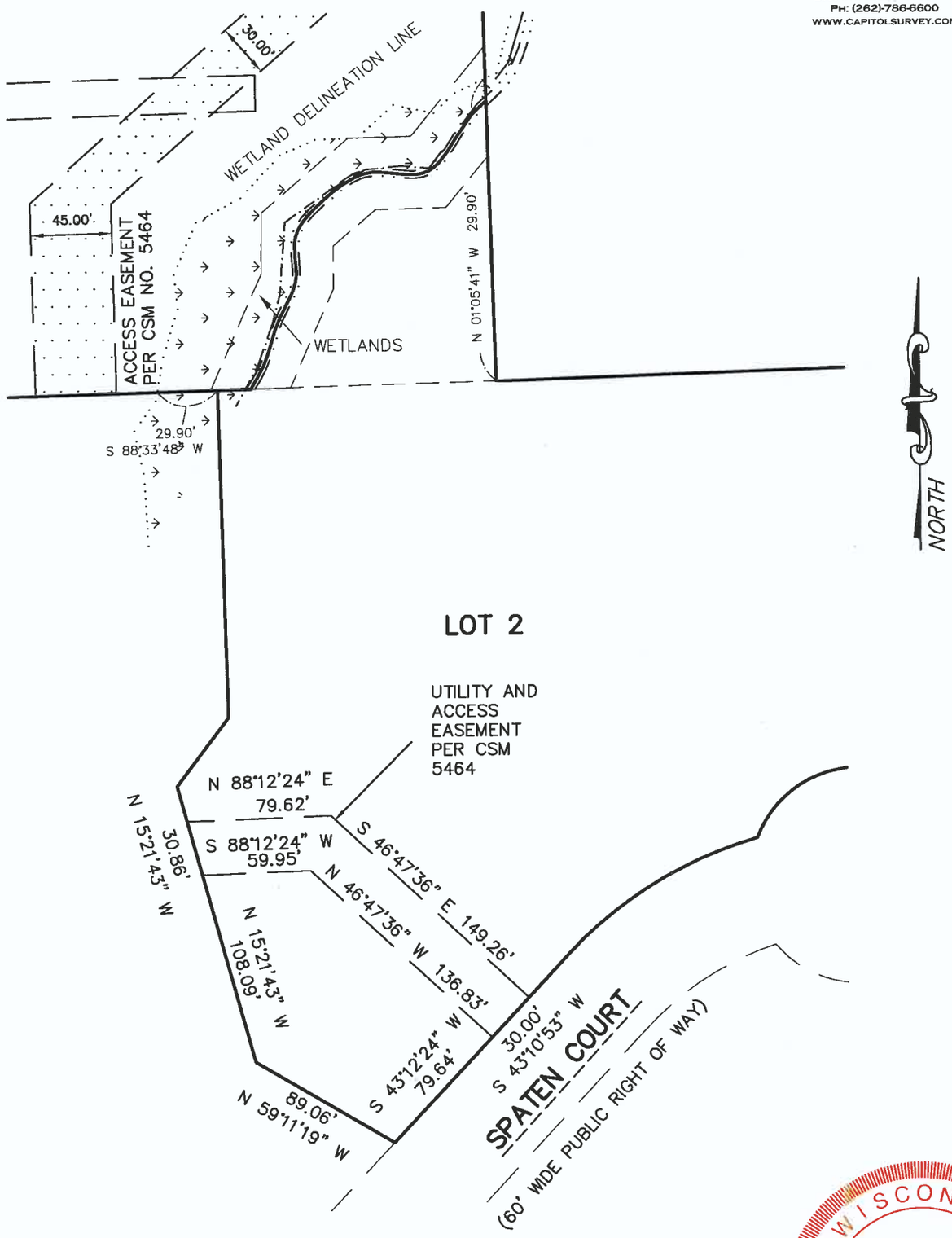
THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

LOT 2 EASEMENT AND WETLANDS DETAIL

CAPITOL SURVEY ENTERPRISES
220 REGENCY CT STE 210
BROOKFIELD, WI 53045
PH: (262)-786-6600
WWW.CAPITOLSURVEY.COM



GRAPHIC SCALE

80 0 40 80

1 inch = 80 ft.

