

VILLAGE OF GERMANTOWN
N112 W17001 MEQUON ROAD
GERMANTOWN, WI 53022

MEETING:	PLAN COMMISSION
DATE AND TIME:	<u>MONDAY, September 12, 2016 6:30 p.m.</u>
LOCATION:	Germantown Village Hall Board Room

- I. **CALL TO ORDER:** This meeting has been given public notice in accordance with Wisconsin Statutes, Section 19.83 and 19.84 in such form that will apprise the general public and news media of subject matter that is intended for discussion and action.
- II. **ROLL CALL**
- III. **PUBLIC INPUT/PUBLIC APPEARANCE:**
Please be advised per §19.84(2), information will be received from the public. It is the policy of this municipality that there be a three (3) minute time period, per person, with time extension per the Chief Presiding Officer's discretion; be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments. (15 minutes)
- IV. **APPROVAL OF MINUTES:** August 8, 2016
- V. **NEW BUSINESS:**
 - A. Corporate Image Sign for Great Lakes Quick Lube and Valvoline – N96 W18594 County Line Road. Sign Review Application.
 - B. Expedite the Diehl and Lemberg Electric for Endam I LLC and Manpower – N112 W16510 Mequon Road. Sign Review Application.
 - C. Mike & Allison Roeder – W168 N10711 Juniper Drive. Zoning Permit for a Fence Encroachment in a Drainage Easement.
 - D. Washington County for Village of Germantown – Water Tower at N101 W15201 Starlite Drive. Site Plan Review for Communication System Antenna & Equipment Shelter Installation.
 - E. JBJ Development for Heritage Place Joint Venture and the Saxony Village Residential Development – located at approximately N116 W16200 Main Street. Request to Amend the Site Plan Conditions of Approval (Building No. 6).
- VI. **ANNOUNCEMENTS**
- VII. **ADJOURNMENT**

The next Plan Commission Meeting will be on October 10, 2016 at 6:30 p.m.

UPON REASONABLE NOTICE, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service please contact the Village Clerk at (262)250-4740 at least 2 days prior to the meeting. Notice is given that a majority of the Village Board may attend this meeting to gather information about an item over which they have decision making responsibility. This may constitute a meeting of the Village Board per State ex rel. Badke v. Greendale Village Board, even though the Village Board will not take formal action at this meeting.

PLAN COMMISSION MINUTES
August 8, 2016

CALL TO ORDER: 6:37 pm

ROLL CALL: Chairman Dean Wolter, Trustee Representative David Baum, Commissioners Mary Ellen Gray, Bill Shadid, Peter Nilles and Tony Laszewski were present. Commissioner Ben Goetter was absent and excused. Also present were Community Development Director/Village Planner Jeff Retzlaff and Planning Assistant Lori Johnson.

PUBLIC INPUT: None

APPROVAL OF MINUTES: ***MOTION Baum second Shadid to Approve the minutes from 7-11-16.***

MOTION carried unanimously.

Charles Rusch – Property owner of a 34.8 acre parcel on Pioneer Road is seeking approval of a 2-lot Certified Survey Map. Planner Retzlaff summarized the proposal.

MOTION Baum second Shadid to Approve the 2-lot Certified Survey Map land division for the 34.8 acre Rusch property located on Pioneer Road subject to the following conditions:

- 1. All technical corrections identified by the Village Surveyor as summarized in the July 27, 2016 memo shall be made prior to recording the CSM by the Village Board.***
- 2. A note shall be added to the CSM indicating that no further land division of or construction of any habitable structure on Lot 2 shall occur until such time as the appropriate soil evaluation indicating Lot 2 can support an on-site septic system is prepared and approved by Washington County and/or the Village.***

MOTION carried unanimously.

Sports Specialists of Milwaukee – N104 W13885 Donges Bay Road & Skyline Development Corp. – Lot 2 of CSM 6684 Spaten Court. Conditional Use Permit Application for revisions to CUP #04-16 for Wetland Setback Encroachment and Revised Site Plan for changes to the driveway and dumpster enclosure. Planner Retzlaff summarized the proposal and staff's recommendations for conditions of approval. Mike Krenz, Skyline Development, said they accept the conditions of approval. He explained it was the owner's personal preference to move the driveway and explained a revised landscape plan showing additional plantings will be submitted in the future. Trustee Baum agreed with Planner Retzlaff that additional mitigation should be required in the off-site mitigation area and asked if there was any mitigation that could be done on the off-site area for a future business locating on the off-site parcels to use. Planner Retzlaff explained the mitigation area and wetland and navigable stream setbacks on the off-site parcel adjacent to Fond du Lac Avenue already create a narrow lot for future development along with an access restriction against access to Fond du Lac Avenue. Discussion followed. Mr. Krenz said that the owner agrees to the condition requiring the same mitigation activities in the off-site mitigation area as proposed for the on-site mitigation area as on the site plan. Planner Retzlaff said the more critical issue is granting an access easement. Discussion continued regarding wetland mitigation and the need to compensate for encroachment into the wetland setback area.

MOTION Baum second Gray to Approve a Revised Conditional Use Permit to allow development within the 25' wetland and 75' navigable water setback areas and proposed compensation as presented in the Wetland Mitigation Plan (dated August 5, 2016) pursuant to Section 24.04 of the Shoreland-Wetland Zoning Code and subject to the following conditions:

- 1. The owner shall prepare and submit an annual monitoring report to the Village and local DNR staff concerning the various management activities proposed in the plan, including the planting/restoration of native vegetation. Said report shall, at a minimum, detail the type and amount of plantings, all activities carried out in the previous year and the observed success of all previous activities, recommendations for new or different activities needed to ensure success of the mitigation measures and management activities to be carried out, and a list of planned activities for the upcoming year. Said report shall be submitted annually at the end of each year beginning in 2017 for a period of three (3) years.**
- 2. The owner/applicant shall prepare an appropriate easement and easement agreement document to be revised and approved by the Village Attorney prior to review and final action by the Village Board. At a minimum, said easement agreement shall address the issue of access to and maintenance of the mitigation areas created on the affected parcels; and the future use and prohibition of development within the mitigation areas.**
- 3. The Mitigation Plan shall be further revised to include the following compensatory mitigation activities within the 27,100 sqft "off-site" mitigation area: (1) invasive species removal and eradication; and (2) the planting of native prairie vegetation comprised of a native prairie seed mix and matting in those portions of the off-site mitigation area where invasive vegetation has been removed. Said revised Mitigation Plan shall be submitted to the Village Planner for approval prior to review and final action by the Village Board.**

MOTION carried unanimously.

MOTION Baum second Gray to Approve the Revised site development plan for the proposed 32,000 sqft warehouse distribution and office building for Sports Specialists of Milwaukee Inc. located at N104 W13885 Donges Bay Road in the Germantown Business Park subject to the following conditions:

- 1. This approval is subject to all of the conditions and requirements set forth herein and adopted by the Plan Commission. Approval is granted for the site development plan (Sheet C1.00) date stamped "received" August 3, 2016 unless superseded by subsequent plan sheets approved by the Village Planner pursuant to revisions required herein and/or by the Plan Commission.**

MOTION to Amend Baum second Shadid to add Condition #2 that the revised landscape plan be approved by Director Retzlaff.

MOTION to Amend carried unanimously.

MOTION to Approve as Amended carried unanimously.

Community Development Department- Proposed Code Amendments to various provisions to Section 17 (Zoning Code). The amendments are proposed in order to bring provisions up-to-date in light of changes to Wisconsin Statutes; reflect recent actions and/or policy decisions by the Village; or clarify and improve staff's ability to administer and enforce these particular regulations. Planner Retzlaff summarized the code amendments.

Amendment #1: The proposed amendment was created to implement the Village Board's direction to create a process by which business owners can apply for a conditional use permit that would enable businesses with a CUP to conduct outdoor entertainment activities from 10:00pm to 12:00 midnight subject to a series of conditions. Discussion followed. Trustee Baum explained the noise ordinance starts at 10pm, so specifically no music could be allowed after 10 pm. He said the Public Safety Committee discussed that you could have dinner outside but you couldn't have music or bands outside. This proposed another problem if someone's bedroom is 10 feet from where people are sitting having dinner. Planner Retzlaff explained the conditional use permit would be a pass to make additional noise. Trustee Baum explained that any business who wants to propose an outdoor use after 10pm would need to apply for a conditional use permit and define and describe what they are proposing to do. The Plan Commission and Public Safety Committee would then decide whether it would be acceptable at their location.

MOTION Gray second Baum to Approve the amendment to Section 17.42(10) as proposed:

17.42(10) LATE-NIGHT OUTDOOR ENTERTAINMENT.

Any restaurant within a B-1, B-2, B-3, B-4, B-5 or HIA Highway Interchange Area Overlay zoning district may apply for a late-night outdoor entertainment conditional use permit under the provisions of this section. A late-night outdoor entertainment conditional use permit shall authorize the restaurant to conduct outdoor activities between 10:00 pm and midnight notwithstanding any other provision of the Municipal Code subject to the following:

- a. The property shall be located a minimum of 200 feet from any residential zoning district;**
- b. The restaurant shall have been in business continuously for not less than 3 months at the time of application; and**
- c. The restaurant shall, at the time of application and annually thereafter submit to the Village documentation showing that more than 50% of the restaurant's gross sales are from the sale of food together with a signed statement from a certified public accountant who has reviewed the data and certifies that it is correct.**
- d. No music shall be allowed after 10:00 pm.**
- e. Any other condition that may be placed upon the permit by the Village Board to ensure compatibility and harmony with surrounding uses.**
- f. Nothing herein shall prohibit the Village from enforcing its code provisions related to those noises which are excessively or unnecessary loud, disorderly, or which otherwise create a nuisance.**

MOTION to Amend Gray second Baum to remove Item d.

MOTION to Amend carried unanimously.

MOTION to Amend Laszewski second Baum to correct Item c. to: ... a signed statement from a Certified Public Accountant and; add ...more than 50% of the restaurant's prior year gross sales. . .

Planner Retzlaff read the definitions in the zoning code for restaurant and tavern. Discussion followed.

MOTION to Amend carried unanimously.

MOTION to Amend Baum second Shadid to eliminate Item c.

MOTION to Amend carried unanimously.

Chairman Wolter questioned why the amendment says any restaurant when late night outdoor entertainment encompasses both a restaurant and tavern. Planner Retzlaff said each application should be considered on its own merits.

MOTION to Amend Baum second Shadid to add: . . . any restaurant or tavern . . . to the ordinance.

MOTION to Amend carried unanimously.

MOTION to Amend Baum second Shadid to change Item b: . . . the Business shall have been in business . . .

MOTION to Amend carried unanimously.

MOTION to Approve as Amended carried unanimously.

Amendment #2: The proposed amendment to the Site Plan approval requirements in the Zoning Code specifically requires a property owner who goes through the site plan approval process to also enter into a "Landscape Maintenance Agreement" with the Village. Staff will also prepare and maintain a model agreement that will be used for all eligible developments after adoption.

MOTION Gray second Baum to Approve the Amendment to the Zoning Code to include Section 17.43(6a):

17.43(6a) Landscape Maintenance Agreement.
Any property owner obtaining approval of a site plan that includes the design and installation of landscaping associated with the development of a property shall enter into a Landscape Maintenance Agreement with the Village. The purpose for the agreement shall be to: ensure the installation of landscaping in accordance with the landscaping plan approved by the Village; require a permanent and perpetual warranty to maintain said landscaping that will run with the property and be binding upon the property owner, successors and assigns. A model agreement shall be prepared by the Village and entered into between the property owner(s) and the Village concurrent with the granting of site and landscaping plan approval by the Village.

MOTION carried unanimously.

Planner Retzlaff said he will bring a draft agreement back to the Plan Commission for their review. The amendment is for all new development moving forward.

Amendment #3: Staff is proposing to amend Section 17.43(7) to specifically provide that, in the course of reviewing and ultimately deciding to approve, approved with some conditions, or deny a particular site plan proposal, the Plan Commission is charged with the responsibility of determining whether or not the development proposal will meet all of the specific items listed in the intent section of the Zoning Code and not just the adequacy of the application forms and utilities. Planner Retzlaff summarized the amendment. He explained the intent of the language is to make it clear that the Plan Commission does have the authority to deny a project or assign specific conditions and limit certain aspects of a development or add additional requirements to ensure the proposal satisfies the provisions of the intent section of the code. Discussion followed.

Commissioner Gray questioned if the Plan Commission needs to point out why a decision is made on a development. Planner Retzlaff said a reason should be given because it could be arbitrary or capricious. Chairman Wolter agreed. Planner Retzlaff said the proposed language also gives the Plan Commission the authority to ask for additional information to further help review a project. Trustee Baum questioned who determines aesthetics. Planner Retzlaff said it falls under Section 17.49 of the Code, Architectural Review Board, which is the Plan Commission. Chairman Wolter said you can't just say you don't like something or don't care for it. You need to say I don't think it will work or I don't approve of it for these reasons and tie it in the zoning or surrounding area and is not be opinion. Commissioner Gray said citing the undue population concentration could be a reason to decide approval of a proposal with no other reason given. Planner Retzlaff said language could also be added to further clarify density qualifiers. Discussion continued. Chairman Wolter said there are always a percentage of people who don't want to see any change and Plan Commission should decide if it's a good development for Germantown and if it fits all the criteria of zoning and aesthetics and is a positive, good development long term. Planner Retzlaff said the Plan Commission plays a big role in what is approved and looking at the big picture.

MOTION Baum second Shadid to Approve the Amendment to Section 17.43(7):

(7) REVIEW PROCEDURE. Upon receipt of the site plan, the Community Development Department and Plan Commission shall review it to determine whether it is in proper form, contains all of the required information, shows that the proposed development, including all buildings, site improvements, land uses and activities subject of said site plan are in compliance with this and other ordinances and plans of the Village, including but not limited to the Village's Comprehensive Plan, and whether or not the proposed development meets the intent of the Village Zoning Code as set forth in 17.04 herein, and demonstrates the adequacy of utility services. Upon demand by the applicant of the site plan, the Plan Commission shall, within sixty (60) 30 days of its initial submittal, approve it, conditionally approve it or deny approval. Subject to the provisions of 17.49 herein (Architectural Review Board), the Plan Commission shall have the authority to: (a) determine if a proposed development meets the intent of this Code as set forth in 17.04 and the requirements of all other applicable codes; (b) deny a proposed development if

the Plan Commission determines the proposed development does not or cannot meet the intent of this Code and/or the requirements of other applicable codes; (c) assign specific conditions or stipulations that may place limitations and/or additional requirements on certain aspects of the proposed development to ensure said development meets the intent of this and other applicable codes initially and on an ongoing basis; and (d) require relevant and adequate studies, analysis or other information deemed necessary in addition to that required under 17.43(3) herein in order to adequately assess and evaluate a proposed development with respect to meeting the intent of this Code and the requirements herein. Denial of approval shall be limited to any defect in form or required information, or any violation of any provision of this chapter or any ordinance, or the inadequacy of any utility. The Plan Commission's action shall be issued in writing by the Plan Commission Secretary stating, in detail, the reasons for the Plan Commission's actions (providing a copy of the meeting minutes shall be deemed sufficient to satisfy this requirement).

MOTION carried unanimously.

ANNOUNCEMENTS: Commissioner Shadid said tomorrow is Election Day. Chairman Wolter said the Vietnam Wall will be in Germantown September 1st through the 5th and will be located across the street from the American Legion Post on the school property. He said several events are planned including a parade on Saturday.

ADJOURNMENT: There being no further business, the meeting was adjourned at 8:35 p.m.

Respectfully submitted,

Lori Johnson
Planning Assistant

SIGN PERMIT REVIEW

9/12/16 Plan Commission Meeting

Valvoline Instant Oil Change / Corporate Image Sign

Village Planner Report

Germantown, Wisconsin

Summary

Corporate Image Sign, agent for Valvoline, property owner, is requesting approval for a new monument sign and replacement wall signs for the facility located at N96 W18594 County Line Road.

Property Location: N96 W18594 County Line Road

Applicant/

Property Owner:

John Harris
Corporate Image Sign
W138 Genoa City, WI

Valvoline
3499 Blazer Parkway
Lexington, KY

--

Current Zoning: B-1: Neighborhood Business

Adjacent Land Uses		Zoning
North	Commercial	B-1
South	Commercial (Meno Falls)	n/a
East	Commercial	B-1
West	Commercial	B-1



Proposal

Corporate Image Sign, agent for Valvoline, property owner, is requesting approval for a new monument sign and replacement wall signs for the facility located at N96 W18594 County Line Road:

Monument Sign (replaces existing pylon sign)

- 10' high x 12' wide comprised of two (2) sign cabinets: one internally-illuminated cabinet containing the name and logo (35 sqft per side; 70 sqft total) and another non-illuminated message board w/ manually-changeable lettering (22 sqft per side; 44 sqft total). The sign cabinets are mounted on a 2'9" high brick masonry base w/ 5" address coordinates.

The monument sign is to be located along County Line Road setback a minimum of 8' feet from both the south (County Line Road) and west property lines. Minimal landscaping comprised of evergreen shrubs, ornamental grasses and perennials is proposed around the sign base as required.

Wall Signs (replaces existing wall signs)

- (1) 2'6" x 34' (w/ 16 sqft sign area) "*Instant Oil Change*" and (1) 4' x 6'6" (25 sqft area) "*Valvoline*" wall sign each comprised of an internally-illuminated cabinet with vinyl lettering & logos mounted above the service doors on the south (front) elevation;
- (1) 2'6" x 15' (38 sqft) "*Instant Oil Change*" wall sign comprised of an internally-illuminated cabinet with vinyl lettering & logos mounted on the east (side) elevation.

Staff Analysis/Comments

The proposed monument sign meets all applicable Village requirements. The sign area for the manual message board has been reduced to meet the maximum

The wall signage proposed for the south and east elevations meet code requirements in terms of sign area and other specifications. A total of 41 sqft of sign area is proposed on the south elevation (vs. the maximum allowance of 66 sqft given 44' of building frontage) and a total of 38 sqft of sign area is proposed on the east elevation (vs. the maximum allowance of 45 sqft given 30' of building frontage).

The only (minor) issue concerns the proposed wall signage on the east elevation. As you know, the sign code allows wall signage on all street-facing elevations, and, gives the Plan Commission the ability to "...approve signage on any façade of a building when deemed appropriate". While the east elevation is not a street-facing elevation, the building orientation is slightly "skewed" such that the east elevation is less than perpendicular to the road right-of-way. The Plan Commission can approve signage on the east elevation if it is deemed appropriate. Presumably, that was the determination of the Plan Commission when the existing signage on both the south and east elevations was first approved.

Village Planner Recommendation

APPROVE the proposed monument and replacement wall signs for Valvoline located at N96 W18594 County Line Road subject to the following conditions:

1. An electrical permit shall be obtained from Inspection Services prior to installation.
2. All electronic sign components shall be inspected and labeled by a licensed lab.
3. The background panel of the manual message board shall be opaque (no light transmitted) or a dark color and the total sign area shall not exceed 40% of the total sign area for the monument sign.



Village of



Germantown

Willkommen

Fee must accompany application

\$275 Sign Review Fee

\$ 75 Sign Face Replacement

Paid \$ Date 7-22-16

SIGN REVIEW APPLICATION

Pursuant to Section 17.46 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1

APPLICANT OR AGENT

CORPORATE IMAGE SIGN
W138 LILAC AVE
GENOA CITY, WI 53128

Phone (262) 215-9585

Fax ()

E-Mail corpimage@charter.net

PROPERTY OWNER

Valvoline

3499 Blazer Parkway
Lexington Ky 40509

Phone (859) 357-2171

Contact: Jeff Coover

2

PROPERTY ADDRESS OR GENERAL LOCATION

N96 W18594 County Line Rd.

3

SIGN INFORMATION

Sign Dimensions VARIOUS height x width Single/Multi Tenant (circle one)
Number of Sides Building Frontage SF
Total Square Footage of Sign (include all sides)
Total height of the Sign VARIOUS - See Dugs
Is the Sign to be illuminated X yes no
Type of Sign Construction Materials ALUMINUM
Distance to Closest Property Line

Are there any existing signs on the property YES

If yes, what is the total Square Footage of existing signs

What are the intentions for the existing signs: Take down X Remain

4

SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!