WISCONSIN MICHAEL J. BOLEY S-2555 BROOKFIELD, WI LAND SURVEYOR

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

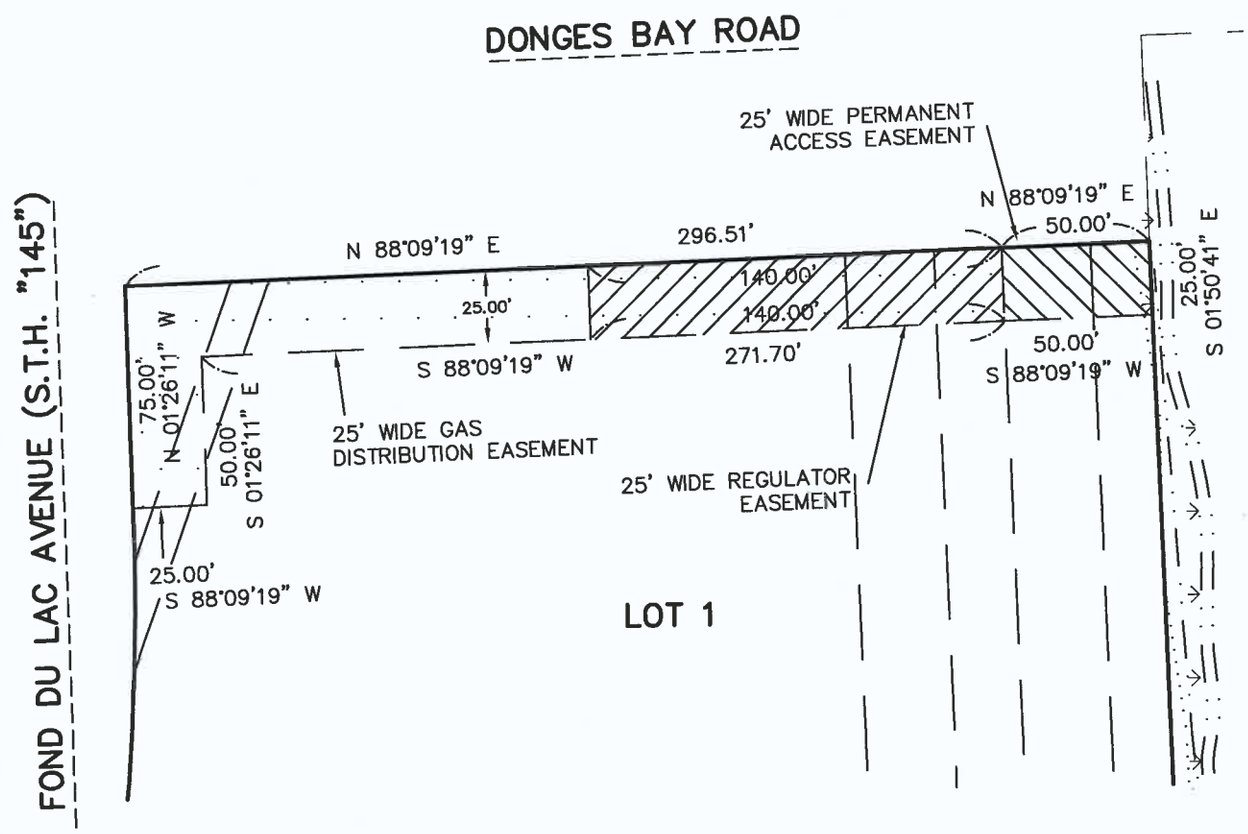
THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

CAPITOL SURVEY ENTERPRISES
220 REGENCY CT STE 210
BROOKFIELD, WI 53045
PH: (262)-786-6600
WWW.CAPITOLSURVEY.COM

NORTH LINE EASEMENT DETAIL



NORTH

GRAPHIC SCALE

60 0 30 60

1 inch = 60 ft.

WISCONSIN MICHAEL J. BERRY S-2505 BROOKFIELD, WI LAND SURVEYOR

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

VILLAGE OF GERMANTOWN PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF GERMANTOWN ON THIS DAY_____OF_____, 2016.

_____ _____

DEAN WOLTER, VILLAGE PRESIDENT DATE

_____ _____

LAURA A. JOHNSON, SECRETARY DATE

VILLAGE OF GERMANTOWN BOARD APPROVAL

THIS CERTIFIED SURVEY MAP, BEING A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE PLANNING COMMISSION BEING THE SAME, IS HEREBY APPROVED AND ACCEPTED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF GERMANTOWN ON THIS_____DAY OF_____, 2016.

_____ _____

DEAN WOLTER, VILLAGE PRESIDENT DATE

_____ _____

BARBARA GOECKNER, VILLAGE CLERK DATE

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CERTIFIED SURVEY MAP NO. _____

A DIVISION OF LOT 1 OF CERTIFIED SURVEY MAP IN THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 9 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE

SKYLINE DEVELOPMENT CORP., A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFIES THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, DIVIDED, AND MAPPED AS REPRESENTED ON THIS MAP, AND SUBMITTED TO THE VILLAGE OF GERMAN TOWN AS REQUIRED IN ACCORDANCE WITH THE ORDINANCES OF THE VILLAGE OF GERMAN TOWN.

IN WITNESS WHEREOF, THE ABOVE NAMED CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY WILLIAM SCOTT BURKHART, ITS REGISTERED AGENT, AT _____, WISCONSIN, THIS_____DAY OF _____, 2016.

_____
WILLIAM SCOTT BURKHART, REGISTERED AGENT

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

PERSONALLY CAME BEFORE ME THIS_____DAY OF_____, 2016 WILLIAM SCOTT BURKHART, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

_____
NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES:

CONSENT OF CORPORATE MORTGAGE

BMO BANK, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF SKYLINE DEVELOPMENT CORPERATION, AS OWNER OF SAID LAND.

IN WITNESS WHEREOF, WISCONSIN PRESERVATION FUND, HAS CAUSED THESE PRESENTS TO BE SIGNED BY_____, ITS REPRESENTATIVE AND ITS CORPORATE SEAL HEREUNTO AFFIXED, THIS_____DAY OF_____, 2016.

_____
REPRESENTATIVE

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS_____ DAY OF_____, 2016, THE ABOVE NAMED_____, TO ME KNOWN AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

_____
NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES:_____

WISCONSIN
MICHAEL J.
BERKE
S-2745
BROOKFIELD
WI
LAND SURVEYOR

REVISED: MARCH 1, 2016
REVISED: MARCH 21, 2016

THIS INSTRUMENT DRAFTED BY NICHOLAS J. FIRER

CONDITIONAL USE PERMIT & SITE PLAN CONSULTATION

4/11/16 Plan Commission Meeting

Chaz Hastings / Old Town Inn & Von Rothenburg Bier Stube

Village Planner Report **Germantown, Wisconsin**

Summary

Chaz Hastings, owner/operator of the Old Town Inn & Bier Stube, and agent for Jerry Grosenick, property owner, is requesting feedback on a proposal to expand the Von Rothenburg beer garden and install a temporary gravel parking lot on a 1-acre vacant area located south of the property located at N116 W15841 Main Street.