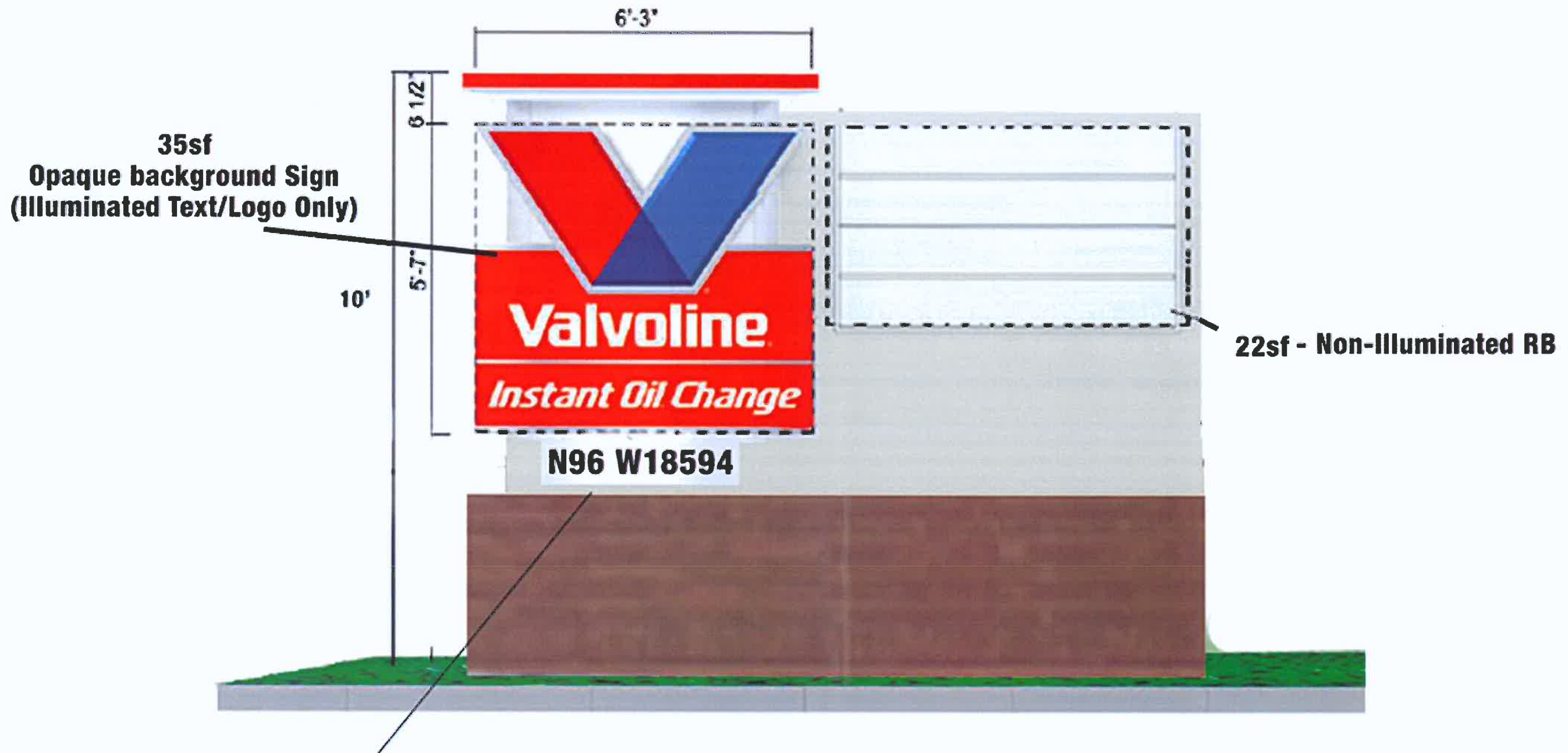
Applicant

Date

Owner

Date

7/20/16



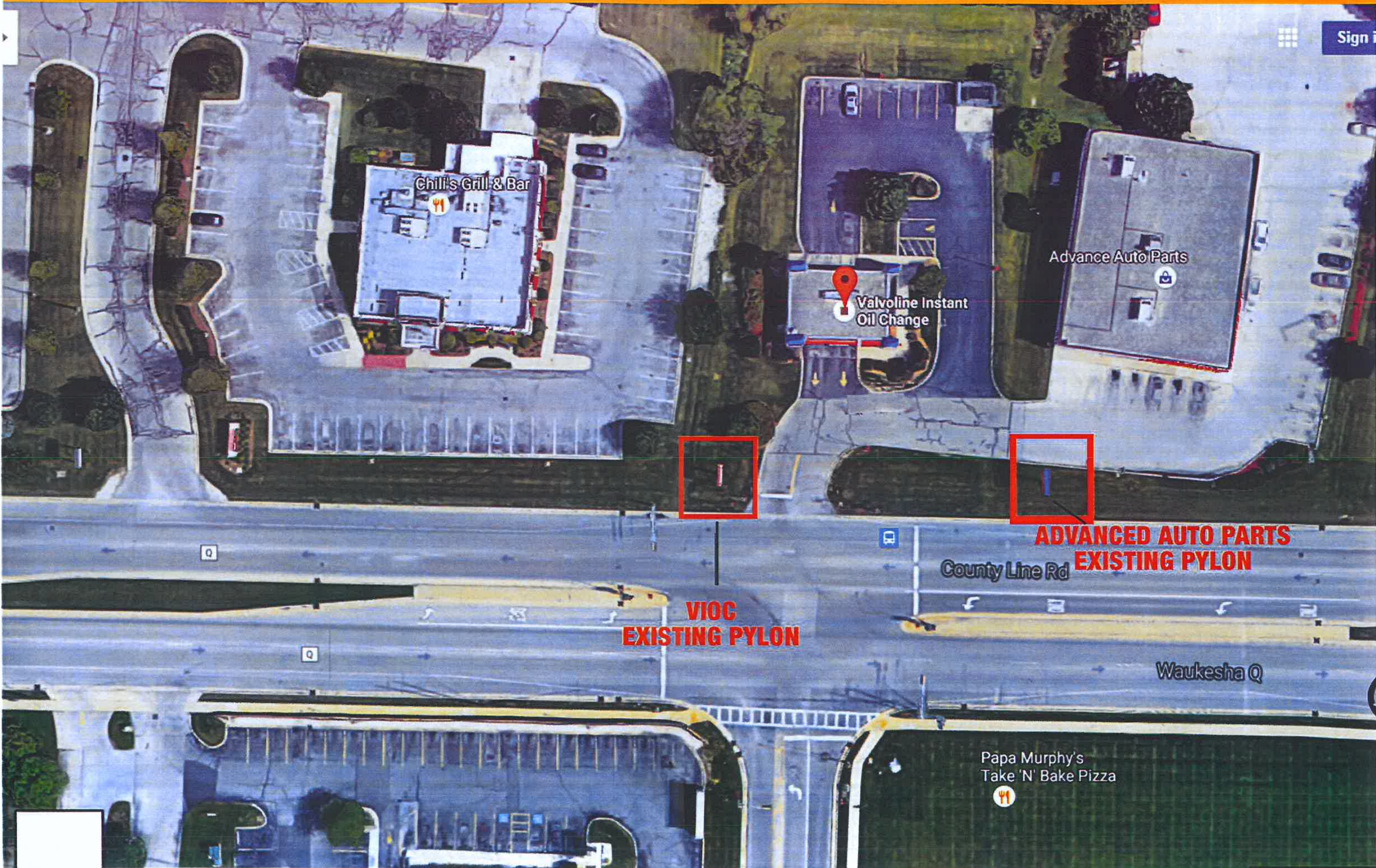
(5" Address letter)

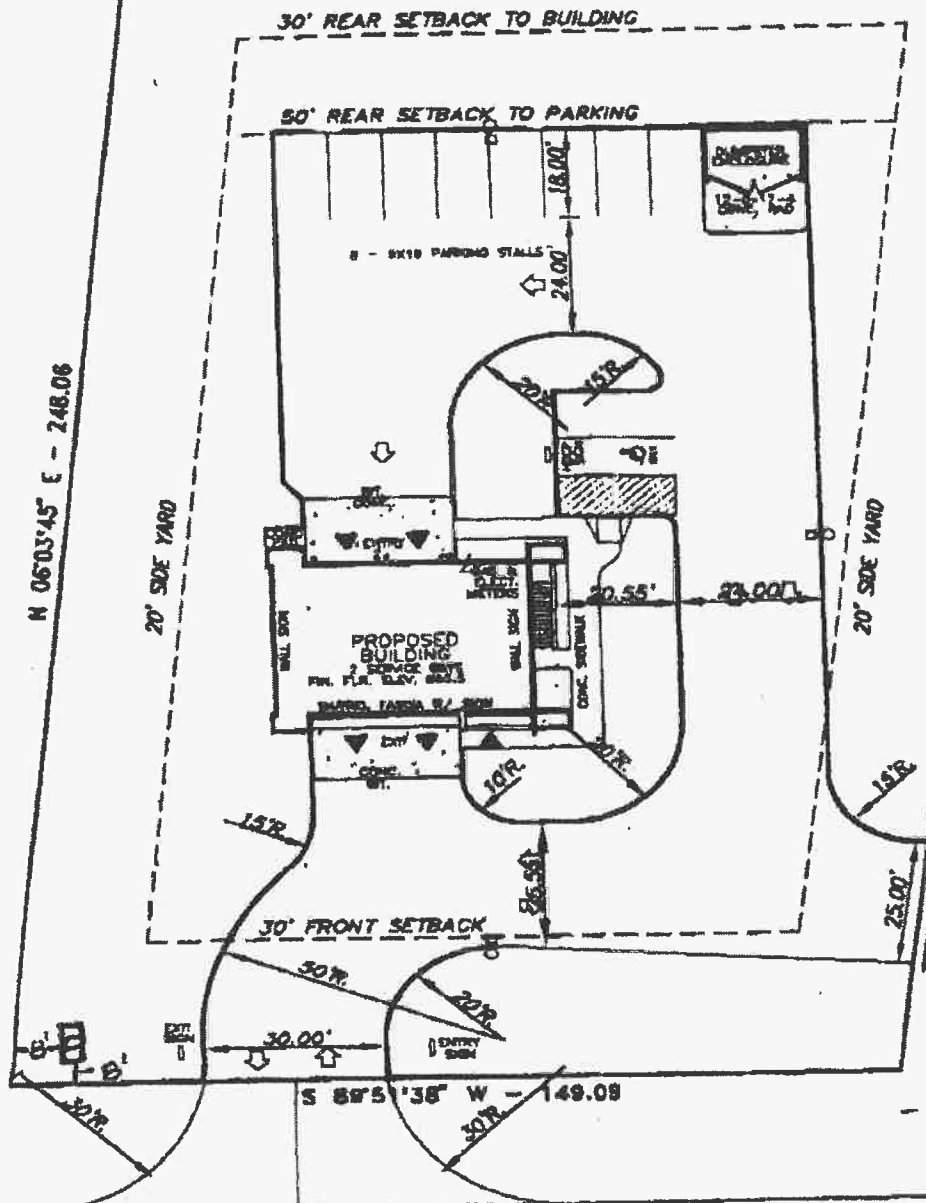


Approved by: _____

Date: _____

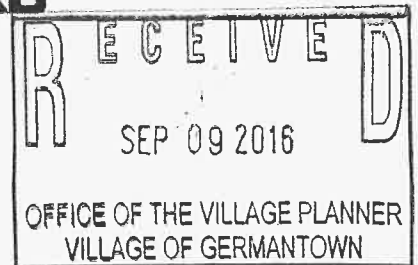
The final exterior images and sign designs for your project may differ from the above due to the necessity of complying with regulations regarding your specific property as determined by local governmental authorities.





SCALE:

WEST COUNTY LINE ROAD

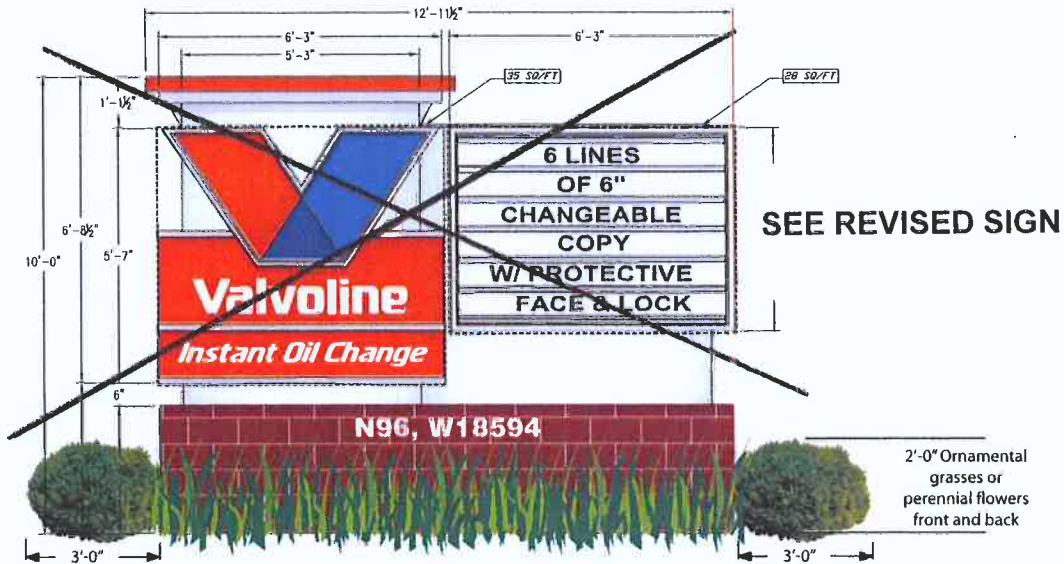
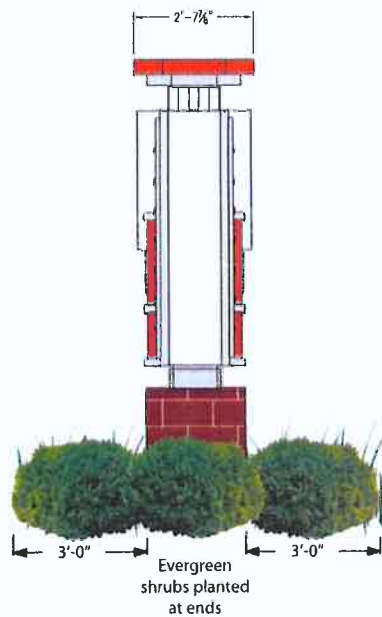
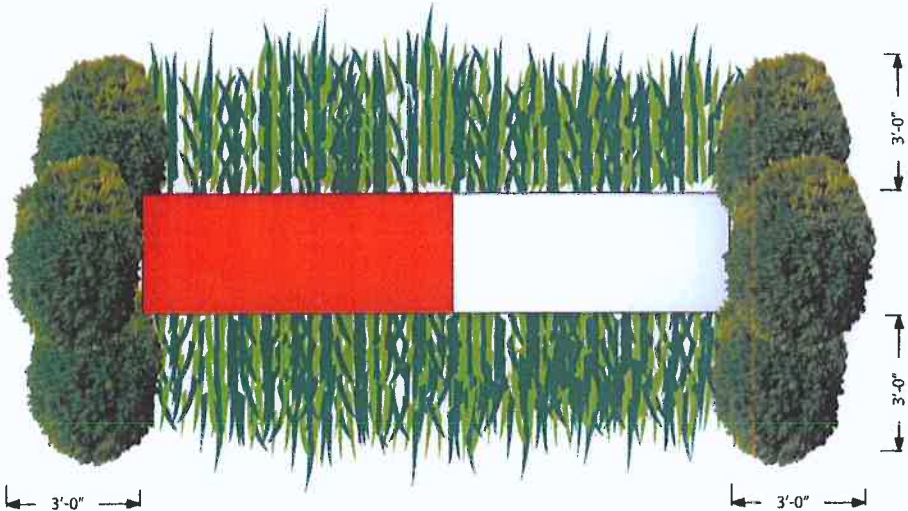


SITE PLAN

Germantown, WI

Valvoline | Germantown, WI

NOTE: Renderings below utilize sample dimensions derived from client surveys.



Landscaping to extend 3'-0" out from sign in all directions.



3750 East Outer Drive
Detroit, MI 48234
t: 313.368.4000 f: 313.368.9335
www.fairmontsign.com

Client:



Valvoline Instant Oil Change
N96 W18594 County Line Rd
Germantown, WI

Date:
08/17/16

File:
Accounts/Valvoline/IOC/Elev/
Germantown Landscaping

Designer:
RNB

Scale:
N/A

Job#
00000

Sheet#
1 of 2

Revision #
1

Date:
8-23-16

Revision Description:

Customer
Approval:

THIS DRAWING REMAINS THE EXCLUSIVE PROPERTY OF
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COPYRIGHTED ARTWORK SUPPLIED BY THE CLIENT.
UNLESS OTHERWISE NOTED, ALL COLORS PORTRAYED ARE
REPRESENTATIVE ONLY.

ALL DIMENSIONS TO BE
FIELD VERIFIED PRIOR TO
INSTALLATION



provided by: _____

Date: _____

The final exterior images and sign designs for your project may differ from the above due to the necessity of complying with regulations regarding your specific property as determined by local governmental authorities.



Valvoline Instant Oil Change by Valvoline

N96 W18594 County Line rd, Germantown, WI



proved by: _____

Date: _____

The final exterior images and sign designs for your project may differ from the above due to the necessity of complying with regulations regarding your specific property as determined by local governmental authorities.

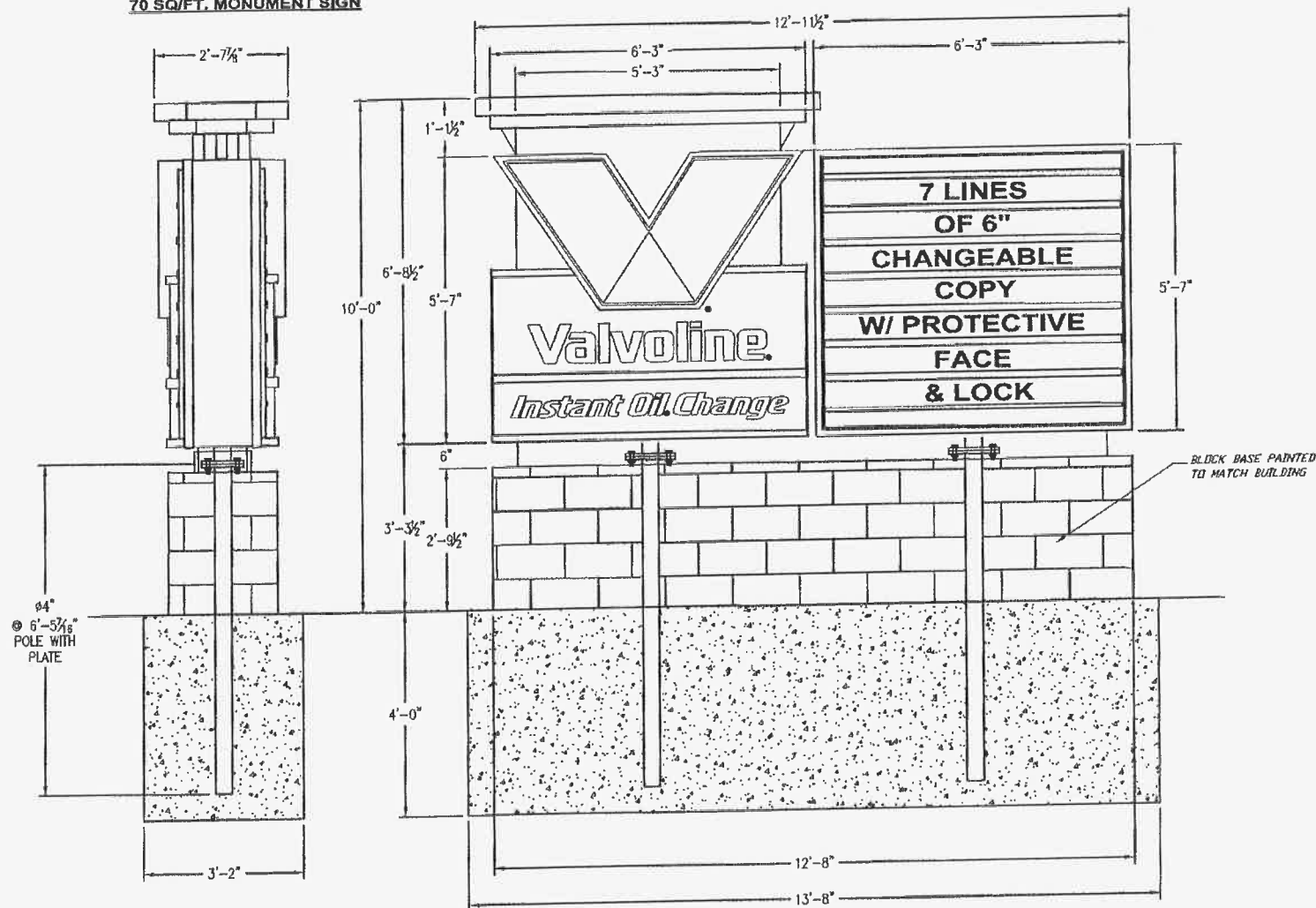


Valvoline Instant Oil Change by Valvoline

N96 W18594 County Line rd, Germantown, WI



70 SQ/FT. MONUMENT SIGN



FAIRMONT
Sign Company
8855 SOUTHERN DR. MARIETTA, GA 30060
PHONE: 203-365-4000 FAX: 203-365-1000

CUSTOMER APPROVAL

DATE

DATE

REVISION

LET

CUSTOMER/LOGO

VALVOLINE INSTANT OIL CHANGE

ADDRESS

N96 W18594 COUNTY LINE RD

CITY, STATE

GERMANTOWN WI

DWG TITLE: ELEVATION

DESCRIPTION: 70 SQ/FT HORIZONTAL MONUMENT Ø10"

FILE NAME:

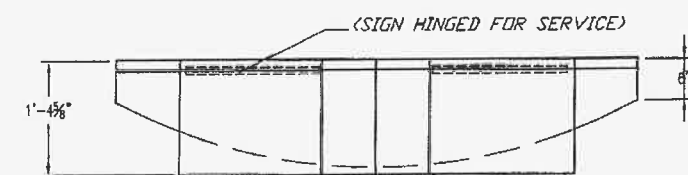
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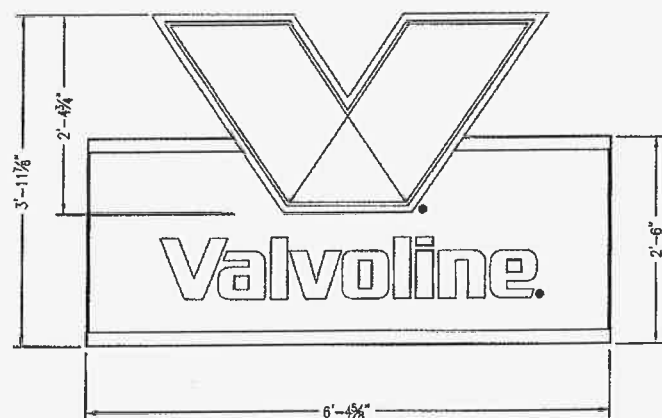
DATE: 5/4/16

DRAWN BY: FT

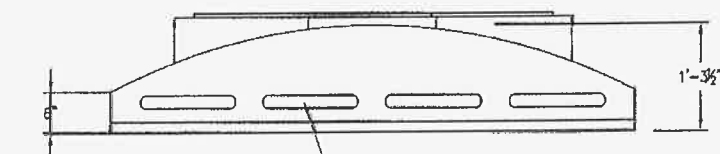
SHEET # 1 OF 1



SIGN TOP VIEW

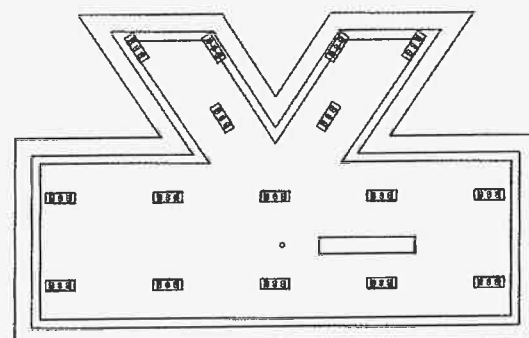
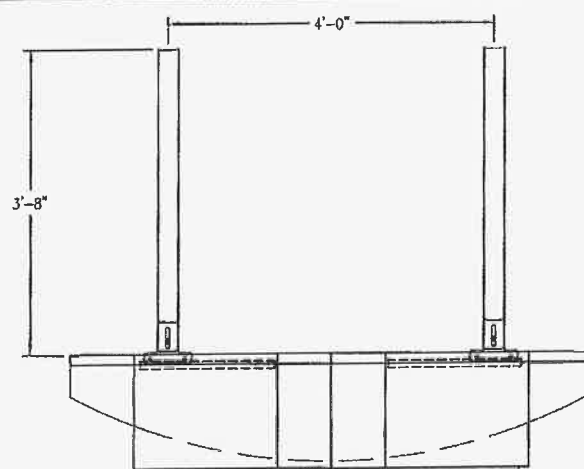


FRONT VIEW

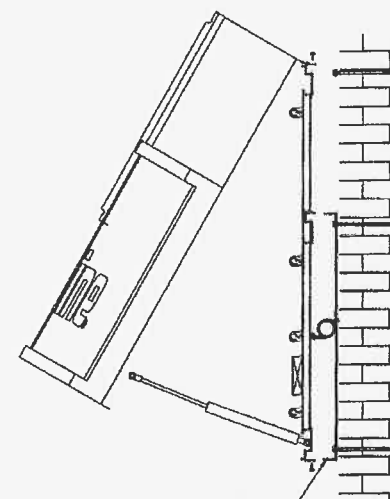


BOTTOM VIEW

.090 ALUM. CAM CUT BOTTOM
W/ SLOTS FOR DOWN LIGHTING



CONSTRUCTION & ELECT. LAYOUT



SIDE VIEW
NTS

ELECTRICAL SPECS				
ITEM	QTY	DESCRIPTION		
A	16	BROOK-848-785 (OCE LED PLUS SS LED SYLVANIA W00000) #71297		
B	1	C7000/2000W SYLVANIA PS @ 81A EACH #81382		
VOLTS		AMPS	WATTS	CIRCUITS
120		.81	109	1

FAIRMONT
Sign Company
3750 E. OUTER DR., DETROIT, MI 48224
PHONE: 313-368-4090 FAX: 313-368-1649

CUSTOMER APPROVAL _____ DATE _____
This is an original unpublished drawing, created by F.S.C. It is submitted for your use in connection with a project being planned for you by F.S.C. It is not to be altered, copied, reproduced, or refilled in any fashion without the express written approval by F.S.C. © FAIRMONT SIGN COMPANY, 2002