Property Location: N116 W15841 Main Street

Applicant/ Property Owners:

Chaz Hastings
644 Hwy K
Hartford, WI 53027

Jerry Grosenick
W124 N11385 Wasaukee Road
Germantown, WI 53022

Current Zoning: B-3: General Business

Adjacent Land Uses		Zoning
North	Commercial	B-3
South	Residential	Rm-2
East	Residential / Commercial	B-3
West	Residential / Commercial	B-3

Proposal

Chaz Hastings, owner/operator of the Old Town Inn & Bier Stube, and agent for Jerry Grosenick, property owner, is requesting feedback on a proposal to expand the Von Rothenburg beer garden and install a temporary gravel parking lot on a 1-acre vacant area located south of the property located at N116 W15841 Main Street.

As indicated in the preliminary site plan and proposal description (March 31 letter), the proposal includes:

- Expanding the outdoor seating and service area south of the existing area
    - Replace existing 16 parking stalls with mulch
    - Extend existing fence around expanded seating and service area
    - Install 960 sqft (20' x 48') "rain shelter" within service area
- Install temporary gravel parking lot (1-acre area w/ 103 additional parking stalls)
    - Lease (1 year) vacant area south & adjacent to existing paved parking
    - Remove existing trees and fill/grade area with gravel

Access to the expanded parking area will continue to be from the two (2) existing access driveways to Main Street from the existing parking lot behind the Old Town Inn.

Hastings indicates that the need to install a temporary parking lot is due to the Village's plan to construct a road behind the properties, and, to minimize the cost until such time as a final design is coordinated with the Village.

Staff Comments

Because the 1-acre area is part of a separate parcel and not legally attached to either the Von Rothenburg or Old Town Inn parcels, development of an "off-site" parking lot that is intended to serve different uses on different properties is only allowed with a Conditional Use Permit (CUP) and Site Plan approval (see Zoning Code Section 17.45(5). Expansion of the outdoor seating area at the Von Rothenberg Bier Stube is a seemingly minor item, but should also have a Site Plan reviewed and approved by the Plan Commission.

<u>Fire</u> <u>Department</u>

The Fire Department has the following observations:

1. Provide additional Fire Department access from Main Street or Fond du lac Ave;
2. Provide marked exit paths to at least two (2) additional exit doors or gates that will open with egress on emergency exiting on fencing;
3. Outdoor areas are regulated by the IBC (building code) Chapter 10;
4. Concerns are for illuminated exit and emergency lighting;
5. Occupant load sign required outside and in building;
6. Provide a location for a portable cooking grill or trailer;
7. Provide a guard rail, bollards or parking curb stops to help prevent vehicle damage to fence.

Public Works/Engineering Department

Public Works/Engineering Department has provided the following comments in April 7, 2016 memo (copy enclosed):

1. The Beer Hall property has one ingress and one egress access point to Main Street which has diagonal parking on the north side of this single lane in each east/west direction. This area of Main Street is quite narrow and congestion or short term backups could occur after a Beer Hall event. The project description does not address any traffic impacts to Main Street;
2. The project description does not address where topsoil will be stockpiled once it has been stripped from the proposed parking area. Any selected area for the stockpile will need erosion control established and maintained;
3. The concept plan does not indicate how thick the gravel pad will be when finally constructed. Should the project move forward, the owner will need to provide engineered site plans with existing and proposed contours;
4. The existing topography indicates that the natural direction for storm water run-off is from the northeast to the southwest across this property towards the RR tracks. The proposed parking pad is located in the “path” of surface drainage and may block storm water upstream from this property. There are no provisions shown to accommodate off-site drainage;
5. The proposed parking pad is located partially within an existing 20’ storm sewer easement in which an 18” storm sewer pipe is located. We know that the storm sewer in this location is old and has a history of collapsing at various points on and to the west of the subject property. The possibility exists that this pipe could collapse within the easement area under the proposed parking area once a load is placed on it like parked cars;
6. The project description does not define how long the temporary parking lot will be temporary. The description make reference to some proposed road plans being prepared by the Village, but there are no such plans that have been proposed or approved.

At this time, Hastings is requesting feedback from the Plan Commission before proceeding with a CUP application and a more detailed site plan. Other issues that the Plan Commission may want to consider and seek additional information about include:

1. Liquor license requirement for expanded outdoor seating & service area
2. Number of additional tables & seating capacity to be provided (and estimated increase in patrons, parking demand and rest room adequacy)
3. What activities will the “rain shelter” be used for? Does the expanded outdoor seating area enable larger and louder events?
4. Will the shelter have temporary or permanent side walls? Will the shelter have electricity and lighting?
5. What materials and construction standard will the “temporary” parking area be built to?
6. Will some form of storm water management be analyzed/required given past concerns with storm water issues in this area?

Engineering Department Memorandum

To: Jeff Retzlaff Village Planner

CC:

From: Bob Beilfuss, PLS, Village Surveyor

Date: April 7, 2016

Re: Old Town Beer Hall-Parking Expansion

Jeff,

Here are my review comments for concept plan received 4-1-2016.

Site Plan Review

Applicant or Owner: Charles Hastings
Land Surveyor/Firm: The Custom House LLC

1. The Beer Hall property has one ingress and one egress access point to Main Street which has diagonal parking on the north side of this single lane in each east/west direction. This area of Main Street is quite narrow and congestion or short term backups could occur after a Beer Hall event. The project description does not address any traffic impacts to Main Street.

2. The project description does not address where the topsoil stockpile will be located once the topsoil has been stripped from the proposed expansion area. Any selected area for the stockpile will need erosion control established and maintained for the duration the pile is in existence.

3. The project description or the concept plan does not address how thick the gravel pad will be when finally constructed. Should the project move forward, the owner will need to provide engineered site plans with existing and proposed contours

4. The existing topography is showing that the existing natural direction of drainage is from the northeast to the southwest towards the RR tracks. The proposed parking pad is located in the surface drainage way and will block any storm water upstream from this property. There are no provisions shown to accommodate the off-site drainage.

5. The proposed parking pad is located in an existing 20' storm sewer easement in which an 18" storm sewer pipe is located. (See CSM No.6366) This pipe is old and has a history of collapsing at various locations in this area. The possibility exists that this pipe could collapse once a load is placed on it like a parked car.

6. The project description does not define how temporary the parking lot will be. The description make reference to some proposed road plans being prepared by the Village. I am unaware of these proposed plans.

Village of Germantown ...Willkommen

Fee must accompany application

- ☐ $700 Minor Addition
- ☐ $1,240 Construction <10,000 SF
- ☐ $2,095 Construction 10,000 SF to 50,000
- ☐ $3,460 Industrial Construction >50,000 SF
- ☐ $3,460 Commercial Construction >50,000
- ☒ $200 Plan Commission Consultation
- ☐ $125 Fire Department Plan Review

PAID [illegible] DATE 4-1-16

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1

APPLICANT OR AGENT

Charles Hastings
644 County Rd K
HARTFORD WI 53027

Phone (414) 334-9363
E-Mail Chastings@milwaukeeharley.com

PROPERTY OWNER

Charles Hastings
Gerard Grosenick

Phone ( )
E-Mail

2

PROPERTY ADDRESS

N116 W15841 MAIN STREET
Germantown WI 53022

3

NEIGHBORING USES – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North	South	East	West
Commercial	open field	Residential	Residential

4

READ AND INITIAL THE FOLLOWING:

X I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

X I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

X I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5

SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!

Charles 4/1/16
Applicant Date

Charles 4/1/16
Owner Date

X 4/1/16

THE
CUSTOM HOUSE LLC
ARCHITECTURE UNLIMITED

RECEIVED
APR 1 - 2016
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

31 March 31, 2016

Plan Commission
Village of Germantown
N112 W17001 Mequon Road
Germantown, WI 53022

RE: Bier Stube Bier Garden Addition and Off Site Parking

TO: Village Plan Commission

With the success of both the Von Rothenburg Bier Stube Bier Garden and The old German Bier Hall, and with the additional demand expected as the summer months approach, we are looking to expand our offerings and provide safe, adequate and nearby parking for patrons.