DATE	REVISION	BY

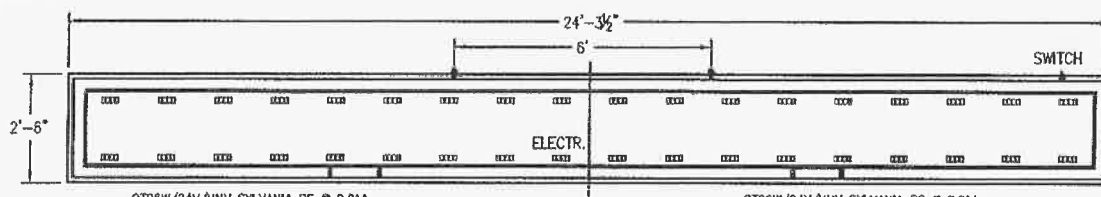
CUSTOMER/LOGO VALVOLINE INSTANT OIL CHANGE
ADDRESS N96 W18594 COUNTY LINE RD
CITY, STATE GERMANTOWN WI

DWG TITLE: 25 SQ/FT LED ILLUM. WALL SIGN
DESCRIPTION: _____
FILE NAME: PROJ\VALVOLINE2011\ELEV B5063
BLOCK NAME: _____

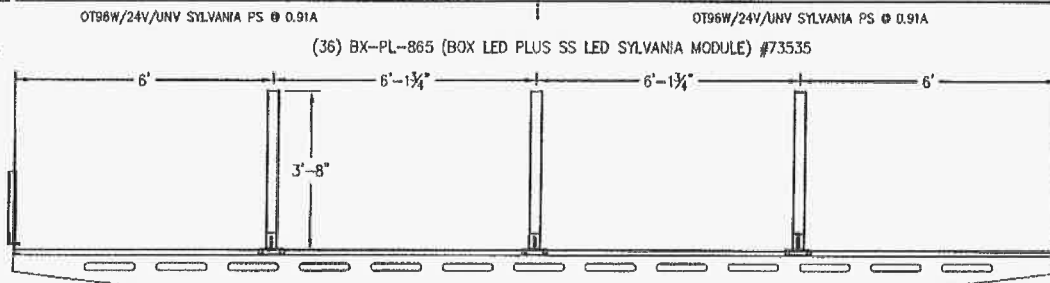
WO# : 88063
DATE: 4/28/16
DRAWN BY: FT
SHEET # 1 OF 1



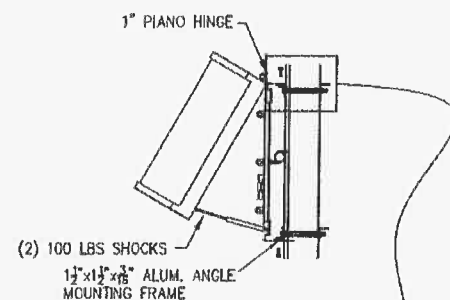
ELEV. VIEW
SCALE: 3/8"=1'-0"



ELECTRICAL
SCALE: 3/8"=1'-0"



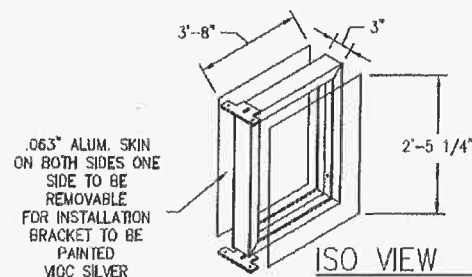
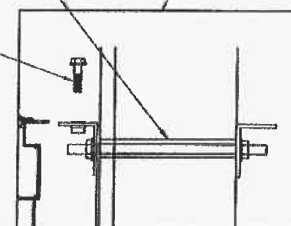
BOTTOM VIEW
SCALE: 3/8"=1'-0"



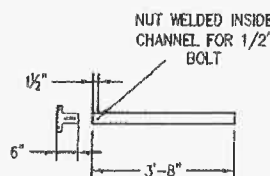
SECTION VIEW
SCALE: NTS

THROUGH BOLT USING 3/8" THREADED
ROD, ALUM. ANGLE STRINGER/BACKING
PLATE BY INSTALLER

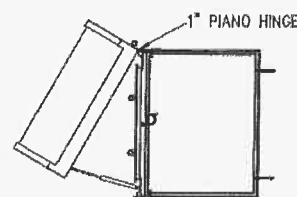
3/8" HARDWARE TO
ATTACHED SIGN TO
FRAME



ISO VIEW
SCALE: NTS



TOP & BOTTOM VIEW
SCALE: 3/8"=1'-0" (6) REQ'D



BRK./SIGN SIDE VIEW
SCALE: NTS

AMPS=1.82
VOLTS=120
(1) 20A CIRCUIT REQ'D

FAIRMONT
Sign Company
3750 E. OUTER DR., DETROIT, MI 48234
PHONE: 313-368-4006 FAX: 313-368-1649

CUSTOMER APPROVAL DATE
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DATE	REVISION	INT.

CUSTOMER/LOGO
VALVOLINE INSTANT OIL CHANGE
ADDRESS
N96 W18594 COUNTY LINE RD
CITY, STATE
GERMANTOWN WI

DWG TITLE: CONSTR.
DESCRIPTION: 2'-6" X 24'-3 1/2" LED ILLUM. FASCIA
FILE NAME: PROJ\VALVOLINE2011\ELEV\86063
BLOCK NAME

NO: 86063
DATE: 4/28/15
DRAWN BY: FT
SHEET #: 1 OF 1

ELEV. DETAIL
SCALE: 3/8"=1'-0"

ELECTR. DETAIL⁰
SCALE: 3/8"=1'-0"

OT96W/24V/UNV SYLVANIA PS @ 0.91A
(22) BX-PL-865 (BOX LED PLUS SS LED SYLVANIA MODULE) #73535

BOTTOM VIEW
SCALE: $3/8" = 1'-0"$

MOUNTING FRAME
SCALE: 3/8"=1'-0"

SIDE. VIEW
SCALE: 1/2"=1'-0"

VOLTS = 120
AMPS = 0.91
(1) CIRCUIT REQUIRED

FAIRMONT
Sign Company

3750 E. OUTER DR., DETROIT, MI 48234
PHONE: 313-368-4000 FAX: 313-368-1649

CUSTOMER APPROVAL

DATE _____

DATE _____

REVISION

UNIT

CUSTOMER LOGO

60

VALVOLINE INSTANT OIL CHANGE

ADDRESS

N96 W18594 COUNTY LINE RD

CITY, STATE GERMANTOWN

41

DWG TITLE: FASCIA

DESCRIPTION: 2'-6"X15'-3 LED ILLUM. FASCIA

DESCRIPTION: 2'-6"X15'-3" LED ILLUM. FASCIA
FILE NAME: PROJ\VALVOLUME2011\ELEV\86063

FILE NAME _____
BLOCK NAME _____

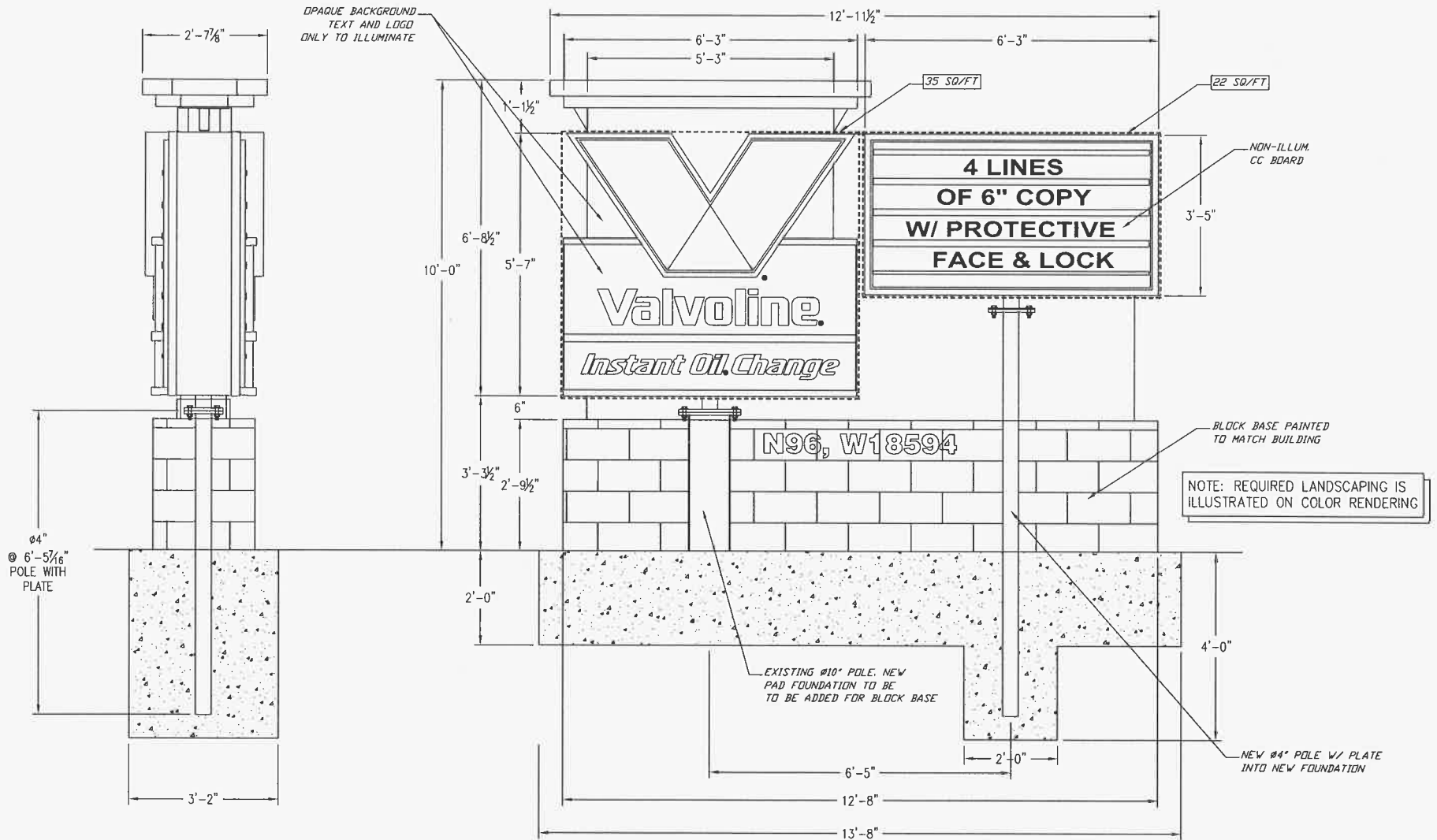
NO : 86063

WOF: 86063
DATE: 4/28/16

DATE: 4/28/1
DRAWN BY: ET

SHEET # 1 OF # 1

57 SQ/FT. MONUMENT SIGN



FAIRMONT
Sign Company
8550 CLAYTON DRIVE, BETHLEHEM, PA 18010
PHONE: 212-362-6000 FAX: 212-362-1000

CUSTOMER APPROVAL _____ DATE _____
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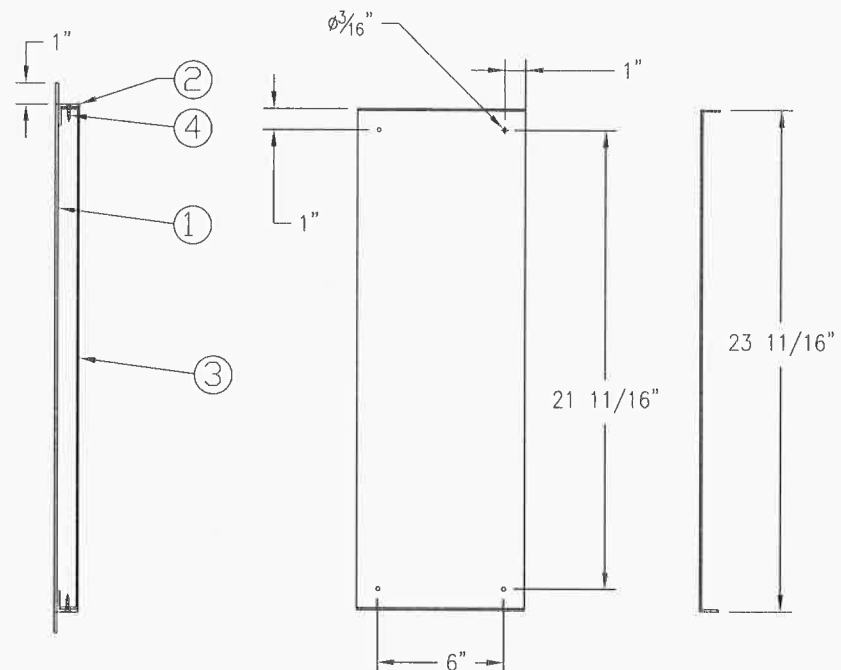
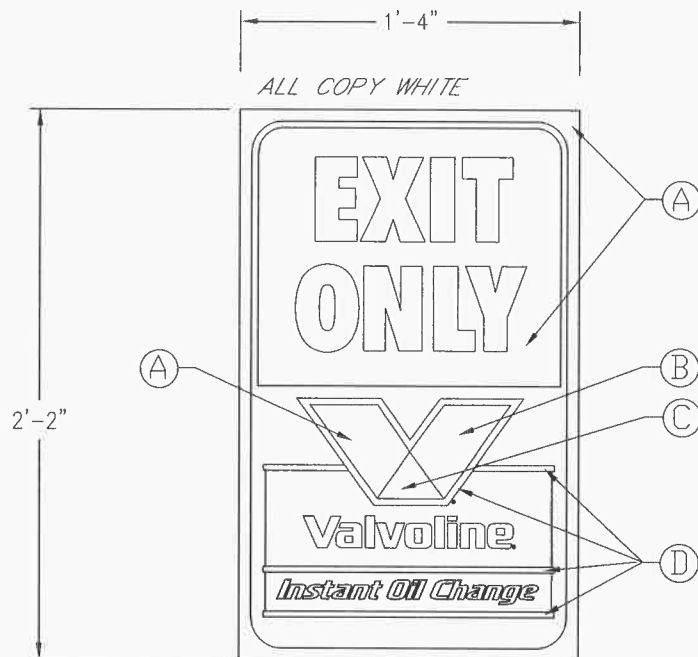
DATE	REVISION	INIT

CUSTOMER/LOGO **VALVOLINE INSTANT OIL CHANGE**
ADDRESS N96 W18594 COUNTY LINE RD
CITY, STATE GERMANTOWN WI

DWG TITLE: ELEVATION
DESCRIPTION: 70 SQ/FT HORIZONTAL MONUMENT @10'
FILE NAME: _____
BLOCK NAME: _____

WOF: 86063
DATE: 5/4/16
DRAWN BY: FT
SHEET #: 1 OF #: 1

NOTE: SIGN TO BE CLEARCOATED
AFTER GRAPHICS ARE APPLIED



ITEM	QTY	DESCRIPTION
1	1	.080" ALUM. PAINTED 3650-13 RED
2	4	1" ALUM. ANGLE 8" LONG GLUED TO PANEL
3	1	.063 ALUMINUM MOUNTING BRACKET
4	4	FASTENERS
A		RED
B		3650-57 BLUE SCREEN PRINTED
C		3650-37 SAFFIRE BLUE SCREEN PRINTED
D		SILVER

FAIRMONT
Sign Company
8875 OLDTOWN RD. DRAVETOWN, PA 17020
PHONE: 717-363-0480 FAX: 717-363-1049

CUSTOMER APPROVAL

DATE

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DATE

REVISION

INIT

CUSTOMER/LOGO

VALVOLINE INSTANT OIL CHANGE

ADDRESS

N96 W18594 COUNTY LINE RD

CITY, STATE

GERMANTOWN WI

DWG TITLE: ELEVATION

DESCRIPTION: EXIT ONLY WALL SIGN

FILE NAME:

BLOCK NAME:

WID# : 86063

DATE: 12/18/2007

DRAWN BY: MHD

SHEET #: 1 OF #: 1

SIGN PERMIT REVIEW

9/12/16 Plan Commission Meeting

Manpower / Lemberg Electric

Village Planner Report

Germantown, Wisconsin

Summary

Tracy Diehl, ETD, agent for Lemberg Electric and Endam LLC, property owner, is requesting approval of a wall sign for a new tenant (Manpower) in the existing commercial building located at N112 W16510 Mequon Road.

Property Location: N112 W16510 Mequon Road Suite 4

Applicant/ Tracy Diehl
Expedite the Diehl (ETD)
4085 N. 128th St
Brookfield, WI 53005

Zoning: B-2: Community Business

Adjacent Land Uses		Zoning
North	Business/Institutional	B-2/I
South	Residential	Rs-4/5
East	Business	B-2
West	Business	B-2



Proposal

Tracy Diehl, ETD, agent for Lemberg Sign & Lighting and Endam LLC, property owner, is requesting approval of a wall sign for a new tenant (Manpower) in the existing commercial building located at N112 W16510 Mequon Road:

- 1'8" high x 15'4" wide (25.5 total sqft) wall sign comprised of an internally-illuminated channel letters/logo mounted on raceway (see rendering);
- 9" high x 85" wide monument sign plastic insert panel

Staff Analysis

The proposed wall sign meets the sign requirements for wall signage allowed under the Village's sign regulations, including the maximum wall signage allowance of 1.5 sqft sign area per 1 linear foot of building frontage per tenant (25.5 sqft proposed vs. the 28.5 maximum sqft allowed for 19 linear feet of store front).

The monument sign insert panel has a white translucent background that is not allowed on an internally-illuminated sign cabinet. The background color is required to be a dark color or opaque (no light transmitted).

Village Planner Recommendation

APPROVE the proposed wall sign and monument sign insert panel for Manpower located at N112 W16510 Mequon Road subject to the following conditions:

1. Electrical permits shall be obtained from the Inspection Services prior to installation.
2. All electronic components shall be inspected and labeled by a licensed lab.
3. The color/material of the proposed monument panel insert shall be changed to a dark color or be opaque.



Village of

Germantown
Willkommen

Fee must accompany application

\$275 Sign Review Fee

\$ 75 Sign Face Replacement

Paid ✓ Date 8-1-16

SIGN REVIEW APPLICATION

Pursuant to Section 17.46 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1	APPLICANT OR AGENT <u>Lemberg by</u> <u>Tracey Diehl</u> <u>4085 North 128th St</u> <u>Brookfield WI 53005</u> Phone <u>(614) 828 8215</u> Fax <u>(206) 350 1097</u> E-Mail <u>tracey@etd.website</u>	PROPERTY OWNER <u>Endam 1 LLC</u> <u>C/O Amzon Design & Construction</u> <u>Suite 200-20633 Watertown Ct</u> <u>Waukesha WI 53186</u> Phone ()
2	PROPERTY ADDRESS OR GENERAL LOCATION <u>N 112 W 16560 Meadon RD Suite 4</u>	
3	SIGN INFORMATION Sign Dimensions <u>20"</u> height x <u>15'4 1/8"</u> width Number of Sides <u>1</u> Total Square Footage of Sign (include all sides) _____ Total height of the Sign <u>20"</u> Is the Sign to be illuminated <u>✓</u> yes _____ no Type of Sign Construction Materials <u>Metal Plastic Vinyl</u> Distance to Closest Property Line <u>wall mounted</u> Single/Multi Tenant (circle one) Building Frontage SF <u>Multi Tenant</u> Are there any existing signs on the property <u>Not known</u> If yes, what is the total Square Footage of existing signs _____ What are the intentions for the existing signs: Take down _____ Remain <u>✓</u>	
4	SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!  Applicant <u>1/28/16</u> Date _____ Owner _____ Date	

July 28, 2016

Village of Germantown
Sign Permits
N112 W 17001 Mequon Road
Germantown, WI 53022

Whom It May Concern:

Enclosed you will find plans pertaining to the sign project located at Manpower at N112W16560 Mequon Road. The details of this project are outlined in the plans. Please do not hesitate to contact me should you need anything else to process this permit application package.

Expedite The Diehl (ETD) has been hired to process the permit application(s) that are enclosed. **ETD** is the point of contact for any information regarding the enclosed application(s). **ETD** will facilitate communication with the Icon Identity Solutions, their local sign contractor, the owner and/or responsible parties.

ETD will provide any fees necessary and shipping labels if needed to mail issued permit(s). If you require any additional information please call Tracey at **ETD**. We thank you in advance for your cooperation. **ETD** can be reached by email at amber@ExpediteTheDiehl.com for anything at all that you may need regarding this project.

Sincerely,



Amber Sears
Permit Manager

Enclosures: Sign app
Sign Drawings





Proposed

NOTE: Reference Drawing **#B71140C** for Description and Specifications
T4-20 L.E.D. Letter Set on a Raceway



Existing

Kieffer
& CO., INC.

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585 Bond Street - Lincolnshire, IL 60069
PHONE: (847) 520-1255 FAX: (847) 520-1543
www.kieffersigns.com

CUSTOMER: Manpower
LOCATION: Germantown, WI
SALESMAN: J. McCarthy
DESIGNER: ETD
DATE: 05/23/16



PRODUCTION PROCESSING

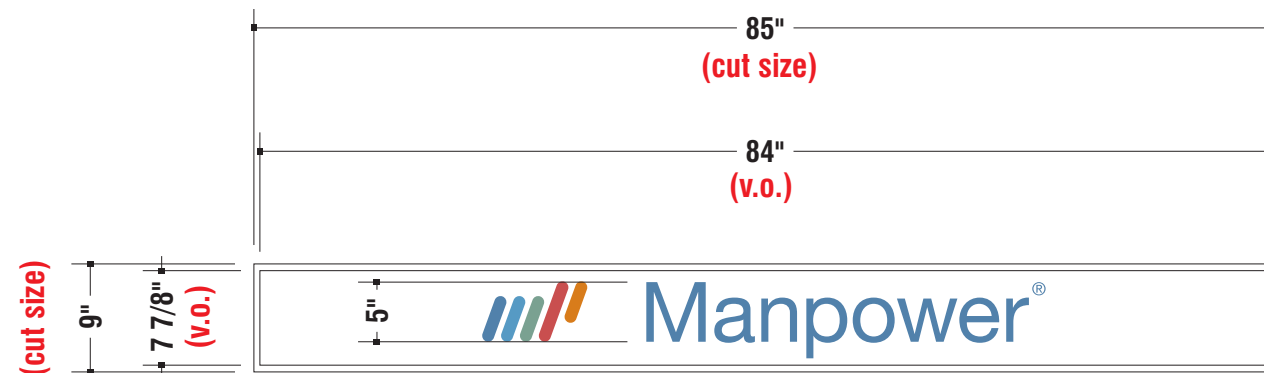
Job # _____
-001 _____
-002 _____
-003 _____
-004 _____

INITIALS: DATE: _____

REVISION:

A	B	C	D	E	F	G	H
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B71140

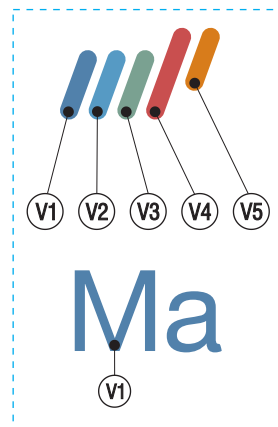


GENERAL SPECIFICATIONS

Scale: 3/4" = 1'-0"

QTY: 2 - Apply new Manpower Vinyl to 1st surface of new Polycarbonate Faces.

NOTE: Replace the (Coolbanana Yogurt) Signs.



COLOR SPECIFICATIONS

Manpower Vinyl Specifications

V1	Manpower/Principle 5500 QM/1670A Blue	VT4 - 3505 Blue
V2	Manpower/Principle 5500 QM/1671A Light Blue	VT4 - 3506 Light Blue
V3	Manpower/Principle 5500 QM/1669A Green	VT4 - 3504 Green
V4	Manpower/Principle 5500 QM/1668A Red	VT4 - 3503 Red
V5	Manpower/Principle 5500 QM/1675A Orange	VT4 - 3507 Orange



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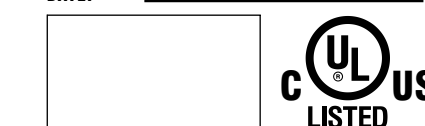
CUSTOMER: Manpower

LOCATION: Germantown, WI

SALESMAN: J. McCarthy

DESIGNER: ETD

DATE: 05/23/16



COMPANION FILES

PRODUCTION PROCESSING

Job #

-001

-002

-003

-004

INITIALS: DATE:

REVISION:

A

B

C

D

E

F

G

H

B71140A



w/o Phone Number

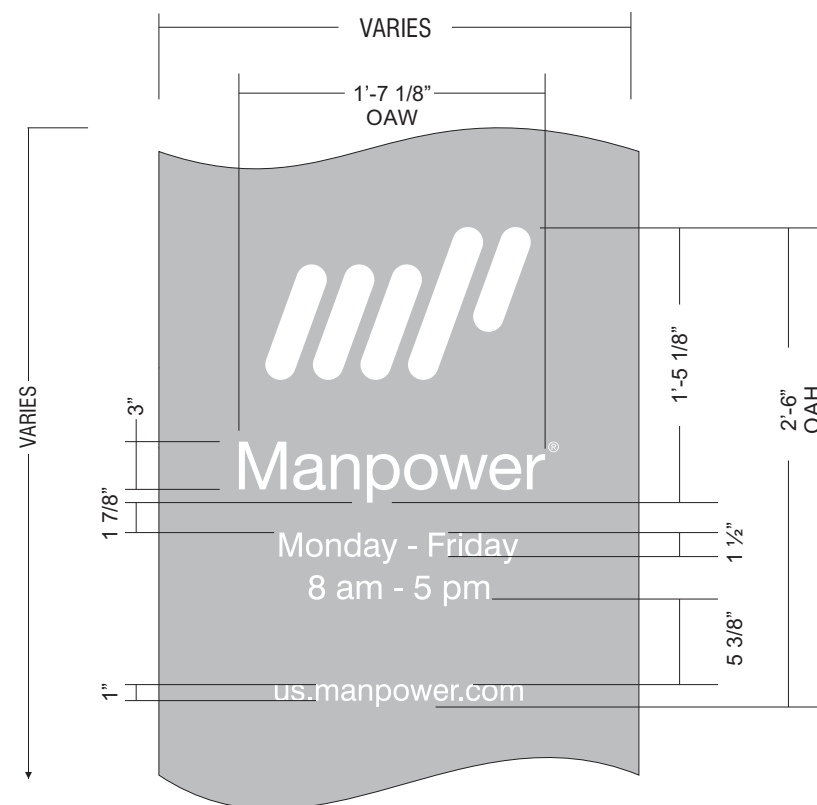


PHONE: (847) 520-1255 FAX: (847) 520-15
www.kieffersigns.com

DATE: 05/23/16



DATA FILE



Window Vinyl

Scale: 1" = 1'-0"

All vinyl copy will be applied to second surface of glass.

Sizes will vary per site

COLOR SPECIFICATIONS

Manpower Vinyl Specifications

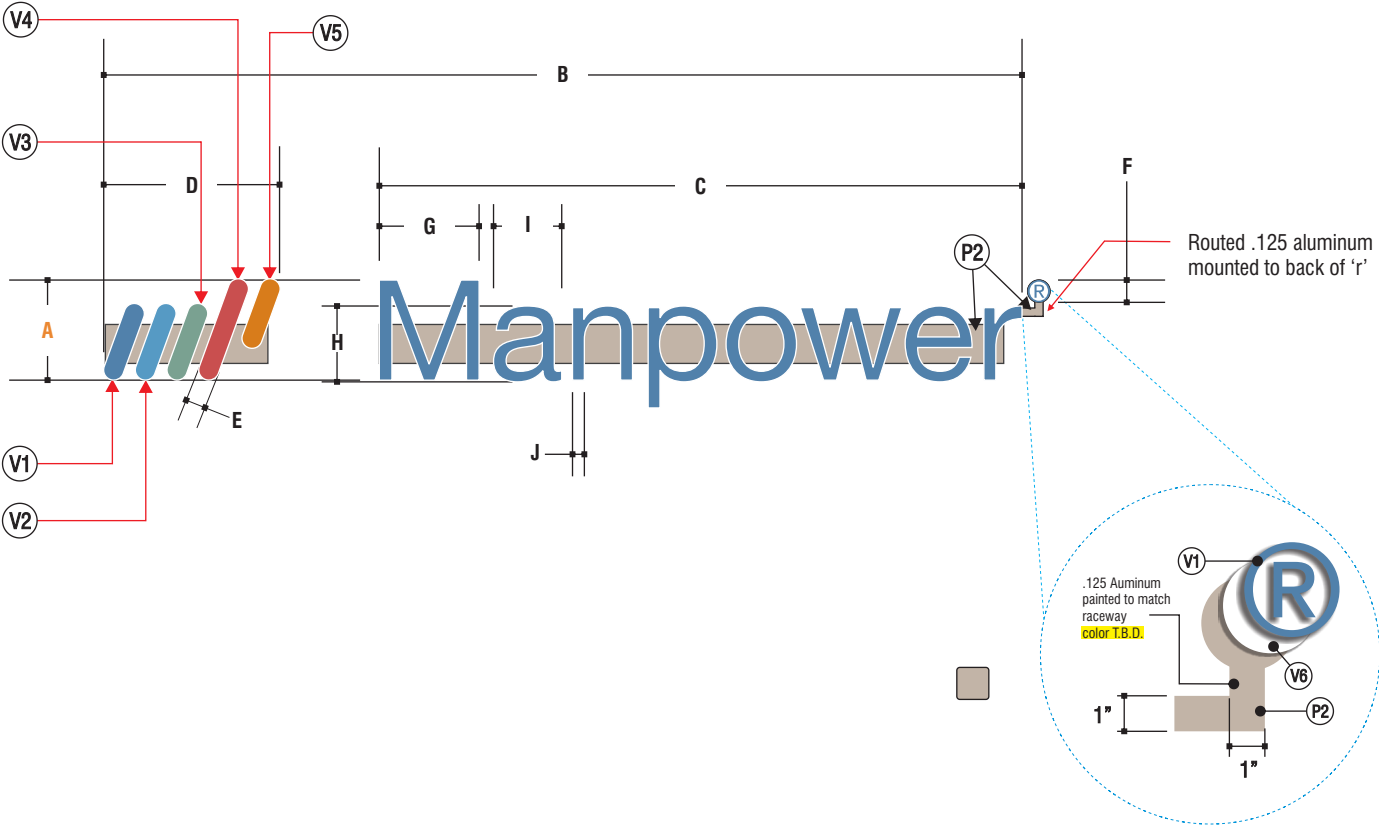
(V1)  3M #7725-10 Opaque White



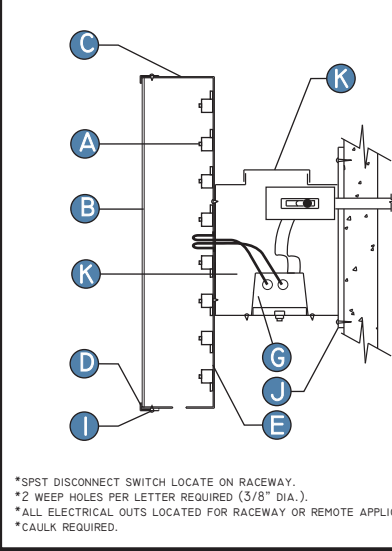
Scale: 3/8" = 1'-0"

REVISION:
A -
B -
C -
D -
E -
F -
G -

B71140B



L.E.D. Letter Set



*SPST DISCONNECT SWITCH LOCATE ON RACEWAY.
*2 WEEP HOLES PER LETTER REQUIRED (3/8" DIA.).
*ALL ELECTRICAL OUTS LOCATED FOR RACEWAY OR REMOTE APPLICATION.
*CAULK REQUIRED.

A ILLUMINATION	TYPE	WHITE L.E.D.
B FACE	THICKNESS	3/16"
	COLOR	#2447 PLEX
	VINYL	SEE COLOR CHART
C RETURN	DEPTH	2 3/8"
	COLOR	WHITE
	THICKNESS	.040" PRE-COIL *
D RETAINER	TO USE	.032" PRE-COIL
	TYPE	TRIM CAP
E BACKS	SIZE	3/4"
	COLOR	WHITE
	MATERIAL	ALUMINUM
F WIREWAY	GAUGE	.063
	SIZE	-
G POWER SOURCE	TYPE	-
		SLOAN - (2) REQUIRED
H MOUNTING	INTERNAL	1/4-20 NC STUD/TEK SCREWS
	EXTERNAL	PER SITE CONDITIONS
I SCREWS	SIZE	#8 X 1/2" PHILLIPS HD.
	COLOR	MATCH RETAINERS
J SWITCH	TYPE	DISCONNECT/TOGGLE
	COLOR	MATCH RETAINERS
K RACEWAY	SIZE	UP TO 30" 5"x5"
	COLOR	SEE NOTE
	MOUNTING	STANDARD

VARIOUS SIZES											Raceway Length		
TIER	A	B	C	D	E	F	G	H	I	J	Square Feet	Logo	Letters
T4-20	20"	15'-4 1/8"	10'-8 7/8"	2'-11 1/2"	4 1/8"	4 5/8"	19 7/8"	1'-3 1/8"	1'-1 1/2"	2 3/8"	25.50	2'-8"	10'-4"

COLOR SPECIFICATIONS

Manpower Vinyl Specifications

V1		Manpower/Principle 5500 QM/1670A Blue	VT4 - 3505 Bue
V2		Manpower/Principle 5500 QM/1671A Light Blue	VT4 - 3506 Light Blue
V3		Manpower/Principle 5500 QM/1669A Green	VT4 - 3504 Green
V4		Manpower/Principle 5500 QM/1668A Red	VT4 - 3503 Red
V5		Manpower/Principle 5500 QM/1675A Orange	VT4 - 3507 Orange
V6		3M # 7725-10	Opaque White

Manpower Paint Specifications

P1		White (return color)
P2		Match SW6079 Diverse Beige (raceway)



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www.kieffersigns.com

CUSTOMER: Manpower
LOCATION: Germantown, WI
SALESMAN: J. McCarthy
DESIGNER: ETD
DATE: 05/23/16



PRODUCTION PROCESSING

Job # _____

-001 _____

-002 _____

-003 _____

-004 _____

INITIALS: DATE: _____

REVISION: _____

B71140C

ZONING PERMIT REVIEW

9/12/16 Plan Commission Meeting

Mike & Allison Roeder

Village Planner Report

Germantown, Wisconsin

Summary

Mike & Allison Roeder, property owners, are seeking approval to install a fence within in an existing drainage easement on the residential lot located at W168 N10711 Juniper Drive in the Cedar Hills Subdivision.

Property Location: W168 N10711 Juniper Drive

Applicant/

Property Owners: Mike & Allison Roeder
W168 N10711 Juniper Drive
Germantown, WI

Current Zoning: Rs-6: Single-family Residential

Adjacent Land Uses		Zoning
North	Residential	Rs-6
South	Residential	Rs-6
East	Residential	Rs-6
West	Residential	Rs-6



Background/Proposal

Mike & Allison Roeder, property owners, are seeking approval to install a fence within in an existing drainage easement on the residential lot located at W168 N10711 Juniper Drive in the Cedar Hills Subdivision.

As indicated in their supporting information, the Roeder's want to install a 4' high wire-woven chain link fence in the side and rear yards to enclose a portion of their back yard (see enclosed survey). The fence would be located within the property lines and extend into two 10' wide drainage easements that straddle the south (side) and west (rear) property lines (see enclosed survey).

As indicated below, Section 17.50(2)(f)6. of the Zoning Code prohibits fences from being installed in any easement, except a drainage easement when approved by the Plan Commission:

(f) Fences in Residential Districts.

1. *All fences shall be subject to review and approval of the Building Inspector prior to the issuance of a building permit.*
2. *Fences in rear or side yards may be up to 6 feet in height.*
3. *Fences in front yards may not exceed 4 feet in height, except a maximum height of 6 feet on approval of the Plan Commission after consideration of visibility, privacy and access concerns.*
4. *No fence shall be closer than 2 feet to a public right-of-way.*
5. *Fences that contain a finished side and an unfinished side, shall be installed in a manner in which the finished side faces the adjacent property. In case of a discrepancy, the Village Building Inspector shall determine which side of the fence is the finished side.*
6. *Fences and easements.*
 - (i) *Fences shall not be located within any type of easement, provided however, the Planning Commission may authorize the encroachment by a fence into a drainage easement where the owner of the land encumbered by the easement shows to the satisfaction of the Planning Commission that, considering the proposed location, design and materials of the proposed fence, the encroachment of the fence into the easement will not materially interfere with drainage flow within the easement, and, in the case of a subdivision, the homeowners association consents in writing to the encroachment, or if not in a subdivision, the adjacent landowners consent in writing.*
 - (ii) *If the Planning Commission deems it necessary in order to make its decision to authorize an encroachment into a drainage easement by a fence, it may require that the applicant provide a report by a professional engineer providing an opinion that the encroachment will not impair drainage flow within the easement.*
 - (iii) *If the applicant whose property abuts the drainage way shall be aggrieved by the decision of the Planning Commission, such aggrieved person may appeal the decision to the Village Board by filing a request for appeal review of the record below within 14 days of the date of the Planning Commission's decision.*
7. *It is the property owner's responsibility for any lawn maintenance of lands that lie between a fence and the property line.*
8. *Should it be necessary that the Village or its agent, remove the fence, the material costs (materials and labor) would be borne by the owner of the fence.*

Staff Analysis

As indicated above, the Planning Commission may authorize the encroachment of a fence into a drainage easement where the owner of the property encumbered by the easement shows to the satisfaction of the Planning Commission that:

1. considering the proposed location, design and materials of the proposed fence, the fence will not materially interfere with drainage flow within the easement; and
2. in the case of a subdivision, the homeowners association consents to the encroachment.

With regard to Item #1 (drainage flow interference), the Roeder's indicate that the style of the fence will not impede drainage (the chain link fence has openings that will allow water to run through unimpeded). With regard to Item #2, the Cedar Hills Subdivision does not have a Homeowner's Association.

The Engineering Department has the following comments:

- Generally, it is bad policy to permit fences within drainage easements;
- After reviewing the storm drainage system map we find that a 15" diameter RCP (concrete) storm water pipe exists from the NW corner of the lot to the SE corner of the lot or basically on the SW property line. Storm drainage pipe are typically buried 3 feet.
- Wire-woven chain link fences would not cause adverse impact to existing drainage conditions given the type of fence (when kept free of any blockage such as leaves, weeds and sticks); the required maintenance would be difficult to achieve on a regular basis and therefore the fence inevitably will get clogged and restrict normal flow.

The Village Engineer indicates that this particular easement is a public drainage easement and that the Public Works Department OBJECTS to allowing the proposed chain link fence to be installed in the easement.

Village Planner Recommendation

DENY the zoning permit application to install a 4' chain link fence along the side and rear property lines and into the existing 10' drainage easements located on the property located at W168 N10711 Juniper Drive in the Cedar Hills Subdivision.

In the event that the Plan Commission decides to **APPROVE** the request, staff recommends said approval be subject to the following conditions:

1. The owner shall be responsible for the cost to repair any damage made to the concrete storm water pipe or any other Village maintained feature within the easement resulting from installation and operation of the fence.
2. The owner shall regularly inspect that portion of the fence situated within the drainage easement, including during and after storm events, to remove any debris accumulated around his fence.
3. Once installed, if the fence is deemed by the Village to cause and/or contribute to flooding of property that wouldn't have occurred or be as severe if the fence had been installed outside of the drainage easement, the Village may require the property owner to modify the fence design and materials, or, relocate the fence outside the drainage easement.
4. In the event that the Village needs to remove the fence in order to maintain the drainage easement, replace the storm water pipe, or for any other reason, the Village shall have the right to remove the fence at the owner's expense.



Village of
Germantown
...Willkommen

ZONING COMPLIANCE/ OCCUPANCY PERMIT

Date of Application: 8/5/2016

\$175 Application Fee Received By: [Signature]

Please read and print legibly. List name of actual contact person (NOT just business name).

APPLICANT OR AGENT:

Name: Mike & Allison Roeder
Address: W168N10711 Juniper Dr.
Phone: 262-510-9889
Fax: -
E-Mail: roeder1michael@gmail.com

PROPERTY or Business OWNER:

Name: Mike & Allison Roeder
Address: W168N10711 Juniper Dr.
Phone: 262-510-9889
Fax: -
E-Mail: roeder1michael@gmail.com

PROPERTY ADDRESS OR Tax Parcel ID#:

GTNV_273327

DESCRIPTION OF PROPOSED USE (Describe improvements, structures, uses and activities conducted, services provided, products made or sold, # of employees, hours of operation, etc. that will enable Zoning Administrator to determine if the proposed use or operation complies with the applicable zoning district and/or other use restrictions that may apply to the subject property. Use back side or additional sheets as needed):

Residential chain link fence. See attachments (2) for further details/pictures. See attachment (3) for narrative.

READ AND INITIAL THE FOLLOWING:

- MR [Initials] ☒ I understand that Village Staff may request additional information to properly evaluate this request and failure to provide such information may in itself be sufficient cause to deny the petition.
- MR [Initials] ☒ I understand that Village Staff can impose conditions or other requirements necessary in order to meet and/or remain in compliance with the Village's Zoning Codes and/or other Village requirements that may apply to the subject property.

INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- ☒ A scaled site plan showing location of proposed use on the property (not required if within building). (1)
- ☒ \$175 Application Fee
- ☒ Other Information required by Zoning Administrator

SIGNATURES: ALL APPLICATIONS MUST BE SIGNED

Applicant: [Signature] Date: 8/3/2016
Property Owner: [Signature] Date: 8/3/2016

VILLAGE USE ONLY

JAMES R. ELDER

PROFESSIONAL ENGINEER - REGISTERED LAND SURVEYOR

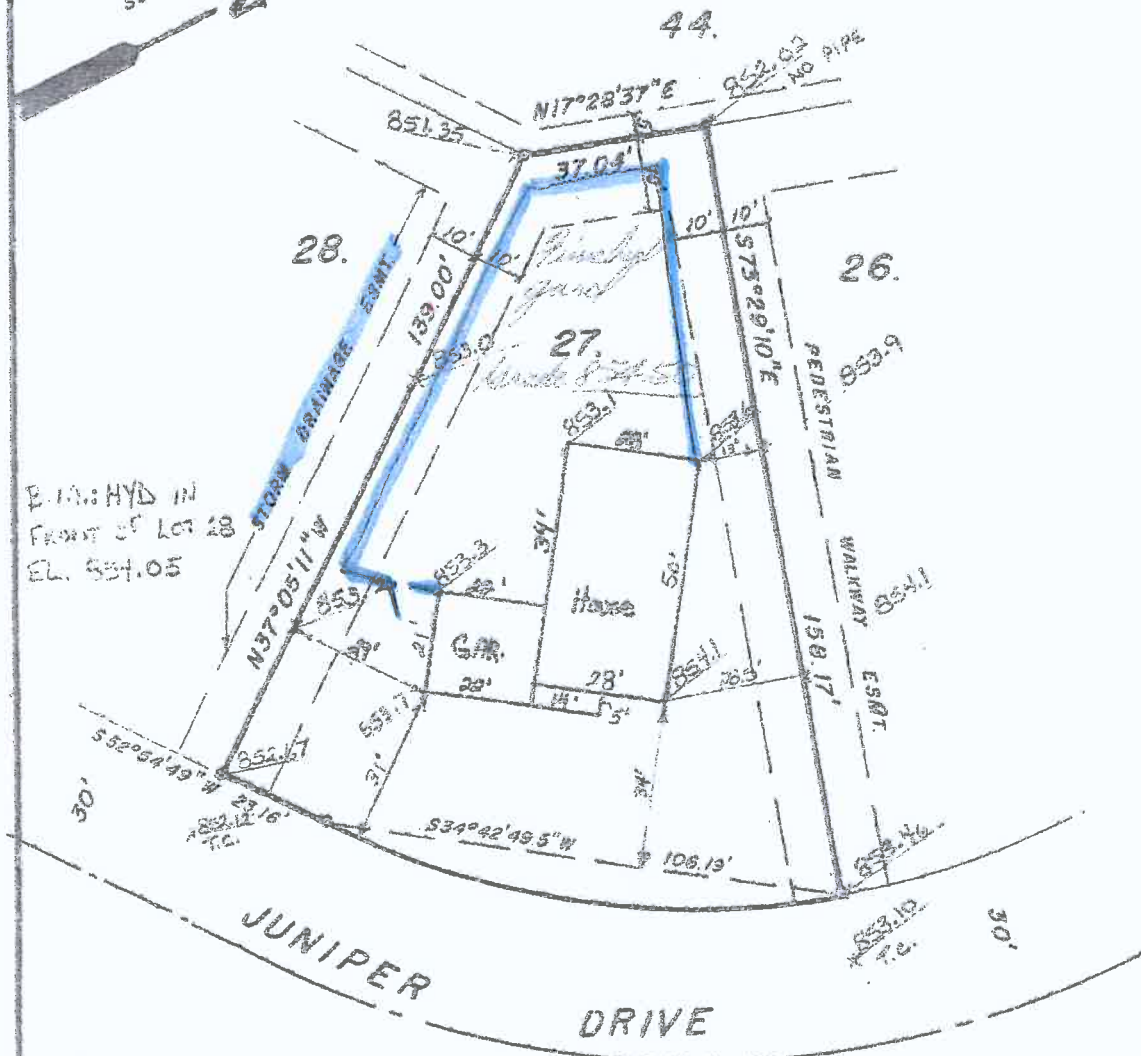
3732 OVERLOOK DRIVE WEST

HUBERTUS, WISCONSIN 53033

PHONE 414-622-1409

SCALE 1" = 30'

PLAT OF SURVEY



DESCRIPTION:

All of Lot 27 in CEDAR HILLS SUBDIVISION, located in the NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 27, T9N, R20E, Village of Germantown, Washington County, Wisconsin.

CURVE DATA:

Radius	170.00'
Arc	108.00'
Chord	106.19'
Ch. Brg	S34°42'49.5\"W

I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENTS. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY; ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE YEAR FROM DATE HEREOF, AND AS TO THEM I WARRANT THE ACCURACY OF SAID SURVEY AND MAP.



DATED THIS 12th day of September 1988

James R. Elder
SURVEYOR

SURVEY FOR: Perthel Custom Homes, Inc.