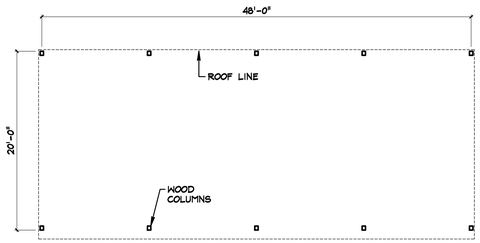
To that end, we are asking to add an additional (apprx.) 85 feet to the south side of the Von Rothenburg Bier Garden. The existing parking lot is to be removed and replaced with a mulched bed surface, with benches and umbrellas. The existing wood board on board fence would be extended and wrap around the additional area providing security and controlled ingress and egress points. A long free standing pole-building type shelter would be included along the south end of the site providing shelter from rain.

To better accommodate the current occasional high demand for parking as well as the projected volumes with the Bier Garden addition, we have engaged Mr. Grosenick, the land owner to the south, for a 1 year lease on an additional acre of land. Our intention is to provide a temporary gravel parking lot which will net an additional 87 stall to accommodate the anticipated peak demand.

Due to the Village of Germantown's plans to create a new road somewhere between our properties and the railroad tracks to the south, as well as the issues of regional storm water management and traffic discussions, we are asking for a *temporary* parking area that does not meet the current Village requirements so that we can minimize the capital outlay until we are able to fully co-ordinate with the Villages final designs.

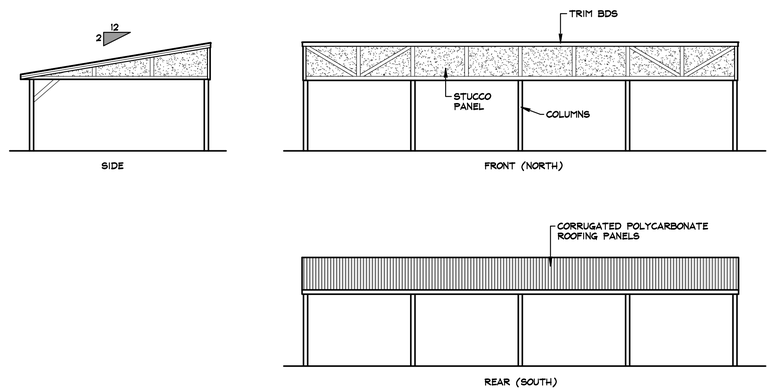
DG;dg

1506 S. 58th Street • West Allis • Wisconsin • (414) 617-0352 • www.thecustomhousellc.com



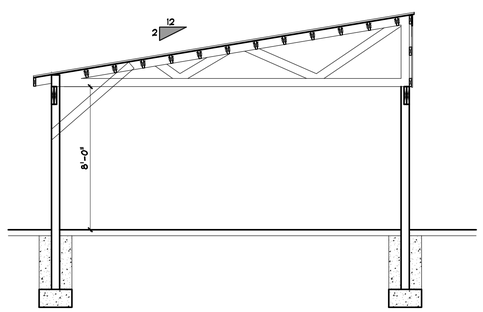
2 SHELTER PLAN

1/8" = 1'-0"