THIS IS AN ORIGINAL
PRINT ONLY IF SEAL IS
IMPRINTED IN RED

Approximate
since location



1630 S. 38th STREET • MILWAUKEE, WI 53215 • 414.483.5522 • FAX: 414.483.3623

PROPOSAL / CONTRACT

2

ESTIMATE TO BE SUBMITTED TO:

Mr. Mike Boeder
W. 168 N. 107th Juniper Dr
Germanstown, WI 53022

PHONE: (262) 510-9889

FAX:

E-MAIL:

WORK TO BE PERFORMED AT:

N _____ S _____ E _____ W _____

JOB SPOTTED? ☐ YES ☐ NO

MILWAUKEE FENCE TO GET PERMIT? ☐ YES ☐ NO

STRINGING

FOOTAGE: 171' HEIGHT: 4'

COLOR: Black SELVAGE: K K

GAUGE: 8 BARB: ☐ IN ☐ UP ☐ OUT

#STRANDS: _____ x FOOTAGE _____ = _____

TOP RAIL: SIZE: 1 3/8" WT: Black FT: 171'

MID RAIL: SIZE: No WT: _____ FT: _____

BOTT. RAIL: SIZE: No WT: _____ FT: _____

TENSION WIRE: TOP: No BOTTOM: _____

P.D.S. HT: No COLOR: _____ FT: _____

GATES:

TYPE: (1) Walk HINGES: pins Black

FOOTAGE: 4' LATCHES: Flip Black

SETTING

TERMS: SIZE: 2 1/2" QTY: (5) COLOR: BIK THICKNESS: std

GATES: 2 1/2" (2) Black std

LINES: 1 5/8" (14) Black std

COMPRESSOR: No THRU ASPHALT: No

DRIVE POSTS: No THRU CEMENT: No

CORE DRILL: None

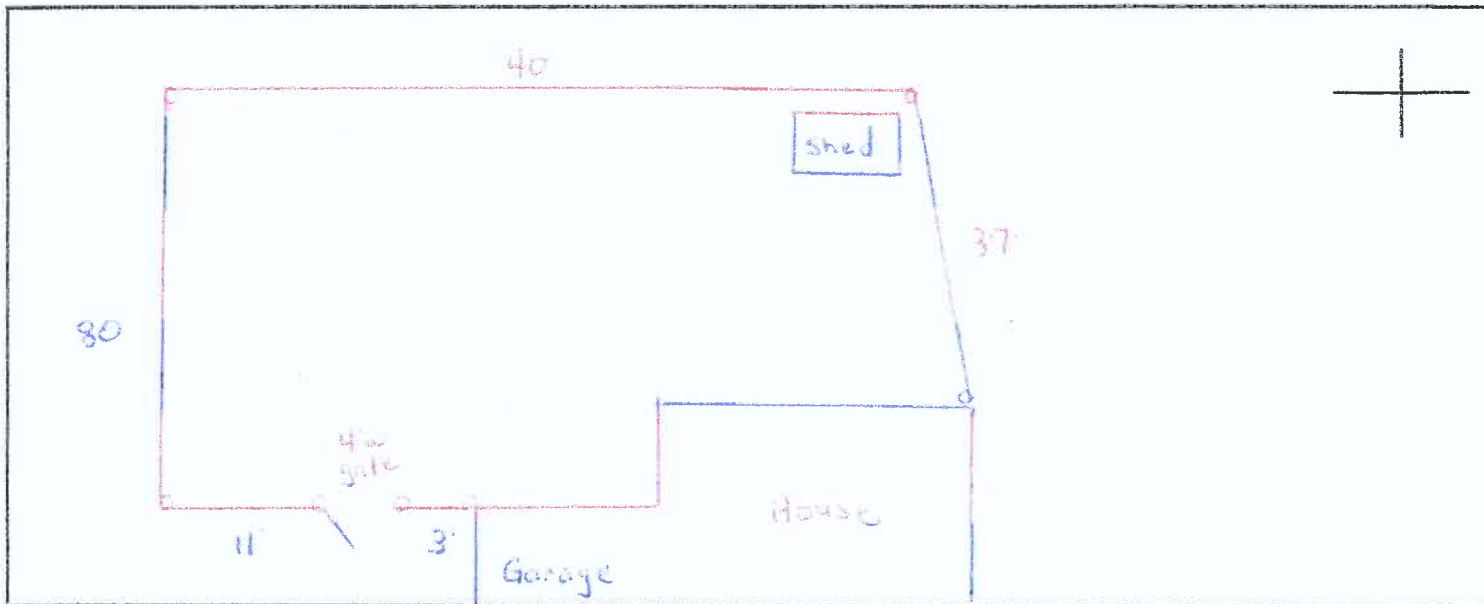
TEAR OUT: None HAUL AWAY: _____

PICK UP DIRT: Yes HAUL AWAY: _____ RAKE: _____

COMMENTS: 170' of 4" x 4" Black

with (1) 4" gate as shown. All

posts are set in a concrete footing.



CONTRACT AMOUNT: \$ 3,675.00

ADD PERMIT FEE: \$ 25.00

TOTAL CONTRACT AMOUNT: \$

DOWN PAYMENT: \$

BALANCE DUE: \$

APPROVED AND ACCEPTED BY CUSTOMER: DATE: _____

CUSTOMER'S SIGNATURE

HAVE RECEIVED AND ACCEPT TERMS AND CONDITIONS ATTACHED X

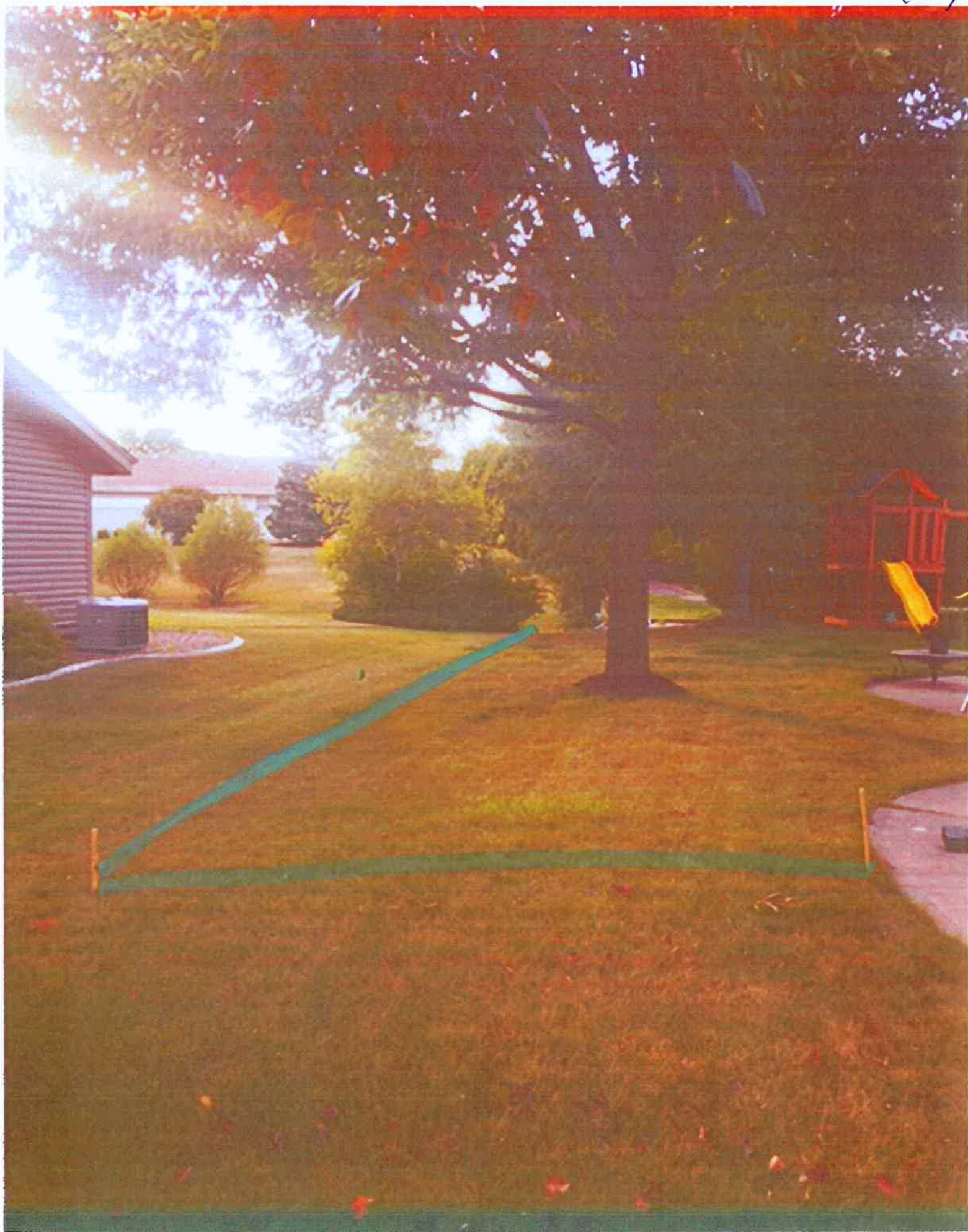
CUSTOMER'S INITIALS

ACCEPTED FOR MILWAUKEE FENCE INC.: DATE: 5-31-14

SALESPERSON SIGNATURE

PROPOSAL GOOD FOR: 30 days (2014) DAYS

(2)



 = Approximate fence location (view from street)

(2)



— = Approximate fence location (view to street)

August 3, 2016

Village of Germantown Plan Commission
N112 W17001 Mequon Road
Germantown, WI 53022

Dear Plan Commission Members:

Thank you for reviewing our request for a residential fence. Our family moved to Germantown in May 2016. We love the city and our neighborhood! We have two young daughters and a dog. We would like your approval to have a chain link fence installed for their safety while playing in the backyard. Since the style of the fence is open and intended for containment (not privacy), it should not interfere with drainage flow within the easement. We have seen other similar fences installed within the neighborhood and have not observed any drainage or backup issues.

Please let us know if there is anything further that we can provide to help you in your decision making process. We appreciate your time and consideration!

Sincerely,



Mike Roeder



Allison Roeder

SITE PLAN REVIEW

9/12/16 Plan Commission Meeting

Washington County / Village of Germantown

Village Planner Report

Germantown, Wisconsin

Summary

Washington County and the Village of Germantown are seeking approval of site development and building plans for the installation of additional antenna and a communication equipment storage building on the existing 118' water tower property located at N101 W15201 Starlite Drive.

Location: N101 W15201 Starlite Drive (Water Tower)

Applicant: John Schrader
Washington County
500 Schmidt Road
West Bend, WI 53095

Property Owner: Village of Germantown
N112 W17001 Mequon Road
Germantown, WI 53022

Current Zoning: I: Institutional

Adjacent Land Uses		Zoning
North	Residential	Rs-5
South	Residential	Rs-5
East	Residential	Rs-4
West	Residential	Rs-4



Proposal

Washington County and the Village of Germantown are seeking approval of site development and building plans for the installation of additional antenna and a communication equipment storage building on the existing 118' water tower property located at N101 W15201 Starlite Drive.

As discussed in the attached, the Starlite Drive water tower has been identified as a suitable site for expanding and enhancing the existing county-wide communications system utilized by local police, fire and public works departments for their operations. As shown in the preliminary plan set, the site and equipment improvements will include:

- (1) transmit antenna (approximately 8.5' height)
- (1) receive antenna (approximately 8.5' height)
- (1) 6' dia. microwave dish
- 24' x 37' gravel-based enclosure w/ 22' x 35'x7' high chain-link fence
- 11.5' x 16' concrete pad and equipment shelter
- 35Kw Generac diesel-fueled emergency generator on a 4.5' x 105' concrete pad
- "dog house" equipment enclosure @ tower base

In addition to the antenna, a separate 11.5' x 16' equipment shelter will be placed within a 22' x 35' fenced enclosure. The enclosure is proposed southwest of the water tower base (where the tower is positioned more east and north of the center of the parcel). The proposed fence is a wire-woven, chain link fence 7' high. The proposed equipment shelter will have 10' high side walls, be constructed with a simulated brick exterior material on all four elevations, and include a pitched roof with dimensional shingles (see color photo rendering). The color and pattern of the proposed brick is subject to recommendation by the Plan Commission.

In addition to the equipment building, a separate pad will be placed within the fence enclosure for a diesel-powered, back-up generator that is intended to run during power outage emergencies and test run once per week (tentatively set for 30 minutes every Tuesday at 7:00am).

At this time, no additional landscaping around the fenced compound is proposed. As visible from the aerial photos of the site, the entire property is heavily wooded around the perimeter and visibly buffered from the surrounding residential properties.

Staff Comments

The applicant is open to the Village Plan Commission recommending a color scheme and pattern for the faux brick to be used on the exterior walls, and, for any additional landscaping deemed warranted. Given the amount of existing tree cover on the surrounding residential parcels (particularly to the west and south), the need for additional landscaping around the fenced compound is questionable given the proposed location. It may be more desirable to have the fence fitted with diagonal privacy slats or even faux hedge or ivy slats (in which case the choice of color and pattern of faux brick for the exterior building walls may not be a significant issue).

Another issue concerns the back-up generator. With the facility proposed at the base of the water tower but within approximately 100 feet of the residential property to the east and north 200+ feet to the residences to the west and south), noise emanating from the emergency generator during testing on a once/week basis for 30 minutes every Tuesday at 7:00am may not be acceptable to the residential neighborhood. The generator is proposed to be fitted with a noise suppression “acoustic enclosure” that will mitigate the sound to some extent. As presented in the attached, the average noise rating provided by the manufacturer at a distance of approximately 25 feet from the generator with a standard enclosure is estimated to be 76.7 to 77.2 db(A)’s with a standard enclosure and reduced to 65.6 to 67.8 db(A)’s with a Level 2 enclosure. The maximum “acceptable” sound level at a given property line in all residential districts is 72db. So, it would appear that with a Level 2 acoustic enclosure (as well as an expected 12-15 db noise reduction over the additional 100’ distance to the north and east property lines), the sound level associated with the emergency generator will likely not be a code violation. However, the consistency and timing of the test periods (30 minutes every Tuesday at 7:00am) may be a minor and localized nuisance to the residential neighbors. Toward that end, staff recommends that the County’s operating staff/department in charge of the equipment re-consider the regularity (one/week), duration (30 minutes) and timing of the proposed testing day (7:00am on Tuesday) and come up with something less often and during the mid-afternoon timeframe.

Village Planner Recommendation

APPROVE the proposed site and building plans for installation of the additional antenna and an equipment storage facility on the existing 118’ water tower located at N101 W15201 Starlite Drive subject to the following conditions:

1. The emergency generator shall be installed with a Level 2 acoustic enclosure or other device(s) necessary to ensure that the sound level does not exceed 72db at any property line.
2. The operator shall re-evaluate the proposed schedule for testing the emergency generator to lessen the amount and duration of noise from the unit. The operator shall work with the Village (who may, in turn, seek feedback from the surrounding property owners) to determine a mutually-acceptable day of the week, time of the day, and duration of testing for the emergency generator. The operator and Village shall re-evaluate said schedule after one year of operation and adjust it accordingly based on feedback from the surrounding property owners.
3. All sides of the fence enclosure shall be fitted with privacy slats that are an earth-tone color and that matches the color of the equipment shelter roof shingles (unless a faux hedge or ivy vegetation slat is used).



Fee must accompany application

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☐ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID _____ DATE 8-31-16

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1 APPLICANT OR AGENT <u>Washington County</u> _____ _____ _____ _____ Phone (<u>262</u>) <u>335-4306</u> E-Mail <u>John.schader@co.washington.wi.us</u>	PROPERTY OWNER <u>Village of Germantown</u> _____ _____ _____ _____ Phone () _____ E-Mail _____
---	---

2 **PROPERTY ADDRESS**

Starlite Water Tower

3 **NEIGHBORING USES** – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North	South	East	West
-------	-------	------	------

4 **READ AND INITIAL THE FOLLOWING:**

 D I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

 D I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

 D I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5 **SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!**

<u>John Schader</u> <u>8/30/2016</u> Applicant Date	_____ Owner	_____ Date
--	---------------------------	--------------------------

Project

Starlite Water Tower

Radio System Enhancement



Introduction

Washington County owns and maintains the radio communications infrastructure for the Village of Germantown as part of the County-wide communications system. The system is utilized by all police, fire, and public works agencies for their day to day operations. The county is looking to expand and enhance radio coverage with the addition of 4 sites utilizing newer technology and integration into the current radio system.

proposed 700 megahertz system

Starlite Water Tower

The Starlite Drive water tower has been identified by the County's Radio vendor / contractor (Harris Corporation) as a site for the expansion. Furthermore Harris RF engineering staff as identified this Starlite drive site would enhance the radio communications for the Village of Germantown. This would be the second tower in the village of Germantown an addition to the original site at the Germantown police department.

The following items would be constructed at the Starlite Water tower location:

- 1 Transmit antenna (Sinclair SE 419-SF3PALDF(D06)_R90
- 1 Receive antenna (Sinclair SE 419-SF3PALDF(D06)_R90
- 1 Microwave dish TBD
- All Hardware associated with the antenna installations

Ground space:

- 11.5 X 16 foundation for shelter
- Communications shelter
- Generator pad size TBD
- Generator size TBD Model Cummings
- LP Tank Pad size TBD
- LP Tank
- AC electric connection and hookup

The County will supply all equipment, foundations, electrical connections, and compound work. This will include a small perimeter fence and gate around the communications shelter and ancillary equipment.

Engineering studies will include structural, PE stamped drawings, labor, and installation will also be covered by the County.



Washington County 700 Mhz Radio Over-Lay Project Germantown Tank #2 Water Tank (Starlite)

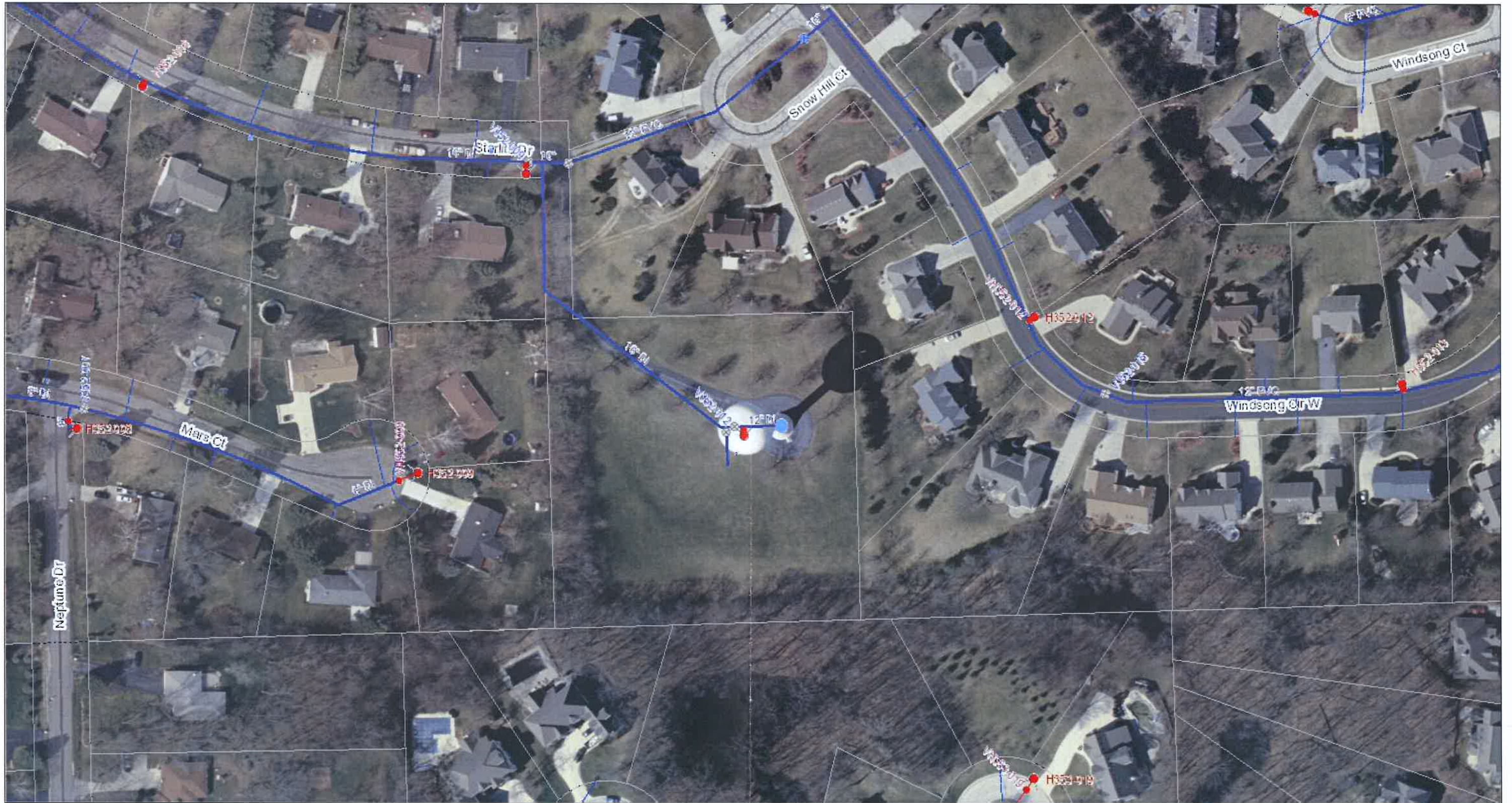
The Village of Germantown Starlite Water Tank Highlights:

- 12 X 16 Shelter foundation / Shelter with pitched roof. Colors of brick, facade color, and pitched roof colors and styles TBD by Germantown planning and zoning
- 4 X 10 Gen – Set foundation / with tank and Generator. Noise suppression kit included
- Chain link fence and landscaping. Landscaping TBD by Germantown planning and zoning
- 2 Dipole antenna's on top of the water tank
- 1 Microwave dish on top of the water tank

Narrative:

The Starlite drive water tank site will be utilized for the enhanced county wide radio system. The radio system will be 700 Mhz over-lay to work in conjunction with the current VHF system. This radio system is being enhanced for the specific use of public safety. This will enhance the radio penetration in specific locations within the County of Washington. Germantown Police department and Fire department currently utilize this system. The Germantown Police department also operates as a PSAP location out of their dispatch center.





Village of Germantown
Squire Conn Point

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Germantown Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1 = 100'



Village Of Germantown
N112 W17001 Mequon Road
Germantown, WI 53022
262-250-4700

Print Date: 5/31/2016

MARK	DATE	DESCRIPTION
		PRELIMINARY NOT FOR CONSTRUCTION
ISSUE DATE: 06/07/2016		
SET TYPE: PR		
GRAPHIC SCALE: 0.167" = 1 in.		
DRAWN BY: NED		
CHECKED BY: AJO		
PLOT DATE: 6/7/2016		
PROJECT NUMBER: 14749		
FILE NAME: G-001.dgn		
SHEET IDENTIFICATION: G-001		



GERMANTOWN WATER TOWER

WASHINGTON COUNTY

GERMANTOWN, WISCONSIN

PRELIMINARY DRAWINGS

PROJECT DIRECTORY:

ENGINEER:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
CONTACT: ARLEN OSTRENG
PHONE: (608) 644-1449

OWNER:
WASHINGTON COUNTY
500 N. SCHMIDT ROAD
WEST BEND, WI 53095
CONTACT: JOHN SCHRADER
PHONE: (262) 335-4378

OWNER'S REPRESENTATIVE:
BUCHHOLTZ CSM INC.
623 MCKINLEY AVE.
LAKE VILLA, IL 60046
CONTACT: DENNIS BUCHHOLTZ
PHONE: (847) 204-5335

RADIO SYSTEM VENDOR:
HARRIS CORPORAION
10465 PARK MEADOWS DRIVE, STE 201
LONE TREE, CO 80124
CONTACT: AMY COPPOLA
PHONE: (720) 481-8187

PROJECT INFO:

SITE LOCATION:
N101 W15201 STARLITE DR
GERMANTOWN, WI 53022

PROPERTY & TOWER OWNER:
VILLAGE OF GERMANTOWN
N122 W17177 FOND DU LAC AVE
GERMANTOWN, WI 53022
CONTACT: LARRY RATCZAK, DIRECTOR OF PUBLIC WORKS
PHONE: (414) 745-9999

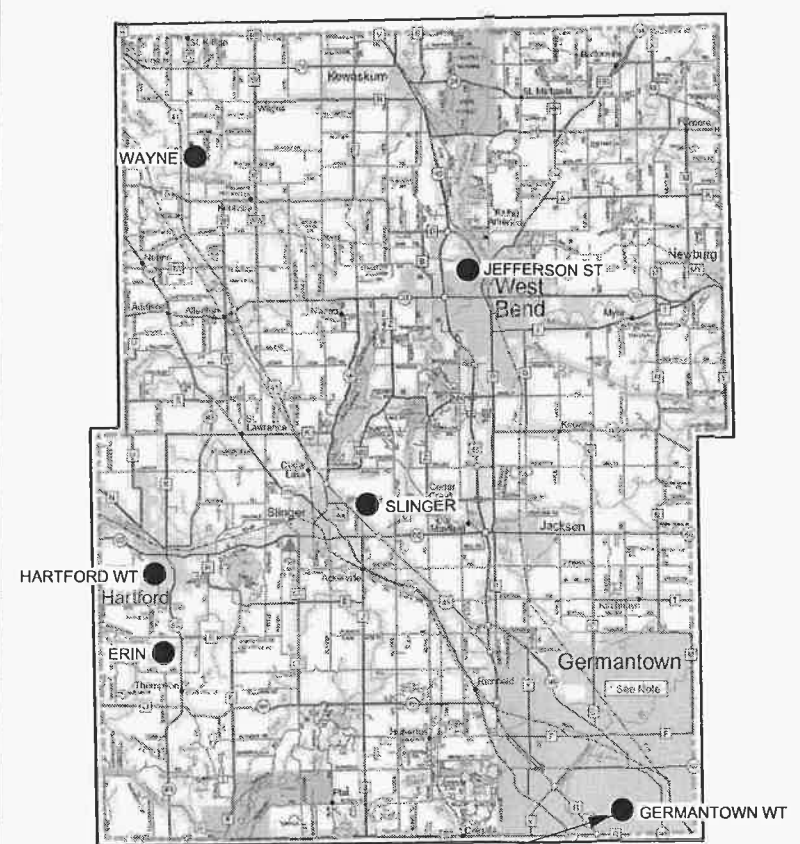
TOWER INFORMATION:
- WATER TOWER BASE - (PER WASHINGTON CO. GIS)
LAT: 43°-11'-59.2" N
LONG: 88°-05'-49.8" W
GROUND ELEVATION: 928.64'

PLSS LOCATION:
PARCEL 1 OF CSM 3170
SEC 35, T9N, R20E,
VILLAGE OF GERMANTOWN
WASHINGTON COUNTY
WISCONSIN

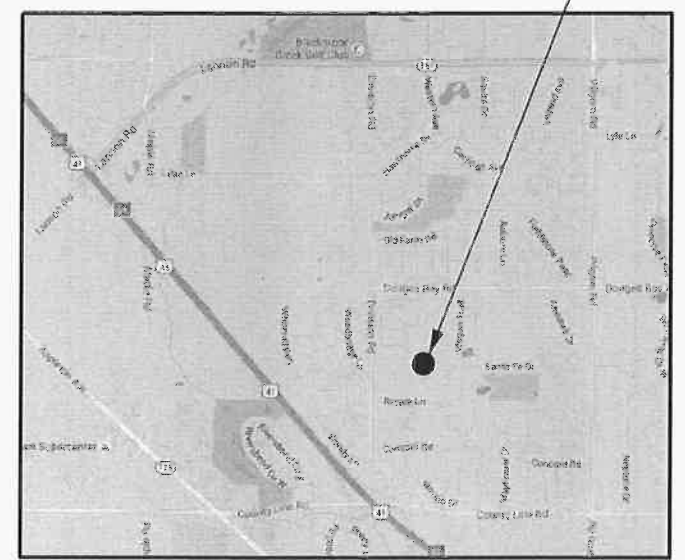
PARCEL ID: 352980

SHEET INDEX:

NO.:	PAGE TITLE
G-001	COVER SHEET
C-101	OVERALL SITE PLAN
C-102	COMPOUND PLAN
T-201	TOWER LOADING / ELEVATION



SITE LOCATION



SITE LOCATION MAP
SCALE: NTS



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

FAX A LOCATE 1-800-338-3860
TDD(FOR HEARING IMPAIRED) 1-800-542-2289

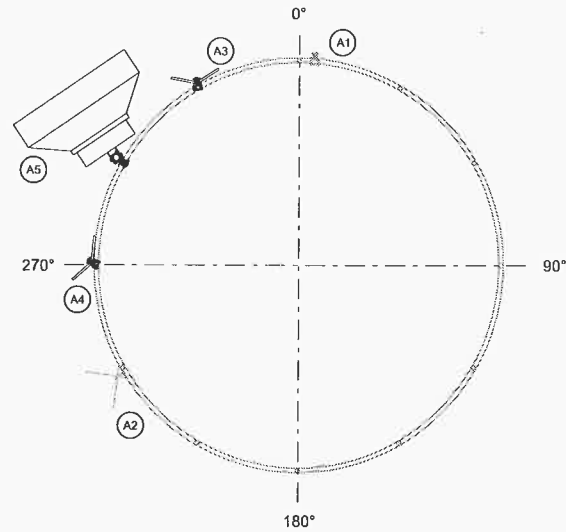
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

ENGINEER SEAL:

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

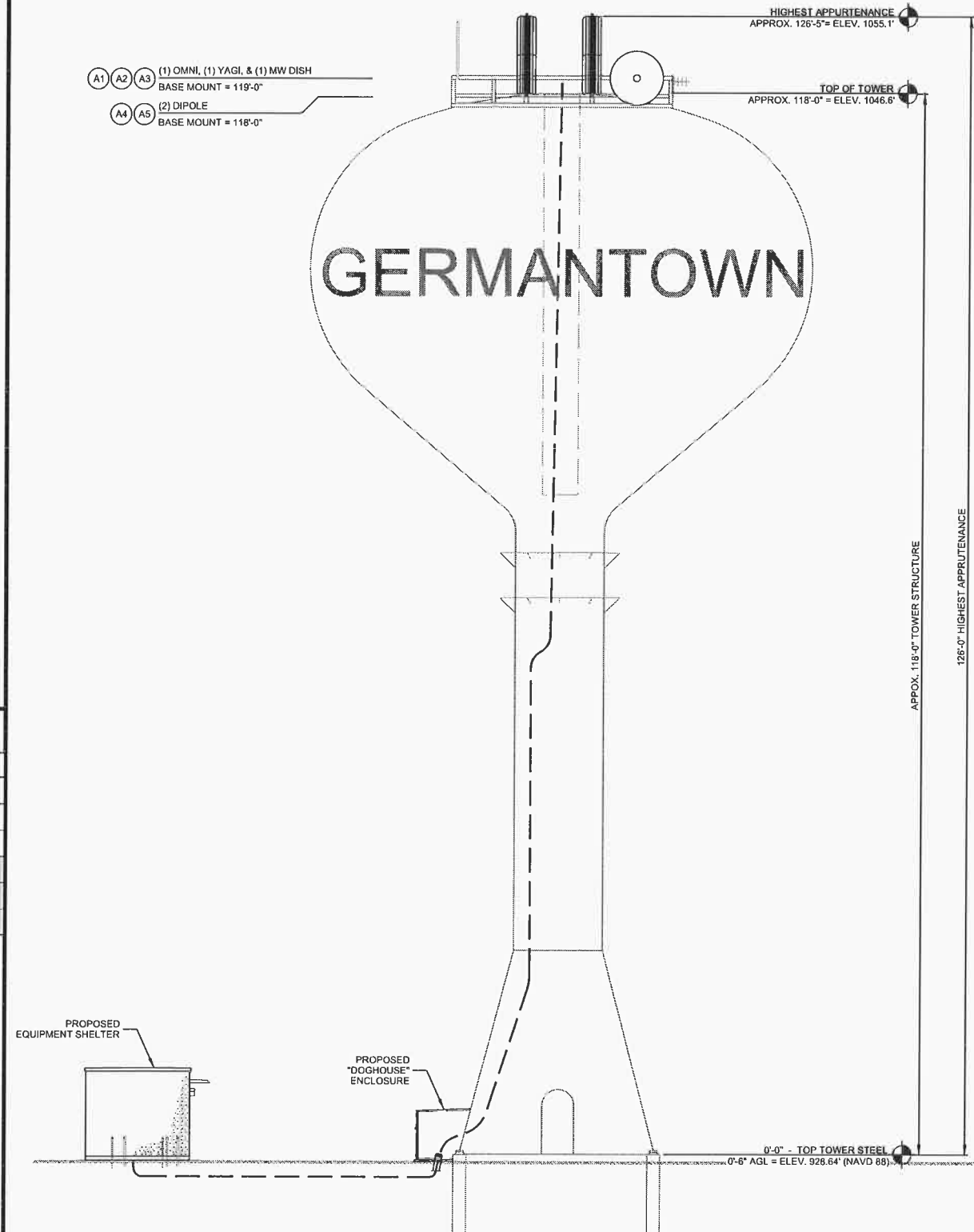
SIGNATURE: _____

DATE: _____



TOWER LOADING LEGEND														
ANTENNA ID	ANTENNA TYPE	ANTENNA MODEL DESCRIPTION & (QTY)	ANTENNA MOUNT	MOUNTING HEIGHT	C/L HEIGHT	C/L ELEV. (NAVD 88)	ANTENNA AZ/MUTH	TILT (+/-)	TX LINE SIZE	COLOR CODING	FREQUENCY (MHz)	ERP (dBm)	USE OWNER	NOTES
1	Omni	6' Omni	Handrail mount	119.0	122.0	1050.6			(1) 1/2"				Village of Germantown	
2	Yagi	Yagi	Handrail mount	119.0	119.0	1047.8			(1) 1/2"				Village of Germantown	
3	MW Dish	PAD6-65B w/ Radome 6 ft dia., 141 lbs	Pipe-to-Pipe Mount 4-1/2" OD x 96" Dish Mount	119.0	119.0	1047.6			EYW65				To Slinger Washington Co.	Proposed
4	Dipole	SE419-SF3PALDF(D06)_50 103' long, 36 lbs	Pipe-to-Clamp Mount 2-7/8" Mast Pipe	118.0	122.3	1050.9			(1) 7/8"		746-869		P25 TX Washington Co.	Proposed
5	Dipole	SE419-SF3PALDF(D06)_50 103' long, 36 lbs	Pipe-to-Clamp Mount 2-7/8" Mast Pipe	118.0	122.3	1050.9			(1) 7/8"		746-870		P25 RX Washington Co.	Proposed

TOWER LOADING LEGEND

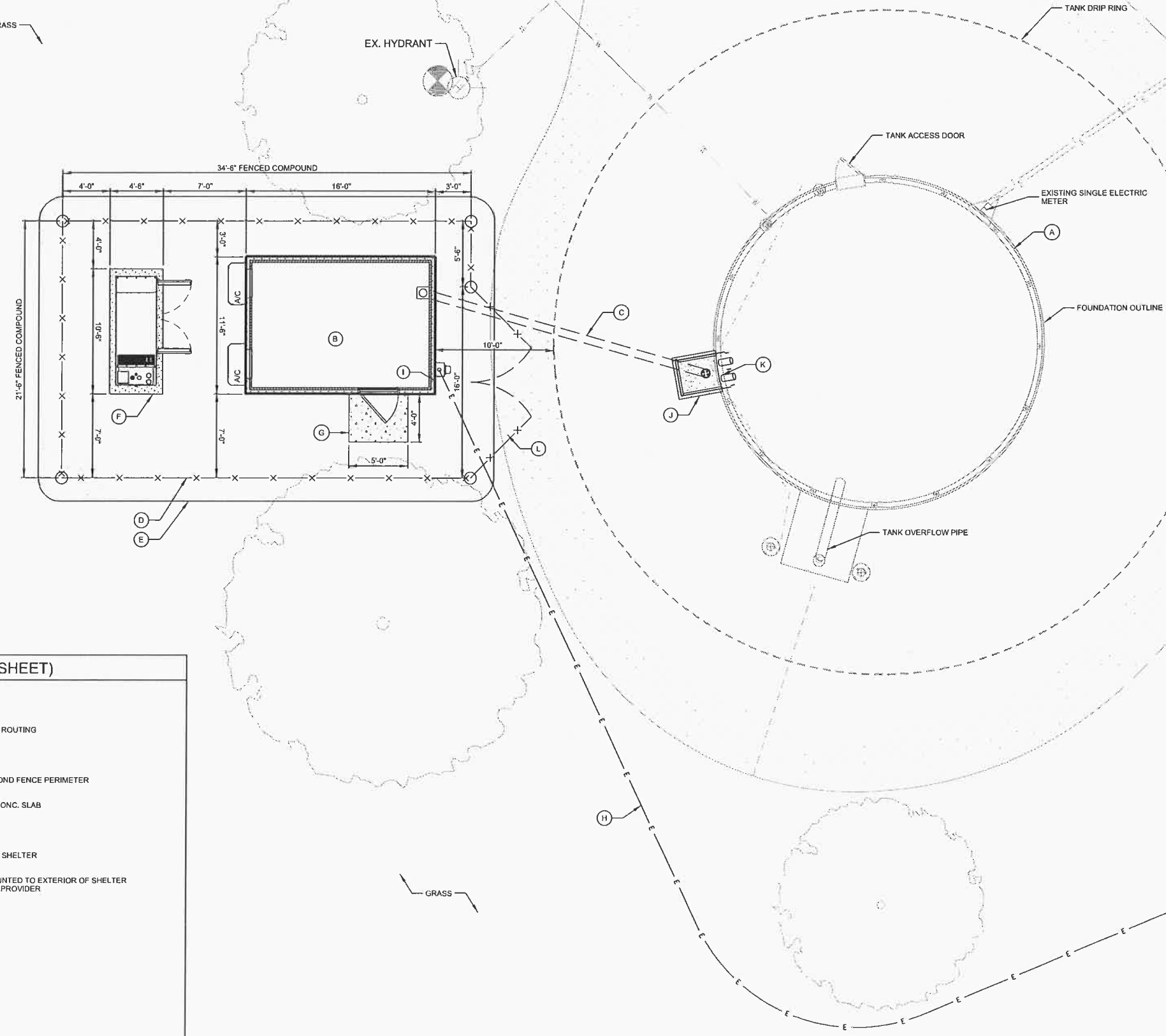


6 TOWER PROFILE (ELEVATION)



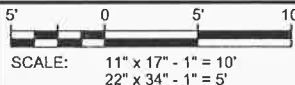
GRASS

ASPHALT



- # KEYNOTES: (THIS SHEET)
- A. EXISTING WATER TOWER, SEE T-201
 - B. 11'-6" X 16'-0" EQUIPMENT SHELTER
 - C. (1) BURIED 8" PVC CONDUITS FOR COAX ROUTING
SEE DETAIL XXXX
 - D. CHAIN LINK FENCE
SEE DETAIL XXXX
 - E. GRAVEL COMPOUND, EXTENDED 2' BEYOND FENCE PERIMETER
SEE DETAIL XXXX
 - F. 35kW DIESEL FUELED GENERATOR ON CONC. SLAB
SEE SHEET XXXX
 - G. CONCRETE STOOP
SEE DETAIL XXXX
 - H. 200A 120/240V 1P ELECTRIC SERVICE TO SHELTER
SEE SHEET XXXX
 - I. SINGLE ELEC. METER UTILITY RACK MOUNTED TO EXTERIOR OF SHELTER
VERIFY CONFIGURATION LOCAL UTILITY PROVIDER
SEE DETAIL XXXX
 - J. "DOG HOUSE" COAX ENCLOSURE
SEE DETAIL XXXX
 - K. (1) PIPE PENETRATIONS IN TANK BELL
SEE DETAIL XXXX
 - L. 16' WIDE ACCESS GATE
SEE DETAIL XXXX

I:\14700\14749\CAD\DWG\PRC-C-102.dgn



Edge
Consulting Engineers, Inc.
624 Water Street
Prairie du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

GERMANTOWN WATER TOWER
WASHINGTON COUNTY
GERMANTOWN, WISCONSIN

COMPOUND PLAN

REVISIONS:	
MARK:	DESCRIPTION:

ISSUE DATE:	
06/07/2016	
SET TYPE:	
PR	
GRAPHIC SCALE:	
10,000' / in.	
DRAWN BY:	
NED	
CHECKED BY:	
AJO	
PLOT DATE:	
6/7/2016	
PROJECT NUMBER:	
14749	
FILE NAME:	
C-102.dgn	

SHEET IDENTIFICATION:	
C-102	



PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

EXISTING GROUND MOUNTED
ELECTRIC TRANSFORMER
#92-U-6303

ELECTRIC SERVICE TO SHELTER
VERIFY SOURCE AND ROUTE
WITH UTILITY PROVIDER

EXISTING ASPHALT
ACCESS DRIVE

WATER TANK DRIP LINE

EXISTING WATER TOWER

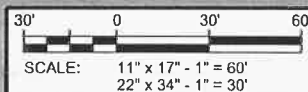
PROPOSED EQUIPMENT SHELTER
PROPOSED FENCED COMPOUND

OWNER: GERMANTOWN VILLAGE
PARCEL ID: 352980

85

60

60



**Edge**
Consulting Engineers, Inc.
624 Water Street
Prairie du Sac, WI 53578
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

GERMANTOWN WATER TOWER
WASHINGTON COUNTY
GERMANTOWN, WISCONSIN

OVERALL SITE PLAN

REVISIONS:	
MARK:	DESCRIPTION:

ISSUE DATE:
06/07/2016
SET TYPE:
PR
GRAPHIC SCALE:
60.000' / in.
DRAWN BY:
NED
CHECKED BY:
AJO
PLOT DATE:
6/7/2016
PROJECT NUMBER:
14749
FILE NAME:
C-101.dgn

SHEET
IDENTIFICATION:
C-101

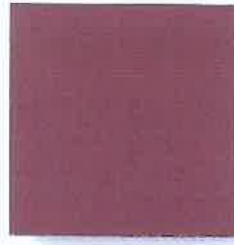
Faux Brick Color Hardener & Deck Coat



Brick Red



Tile Red



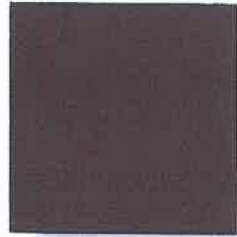
* Terra Cotta



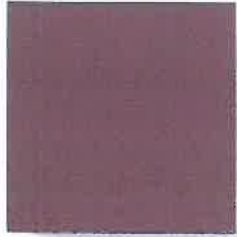
* Autumn Brown



Venetian Pink



* Dark Walnut



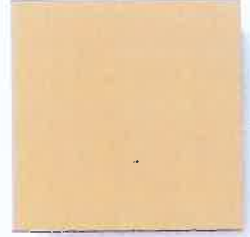
Rust Brown



* Saddle Brown



Sandstone



Golden Sand



Wheat



* Mesa Buff



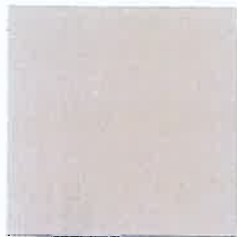
Almond



* Desert Sand



* Mocha



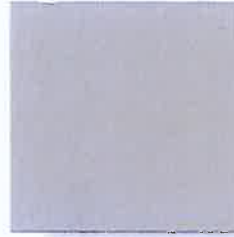
Bisque



Oyster White



Cameo



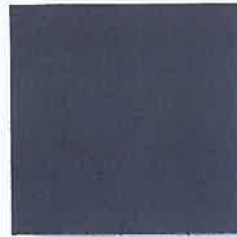
Sable



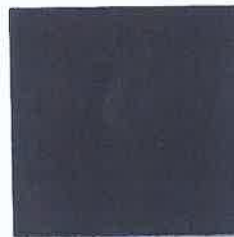
* Platinum Gray



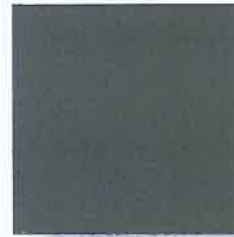
Dove Gray



* Charcoal Gray



Ebony



Emerald Green



* Slate Green

NOTE: Colors on this chart are close approximations. Variations may occur due to differences in cement, water, aggregate, and application techniques. A mock-up should be considered for all projects.

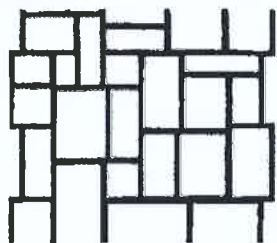
Faux Brick® Deck Coat is also available in Natural Gray and Natural White.

* These colors available in Release Agent

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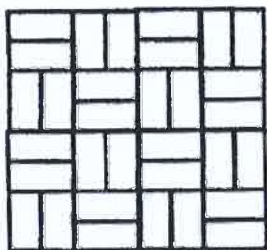
STENCIL PATTERNS

Ashlar Slate



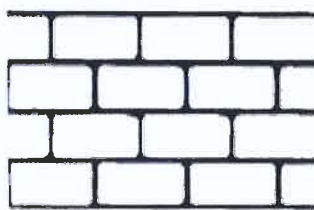
Random squares and rectangles ranging in size from 2¾" x 4¾" to 11" x 12" with mortar joints ranging from ½" to 1" wide
 Width: 36"

Basket Weave



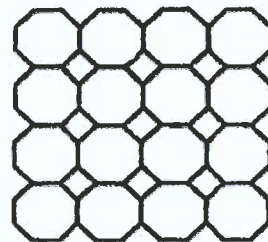
Bricks are 3¾" x 7¾" with ½" mortar joints arranged in a basket weave pattern
 Width: 33"

Cinder Block



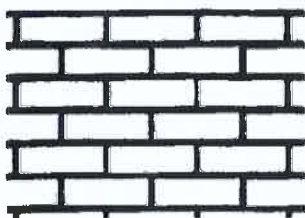
Bricks are 8½" x 15¾" with ¾" mortar joints arranged in a running bond pattern
 Width: 38"

Diamond Tile



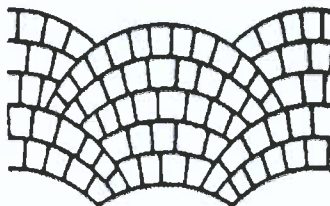
Octagonal tile 7¾" wide with ½" mortar joints interspersed with 3" diamond/square tiles
 Width: 33"

Face Brick



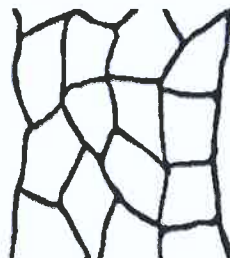
Bricks 2¼" x 7¾" with ½" mortar joints arranged in a running bond pattern
 Width: 36"

Fish Scale



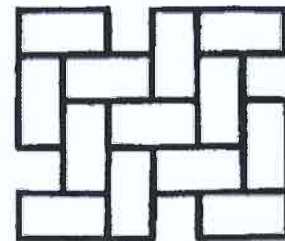
Random size bricks arranged in a fan pattern with ½" mortar joints
 Width: 29"

Flagstone



Irregular shaped stones ranging in size from 8" x 15" to 7" x 9"
 Width: 33"

Herringbone



Bricks are 3¾" x 7¾" with ½" mortar joints arranged in a herringbone pattern
 Width: 33"

Hudson Brick



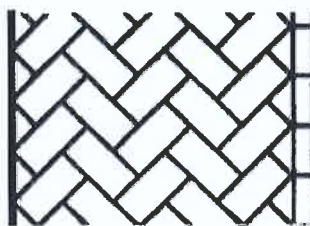
Bricks are 3¾" x 11¾" with ½" mortar joints arranged in a running bond pattern
 Width: 37"
 33" Sheets Only

Jumbo Brick



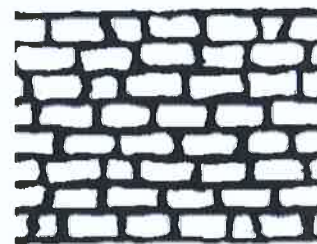
Random size large bricks with moderately rounded corners; Bricks are 5½" wide and range in length from 4½" to 11"
 Width: 36"

Mock Herringbone



Bricks 3-3/4" x 8" with ½" mortar joints arranged in 33-1/2" panels of herringbone pattern with 2¼" x 5-1/2" border bricks
 Width: 37"

Old Chicago Brick

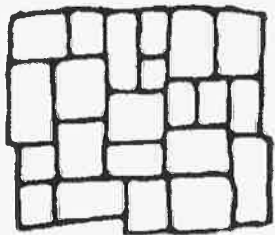


Random broken bricks ranging in size from 2½" x 3¾" to 3¾" x 9" with mortar joints ranging from ½" to 1½"
 Width: 37"

Faux Brick® Non-Adhesive Stencils are available in 1,000 sq.ft., 500 sq.ft., and 100 sq.ft. rolls.