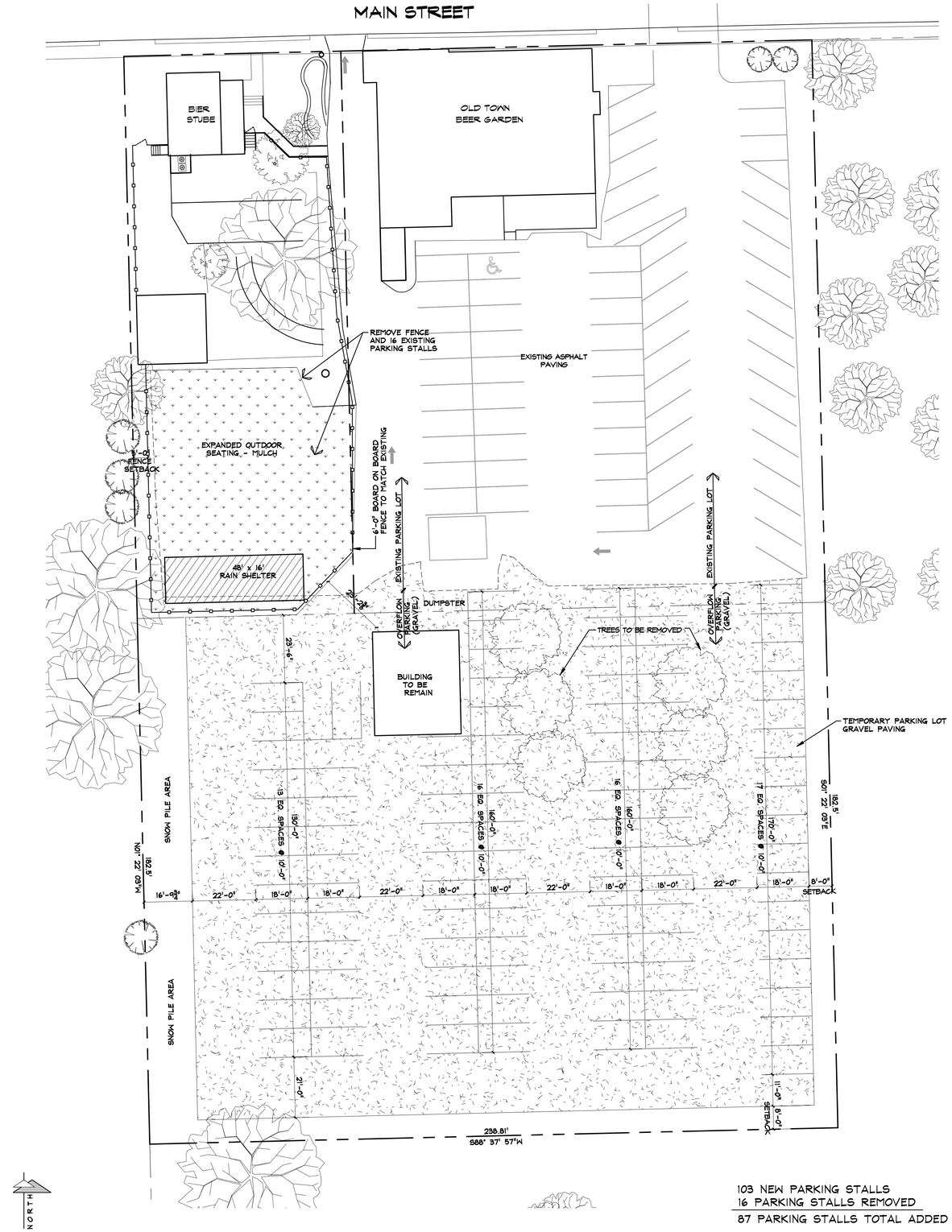
3 SHELTER ELEVATIONS

1/8" = 1'-0"



4 SHELTER SECTION

1/4" = 1'-0"



103 NEW PARKING STALLS
16 PARKING STALLS REMOVED
87 PARKING STALLS TOTAL ADDED

1 SITE DEVELOPMENT PLAN

1" = 20'-0"

THE CUSTOM HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL
COMMERCIAL

1506 S. 58th STREET
WEST ALLIS, WI 53214
PHONE (414) 617-0352

Old Town Beer Hall Parking Addition

N116 W15841 Main Street
Germantown, WI

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OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

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Sheet Contents

SITE PLAN
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Issued For:	Date:
Prelim 1	24 Feb, 2016
Prelim 2	28 March, 2016

Drawn By:	DG
Checked By:	DG
Date:	24 Feb, 2016
Job Number:	16.011

Sheet Number

C 1.0