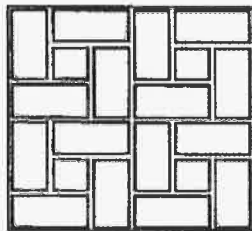
Faux Brick® Adhesive Stencils are available in 500 sq.ft. and 100 sq.ft. rolls.

Old English Cobblestone



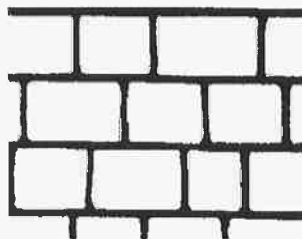
Random shaped stones with highly rounded corners ranging from 3¼" x 3½" to 7" x 8¼" with irregular mortar joints
Width: 33"

Pinwheel



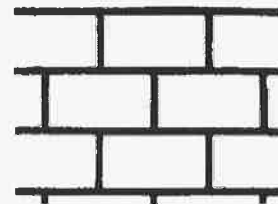
Bricks are 6-3/4" x 3-1/8" arranged in a pinwheel pattern with ½" mortar joints
Width: 33.5"

Random Blue Stone



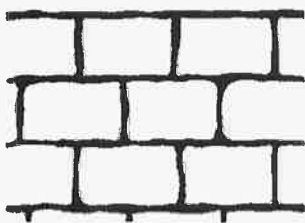
Random size stones ranging from 5" x 5" to 5" x 10" with ½" mortar joints, with rounded corners, straight longitudinal mortar joints and irregularly curved lateral mortar joints
Width: 33"

Running Bond



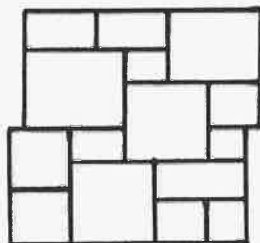
Bricks are 4" x 7¾" with ½" mortar joints arranged in a running bond pattern
Width: 36"

Rustic Brick



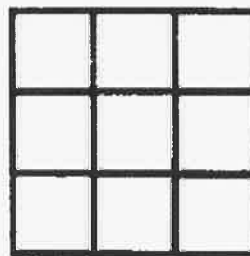
Bricks are 5½" x 9" with irregular/curved mortar joints arranged in a running bond pattern (simulates old or used brick)
Width: 36"

Silverdale



Random squares and rectangles ranging in size from 5" x 5" to 11" x 13½" with ¾" mortar joints
Width: 36"

Square Tile



Tiles are 5½" square with ½" mortar joints arranged in a stacked bond pattern
Width: 36"

Stacked Bond



Bricks are 3.9" x 7¾" with ½" mortar joints arranged in a stacked bond pattern
Width: 33"

Soldier Course



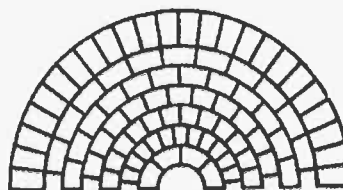
Bricks are 3¾" x 7¾" arranged in single file for borders with ½" mortar joints - Available in 300 and 1,340 linear ft.

Cobble Header



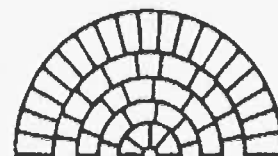
Irregular stones varying from 4" x 8" to 5" x 8" arranged in single file for borders with ½" to 1" mortar joints
Available in 300 linear ft.

Large Circle



Brick circle available in 6'8" diameter with ½" mortar joints

Cobble Circle

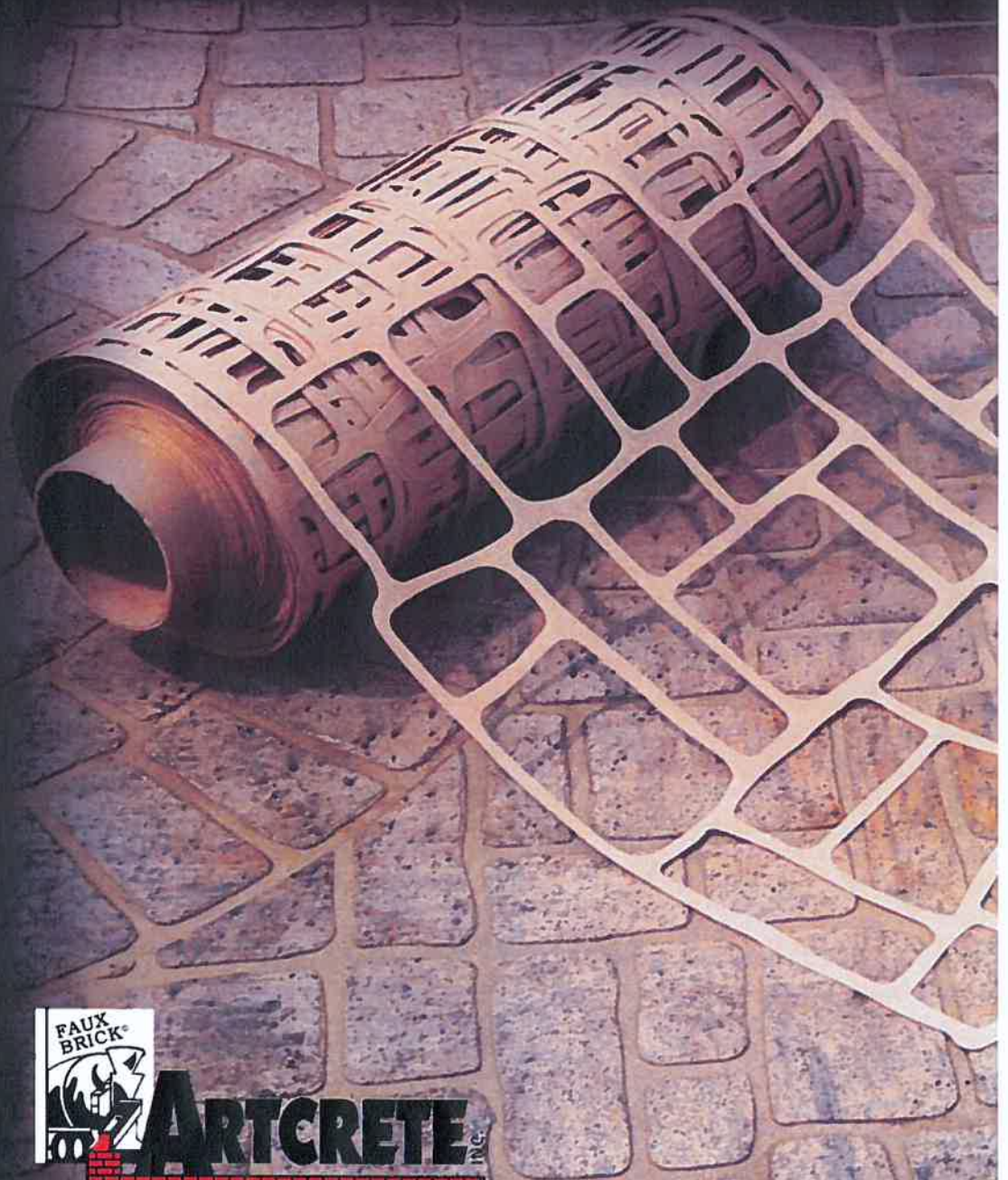


Cobblestone circle available in 5'4" diameter with irregular mortar joints

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The Process Existing Concrete



Step 1

Stencil is placed on concrete and cut to length of slab.



Step 2

Resurfacing system can be sprayed or troweled on in color of your choice.



Step 3

After resurfacing system has set sufficiently to bear weight, stencils are removed leaving the pattern raised in relief with recessed uncolored mortar joints.

The Process New Concrete

Step 1

Stencil is placed on wet concrete and cut to length of slab.



Step 2

Dry shake color/hardener is broadcast onto the surface and worked in.

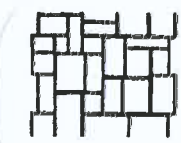


Step 3

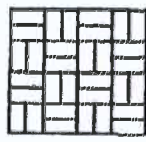
After concrete has set sufficiently to bear weight, stencils are removed leaving the pattern raised in relief with recessed uncolored mortar joints.



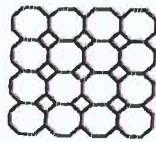
Faux Brick® Stencil Patterns



Ashlar Slate



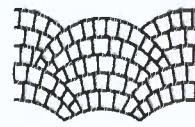
Basket Weave



Diamond Tile



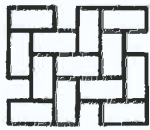
Face Brick



Fish Scale



Flagstone



Herringbone



Jumbo Brick



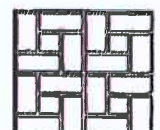
Mock Herringbone



Old Chicago Brick



Old English Cobblestone



Pinwheel



Random Blue Stone



Running Bond



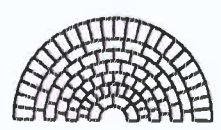
Rusic Brick



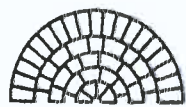
Square Tile



Stacked Bond



Large Circle



Cobble Circle



Soldier Course



Cobble Header



Cinder Block



Silverdale

Faux Brick® Color Hardener & Deck Coat



Emerald Green



Sandstone



Cameo



Golden Sand



Peach



Oyster White



Mocha



Rust Brown



Mesa Buff



Venetian Pink



Irish Green



Brick Red



Tile Red



Dark Walnut



Platinum Gray*



Charcoal Gray*



Pacific Blue



Dove Gray



Ebony



Sable



Sunset Rose



Desert Sand*



Slate Green*



Autumn Brown*



Terra Cotta*

* These colors are available in Faux Brick® Release Agent.

NOTE: Colors on this chart are close approximations. Variations may occur due to differences in cement, water, aggregate and application techniques.

Faux Brick Deck Coat also available in Natural Gray and Natural White.



VFP, INCORPORATED SHELTER MODEL 5445 HARRIS CORPORATION (WASHINGTON CO. WI. — GERMANTOWN)

WISCONSIN

2009 International Building Code w/Wisconsin Amendments
2009 International Mechanical Code w/Wisconsin Amendments
2009 International Energy Conservation Code w/Wisconsin Amendments
2011 National Electric Code
2009 Arkansas Fuel/Gas Code w/Wisconsin Amendments

Code Classification	Occy	Constr
IBC- INTERNATIONAL BUILDING CODE	S-2	V-B

SHELTER DESIGN LOADS

uniform floor load (while on foundation)	200 psf
uniform roof live load	100 psf
wind load (including sliding and overturning moments)	155 mph
seismic	CAT. 'D'
estimated total shipping weight	40,000 LBS
fire rating	2hr
overall area of building	184 SQ. FT.
overall height of building	124 IN.

Field Notes:

- Allowable stresses calculated using the recommended foundation while anchored with VFP-designated hardware.
- Uniform floor loading while being lifted is 125 psf.
- This building is not sprinkled.
- All glazing to meet ANSI 97.1 with CPSC CFR Part 1201 requirements.
- Locate wedge anchor after building is located on foundation to correctly align with installed anchor plate. Refer to detail D, sheet 8.

2012 IBC CODE SECTION 1603 DESIGN LOADS

- 1.1 FLOOR LIVE LOAD = 200 PSF
- 1.2 ROOF LIVE LOAD = 100 PSF
- 1.3 GROUND SNOW LOAD OF 132 PSF
 - (1) FLAT-ROOF SNOW LOAD = 100 PSF
 - (2) SNOW EXPOSURE FACTOR = 1.0
 - (3) SNOW IMPORTANCE FACTOR = 1.2
 - (4) THERMAL FACTOR = 1.0
- 1.4 WIND LOAD:
 - (1) BASIC WIND SPEED = 150 MPH
 - (2) WIND IMPORTANCE FACTOR = 1.0 & RISK CATEGORY = 1
 - (3) WIND EXPOSURE = 'C'
 - (4) INTERNAL PRESSURE COEFFICIENT = +/- 0.55
 - (5) COMPONENTS AND CLADDING = N/A
- 1.5 EARTHQUAKE DESIGN DATA FOR CONCRETE SHELTERS:
 - (1) SEISMIC IMPORTANCE FACTOR = 1.0 & RISK CATEGORY = 1
 - (2) MAPPED SPECTRAL RESPONSE ACCELERATIONS, $SS = 1.85$, $S1 = 0.10$
 - (3) SITE CLASS = 'D'
 - (4) SPECTRAL RESPONSE COEFFICIENTS $SDS = 1.24$, $SD1 = 0.19$
 - (5) SEISMIC DESIGN CATEGORY = D
 - (6) BASIC SEISMIC-FORCE RESISTING SYSTEM = (BEARING WALL SYSTEM W/ INTERMEDIATE PRECAST CONCRETE SHEAR WALLS)
 - (8) SEISMIC RESPONSE COEFFICIENT, $CS = .465$ FOR $I_r = 1.5$
 - (9) RESPONSE MODIFICATION FACTOR, $R = 4.0$
 - (10) ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE

INDEX OF DRAWINGS

Drawing	Description
205445, sheet 1	Title, Allowable Stresses, Revisions Status
205445, sheet 2	One-line, Panel Schedule
205445, sheet 3	Alarm Wiring, Terminal Board Details
205445, sheet 4	Exterior Elevations
205445, sheet 5	Interior Foldout
205445, sheet 6	Reflected Ceiling - Legend
205445, sheet 7	Interior Grounding
205445, sheet 8	* Construction Details

* Indicates drawing containing work to be done in the field.

STANDARD	8	7	6	5	4	3	2	1	SHEET	REVISION	REV. STATUS OF SHEETS

REVISIONS			
CHG. BY	APPR. BY	DATE	REV

VFP, INC.

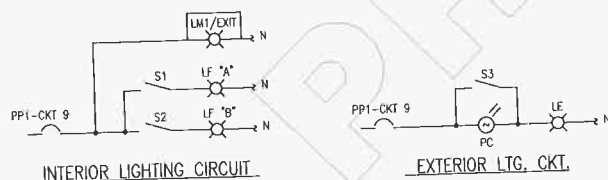
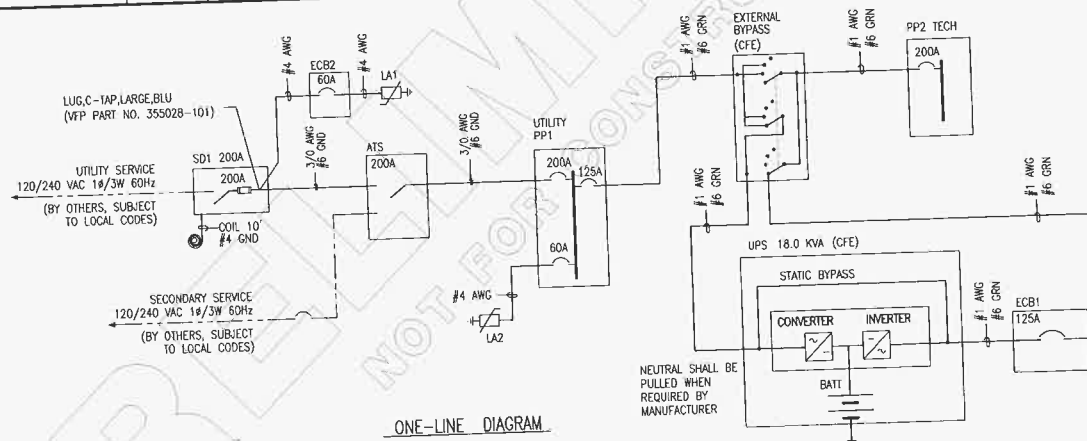
CORPORATE OFFICE
1701 Midland Road
Salem, Virginia 24153-6424
(540)977-0500 (540)977-5555 fax

MANUFACTURING FACILITY
402 Industrial Park Road
Duffield, Virginia 24244
(276)431-4000 (276)431-1756 fax

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DRAWN BY S.G. SMITH	DATE 8/15/18
CHECKED BY	DATE
CHECKED BY	DATE
DRAWING NOT TO SCALE	
SIZE B	CAGE NO 53223
PLOT SCALE 1/8"=1'-0"	MODEL 5445
11'6" x 16'0" x 9'2" CONCRETE SHELTER TITLE SHEET	
DRAWING NO. 205445	
SHEET P1 of 8	

PP1 UTILITY												PP2 TECH												
200A, 120/240VAC, 1Ø/3W, 60Hz, M.BKR												200A, 120/240VAC, 1Ø/3W, 60Hz, M.BKR												
LOAD	VOLT AMPERES (WATTS)		WIRE	BREAKER		TRIP	P	WIRE	VOLT AMPERES (WATTS)		LOAD	LOAD	VOLT AMPERES (WATTS)		WIRE	BREAKER		TRIP	P	WIRE	VOLT AMPERES (WATTS)		LOAD	
	A	B		A	B				A	B			A	B		A	B							
	1	2		1	2				1	2			1	2		1	2				1	2		
SPARE	-	-	-	1	20	3	2	60	2	4	60	LIGHTNING ARRESTOR	TWIST LOCK #1 RACK #1	180	12	1	20	3	2	20	1	12	180	TWIST LOCK #1 RACK #3
SPARE	-	-	-	1	20	3	2	60	2	4	60	LA2	TWIST LOCK #2 RACK #1	180	12	1	20	3	2	20	1	12	180	TWIST LOCK #2 RACK #3
ACH1	3840	3840	8	2	35	5	6	35	2	8	3840	ACH2	TWIST LOCK #1 RACK #2	180	12	1	20	5	6	20	1	12	180	TWIST LOCK #1 RACK #4
LIGHTS-INT/EXT/EMER	776	776	12	1	20	9	10	20	1	12	1080	RECEPTACLES - INTERIOR	TWIST LOCK #2 RACK #2	180	12	1	20	7	8	20	1	12	180	TWIST LOCK #2 RACK #4
SMOKE DETECTOR	60	60	12	1	20	11	12	20	1	12	180	RECEPT - DEHYDRATOR	BLANK	-	-	-	-	9	10	-	-	-	-	BLANK
RECEPTACLE - EXTERIOR	180	180	12	1	20	13	14	20	1	-	-	* BATTERY CHARGER	BLANK	-	-	-	-	11	12	-	-	-	-	BLANK
SPARE	-	-	-	1	20	15	16	20	1	-	-	* BLOCK HEATER	BLANK	-	-	-	-	13	14	-	-	-	-	BLANK
SPARE	-	-	-	1	20	17	18	20	1	-	-	SPARE	BLANK	-	-	-	-	15	16	-	-	-	-	BLANK
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POWER FAIL ALARM	120	120	12	2	15	37	38	125	2	1	720	UPS	BLANK	-	-	-	-	37	38	-	-	-	-	BLANK
PFA	-	-	-	-	-	-	-	-	-	-	-	BLANK	BLANK	-	-	-	-	39	40	-	-	-	-	BLANK
VOLT AMPERES PER PHASE	4916	4020										VOLT AMPERES PER PHASE	360	360										VOLT AMPERES PER PHASE
												TOTAL VOLT AMPERES	720	720										TOTAL VOLT AMPERES
												TOTAL AMPS PER PHASE	6	6										TOTAL AMPS PER PHASE
												AMPS x125%	8											AMPS x125%
												x 110% for MAIN	9											x 110% for MAIN
* BY OTHERS												* BY OTHERS												
** ASSUMED LOADS												** ASSUMED LOADS												
PANEL RATED @ 10,000 AIC												PANEL RATED @ 10,000 AIC												



REVISIONS			
CHG. BY	APPR. BY	DATE	REV

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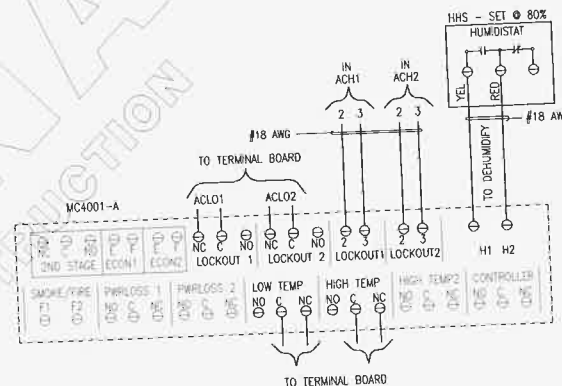
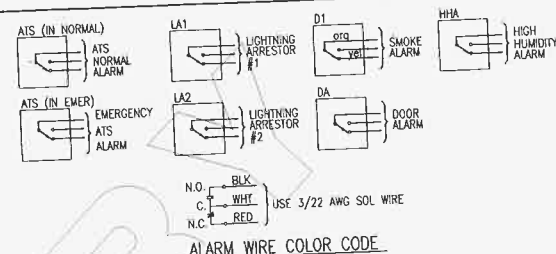
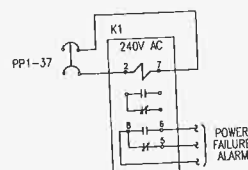
DRAWN BY	S.G. SMITH	DATE	5/13/18
CHECKED BY		DATE	
CHECKED BY		DATE	
DRAWING NOT TO SCALE			
SIZE	B	CASE NO	53223
PLOT SCALE	1/4"=1'0"	MODEL	5445
TITLE	11'6" x 16'0" x 9'2" CONCRETE SHELTER ONE-LINE/PANEL SCHED		
DRAWING NO.	205445		
SHEET	P2 of 8		

BRIDGE CLIP
(VFP NO. 155041-301)

POWER FAIL 3/22 SOL	PFA - NC	RED	1	1	1
	PFA - C	WHT	2	2	2
ACH1 FAIL 3/22 SOL	ACH1 LO - NC	RED	3	3	3
	ACH1 LO - C	WHT	4	4	4
ACH2 FAIL 3/22 SOL	ACH2 LO - NC	RED	5	5	5
	ACH2 LO - C	WHT	6	6	6
HI TEMP 3/22 SOL	HTA - NC	RED	7	7	7
	HTA - C	WHT	8	8	8
LOW TEMP 3/22 SOL	LTA - NC	RED	9	9	9
	LTA - C	WHT	10	10	10
HIGH HUMIDITY ALARM 3/22 SOL	HHA - NC	RED	11	11	11
	HHA - C	WHT	12	12	12
DOOR ALARM 3/22 SOL	DA - NC	RED	13	13	13
	DA - C	WHT	14	14	14
SMOKE DETECTOR 3/22 SOL	D1 - NC	RED	15	15	15
	D1 - C	WHT	16	16	16
LIGHTNING ARRESTOR #1 3/22 SOL	LA1 - NC	RED	17	17	17
	LA1 - C	WHT	18	18	18
LIGHTNING ARRESTOR #2 3/22 SOL	LA2 - NC	RED	19	19	19
	LA2 - C	WHT	20	20	20
ATS NORMAL POWER 3/22 SOL	TB1-1 - NC	RED	21	21	21
	TB1-3 - C	WHT	22	22	22
ATS STANDBY POWER 3/22 SOL	TB1-6 - NC	RED	23	23	23
	TB1-8 - C	WHT	24	24	24
			25	25	25
			26	26	26
			27	27	27
			28	28	28
			29	29	29
			30	30	30
			31	31	31
			32	32	32
			33	33	33
			34	34	34
			35	35	35
			36	36	36
			37	37	37
			38	38	38
			39	39	39
			40	40	40
UPS ON LINE 3/22 SOL	UPS - NC	RED	41	41	41
	UPS - C	WHT	42	42	42
UPS BYPASS 3/22 SOL	UPS - NC	RED	43	43	43
	UPS - C	WHT	44	44	44
UPS FAIL 3/22 SOL	UPS - NC	RED	45	45	45
	UPS - C	WHT	46	46	46
UPS LOW BATT. 3/22 SOL	UPS - NC	RED	47	47	47
	UPS - C	WHT	48	48	48
UPS SUMMARY 3/22 SOL	UPS - NC	RED	49	49	49
	UPS - C	WHT	50	50	50

TB1

TERMINAL BOARD DETAIL
ALARM CONTACTS ARE SHOWN
IN A DE-ENERGIZED STATE



UPS ON LINE 3/22 SOL	UPS - NC	RED	41	41	41
	UPS - C	WHT	42	42	42
UPS BYPASS 3/22 SOL	UPS - NC	RED	43	43	43
	UPS - C	WHT	44	44	44
UPS FAIL 3/22 SOL	UPS - NC	RED	45	45	45
	UPS - C	WHT	46	46	46
UPS LOW BATT. 3/22 SOL	UPS - NC	RED	47	47	47
	UPS - C	WHT	48	48	48
UPS SUMMARY 3/22 SOL	UPS - NC	RED	49	49	49
	UPS - C	WHT	50	50	50

TB1

UPS ALARM CONNECTIONS
9170 UPS 15-PIN INTERFACE CABLE CONNECTION

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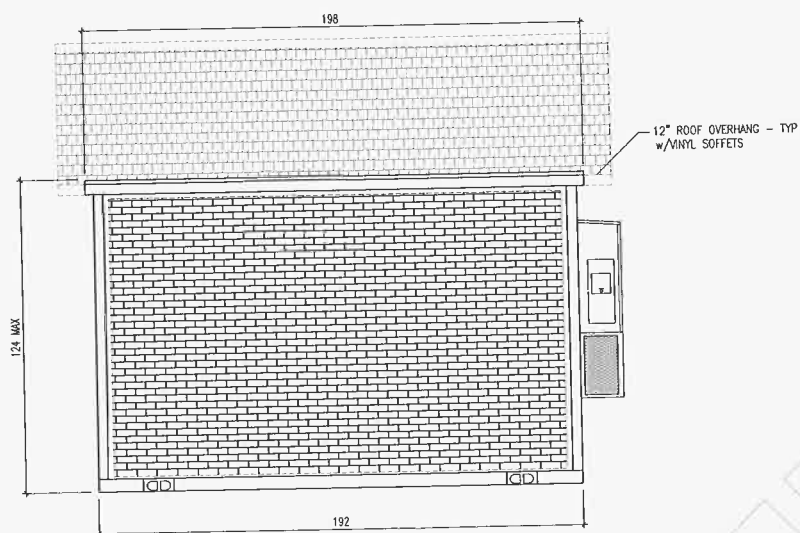
DRAWING NOT TO SCALE

SHEET B CASE NO. 53223 REV. 5445

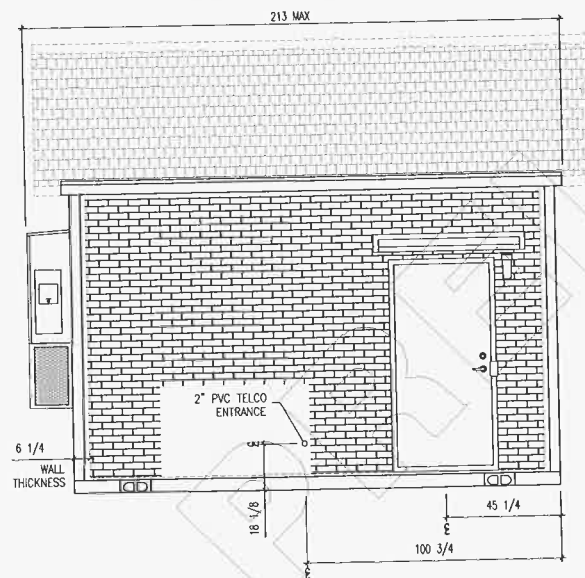
TITLE
11'6" x 16'0" x 9'2" CONCRETE SHELTER ALARM WIRING DIAGRAMS

DESIGNING NO. 205445

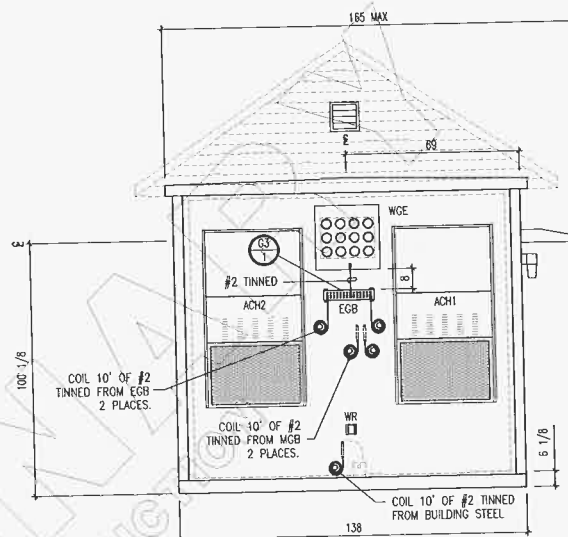
SHEET P3 of 8



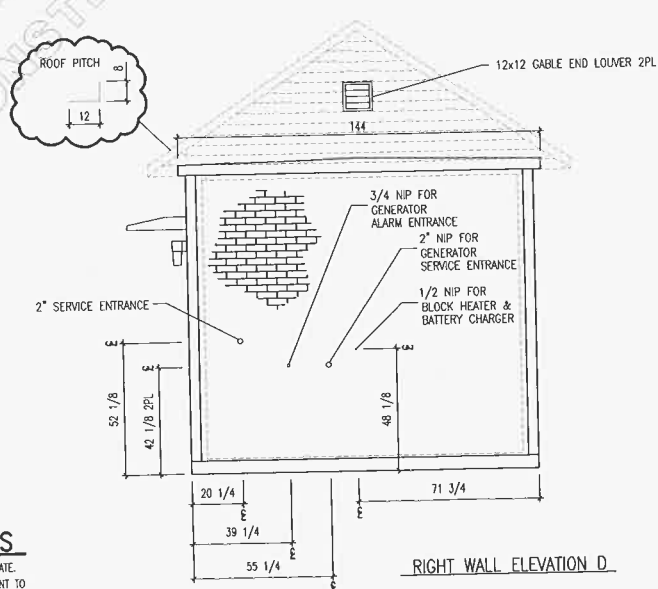
REAR WALL ELEVATION C



FRONT WALL ELEVATION A



LEFT WALL ELEVATION B



RIGHT WALL ELEVATION D

EXTERIOR ELEVATIONS

1. ELECTRICAL DIMENSIONS SHOWN ARE APPROXIMATE.
2. THE MEASUREMENTS MAY BE SLIGHTLY DIFFERENT TO CORRECTLY INSTALLED RIGID NIPPLES.

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DO NOT SCALE DRAWING	
SIZE B	CAGE NO 53223
SCALE 1/4"=1'-0"	MODEL 5445
TITLE 11'6" x 16'0" x 9'2" CONCRETE SHELTER EXTERIOR ELEVATIONS	
DRAWING NO. 205445	
SHEET P4 of 8	

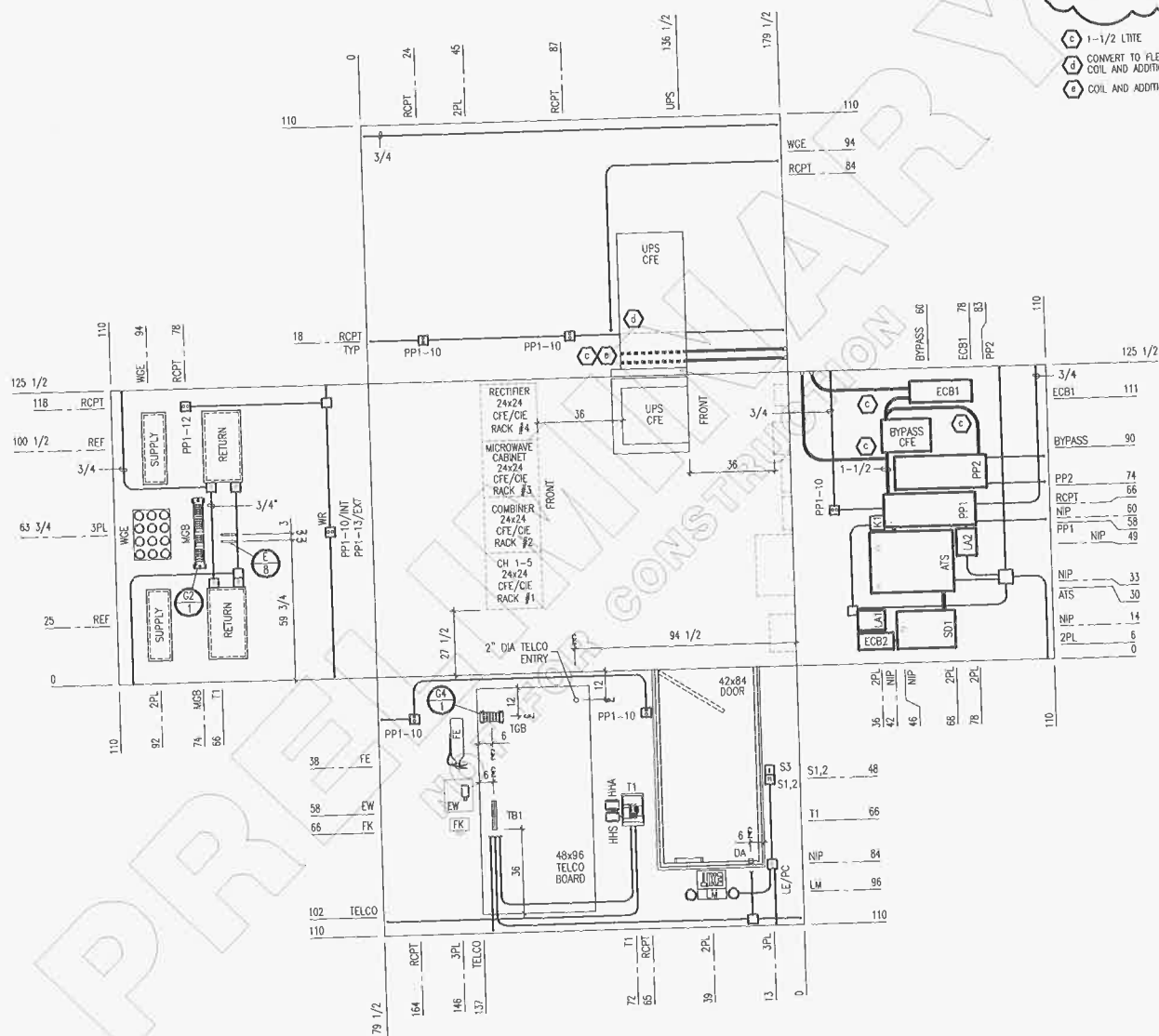
TOLERANCES

ALL DIMENSIONS ARE IN INCHES
UNLESS SPECIFIED OTHERWISE

STANDARD:
FRACTIONS $\pm 1/2"$
DECIMALS $\pm 0.5"$
ANGLES $\pm 3"$

IF NOTED WITH SYMBOL:
▲ FRACTIONS $\pm 1/4"$
● DECIMALS $\pm 0.25"$
○ ANGLES $\pm 1"$

IF NOTED WITH SYMBOL:
● FRACTIONS $\pm 1"$
● DECIMALS $\pm 1.0"$
● ANGLES $\pm 5"$



GENERAL NOTES:

a ALL ALARM WIRING TO BE RUN IN 3/4 CONDUIT

b REFERENCE DWG #277070 SHEET'S 1&2 FOR GROUNDING STANDARDS AND DETAILS.

c 1-1/2 LTITE

d CONVERT TO FLEX FOR UPS ALARMS COIL AND ADDITIONAL 6' LTITE FOR UPS MOVEMENT

e COIL AND ADDITIONAL 6' 1-1/2 LTITE FOR UPS MOVEMENT

REVISIONS

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DRAWN BY S.S. SMITH	DATE 8/15/18
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CHECKED BY	DATE
DRAWING NOT TO SCALE	
SIZE B	CASE NO. 63223
PLOT SCALE 1/4"=1'-0"	MODEL 5445
TITLE 11'6" x 16'0" x 9'2" CONCRETE SHELTER INTERIOR FOLDOUT	
DRAWING NO. 205445	
SHEET P5 OF 8	

INTERIOR FOLDOUT

ALL DIMENSIONS ARE IN INCHES
UNLESS SPECIFIED OTHERWISE

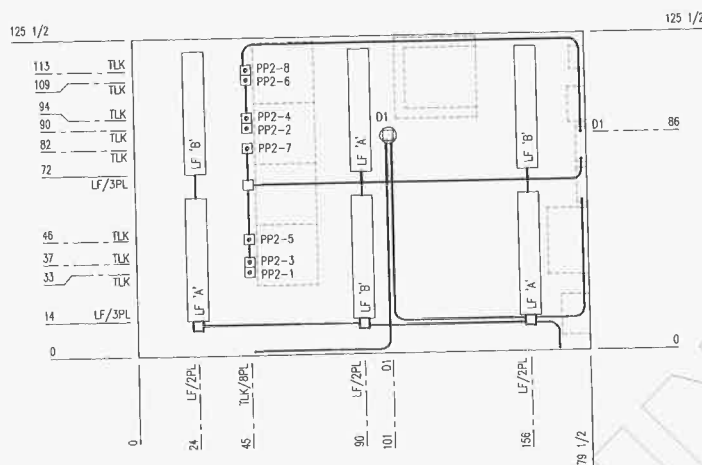
STANDARD:
FRACTIONS $\pm 1/2''$
DECIMALS $\pm 0.5''$
ANGLES $\pm 3'$

IF NOTED WITH SYMBOL:

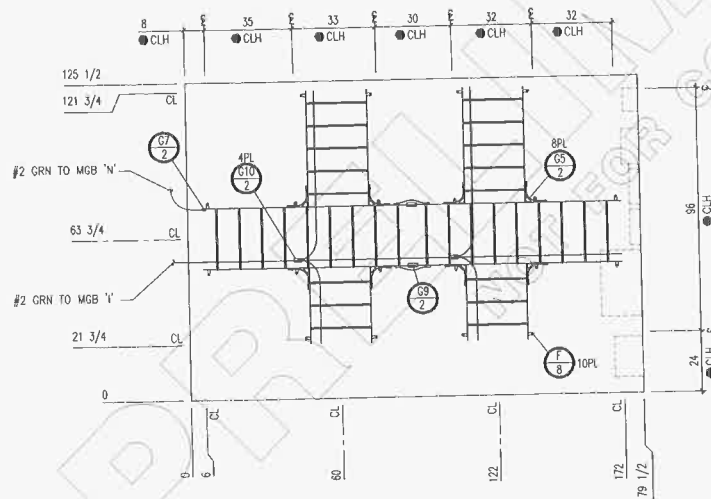
▲ FRACTIONS	$\pm 1/4^{\circ}$
DECIMALS	$\pm 0.25^{\circ}$
ANGLES	$\pm 1'$

IF NOTED WITH SYMBOL:

FRACTIONS	$\pm 1^\circ$
DECIMALS	$\pm 1.0^\circ$
ANGLES	$\pm 5^\circ$



REFLECTED CEILING - ELECTRICAL



REFLECTED CEILING - CABLE LADDER

GENERAL NOTES:

Q REFERENCE DWG #277070 SHEET'S 1&2 FOR GROUNDING
STANDARDS AND DETAILS.

b ALL ALARM CIRCUITS ARE TO BE RUN IN 3/4 EMT

LEGEND

- ACH1 - AIR CONDITIONER/HEATER #1
ACH2 - AIR CONDITIONER/HEATER #2
ATS - AUTOMATIC TRANSFER SWITCH
BYPASS - MAINTENANCE BYPASS SWITCH - UPS
CFE - CUSTOMER FURNISHED EQUIPMENT
CE - CUSTOMER INSTALLED EQUIPMENT
CLT - CIRCUIT
CLH - CABLE LADDER HANGER
CL - CABLE LADDER
DA - DOOR ALARM
DI - SMOKE DETECTOR
ECB1-2 - ENCLOSED CIRCUIT BREAKER
EGB - EXTERIOR GROUND BAR
EW - EYEWASH STATION
EXT - EXTERIOR
FBE - FIRE EXTINGUISHER - 10# CO2
FK - FIRST AID KIT
HHA - HIGH HUMIDITY ALARM - SET @ 80%
HHS - HIGH HUMIDITY SENSOR - SET @ 80%
HTA - HIGH TEMP ALARM - SET @ 85°
INT - INTERIOR
K1 - RELAY - POWER FAILURE
LA1-2 - LIGHTNING ARRESTOR
LF - LIGHT - FLOODSCIENT
LE - LIGHT - EXTERIOR DOOR
LW - LIGHT - EMERGENCY/EXIT
LTA - LOW TEMP ALARM - SET @ 50°
MGB - MAIN GROUND BAR
NP - NIPPLE
PC - PHOTO CELL
PL - PLACES
PP1 - POWER PANEL #1 - UTILITY
PP2 - POWER PANEL #2 - TECH
S1 - SWITCH #1 - INTERIOR "A"
S2 - SWITCH #2 - INTERIOR "B"
S3 - SWITCH #3 - EXTERIOR DOOR
SD1 - SAFETY SWITCH
RE - RECEPTACLE
RT - THERMOSTAT #1
T1 (MC4001-A LEAD/AG-SET 7Z)
TBL - TERMINAL STRIP - ALARMS
TELCO - TELCO MOUNTING BOARD - 48" x 96"
TELCO - TELCO GROUND BAR
TLK - RECEPTACLE - TWIST LOCK
TYP - TYPICAL
UPS - UNINTERRUPTIBLE POWER SYSTEM
WGE - WAVE GUIDE ENTRY
WR - RECEPTACLE - WEATHER RESISTANT
WH4 - 4 x 4 WIREWAY
[] - RECEPTACLE - DUPLEX
[] - DUPLEX - WEATHER RESISTANT
[] - RECEPTACLE - TWISTLOCK
[] - JUNCTION BOX, 4 X 4
[] - JUNCTION BOX, 6 X 6
[] - REF PART LIST ITEM NUMBER
② - REF DWG NOTE

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DRAWING NOT TO SCALE		
SIZE B	CAGE NO 53223	REV —
PLLOT SCALE 1/4"=1'0"	MODEL 5445	
TITLE 11'6" x 16'0" x 9'2" CONCRETE SHELTER REFLECTED CEILING		
DRAWING NO. 205445		
SHEET P6 OF 8		

ALL DIMENSIONS ARE IN INCHES
UNLESS SPECIFIED OTHERWISE

STANDARD:

FRACTIONS	$\pm 1/2^{\circ}$
DECIMALS	$\pm 0.5^{\circ}$
ANGLES	$\pm 3^{\circ}$

IF NOTED WITH SYMBOL:

▲ FRACTIONS	± 1/4"
DECIMALS	± 0.25"
ANGLES	± 1°

IF NOTED WITH SYMBOL:

FRACTIONS	$\pm 1''$
DECIMALS	$\pm 1.0''$
ANGLES	$\pm 5'$



- a** GROUND ALL METALLIC BOXES 6x6 AND LARGER TO HALO W/#6 GRN.
- b** SPLIT HALO BUS AT FAR END AWAY FROM MGB WITH A 12" GAP
- c** COVER/INSULATE ALL C-TAPS WITH EITHER TAPE OR PLASTIC SNAP COVERS.
- d** ALL GROUND LEADS CONNECTED TO THE MGB MUST BE TAGGED OR LABELED.
- e** #6 GROUND FROM CONDUIT RUN TO HALO.
(ONLY ONE CONNECTION PER CONDUIT RUN.)
- f** BEHIND SHEATHING, CADDLE #2 TINNED TO WELD PLATE RUN THRU PVC TO EXTERIOR, TAG "BUILDING STEEL GROUND" COIL 10'
- g** #2 GRN FROM MGB "A" TO SD1 NEUTRAL TO GROUND BOND
- h** #2 GRN FROM MGB "P" TO TELCO GROUND BAR.
- i** #2 GRN FROM MGB "A" TO UPS.

REFERENCE DWG #277070 SHEET'S 1&2 FOR GROUNDING
STANDARDS AND DETAILS.

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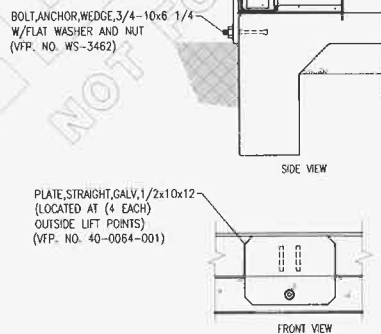
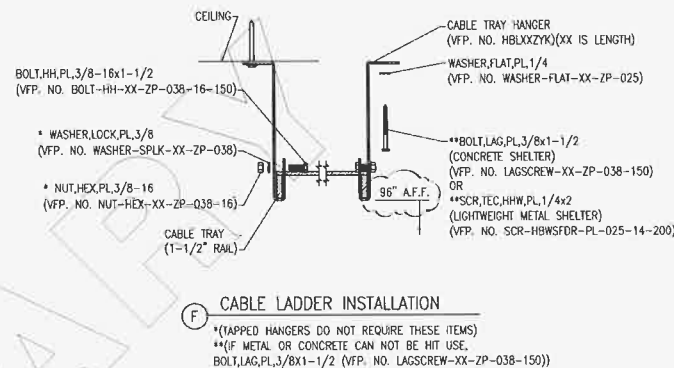
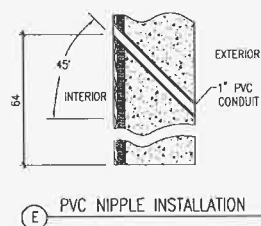
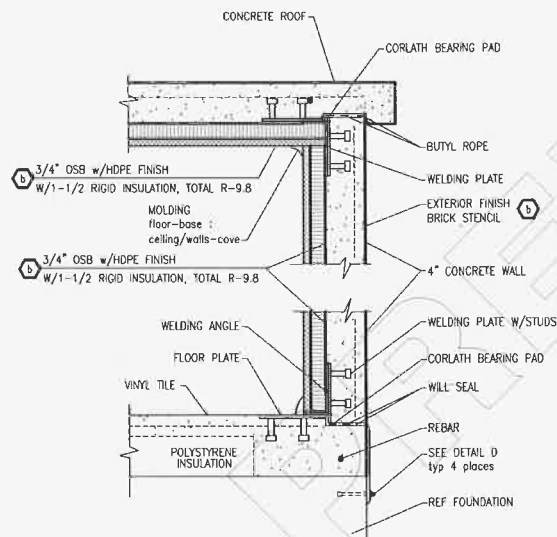
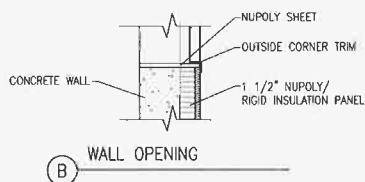
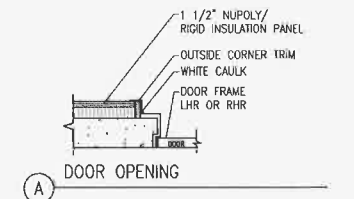
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DRAWING NOT TO SCALE		
SIZE B	CAGE NO 53223	REV —
PLOT SCALE 1/4"=1'-0"	MODEL 5445	
TITLE 11'6" x 16'0" x 9'2" CONCRETE SHELTER INTERIOR GROUNDING		
DRAWING NO. 205445		
SHEET P7 of 8		

Finishing Notes

- Refer to Fastening Schedule Drawing #101562.
- Refer to manufacturing work order or sales order to verify exterior and interior finish of building. Refer to detail C on this page for floor covering.
- Refer to interior layout sheets before routing interior sheathing for miscellaneous openings.



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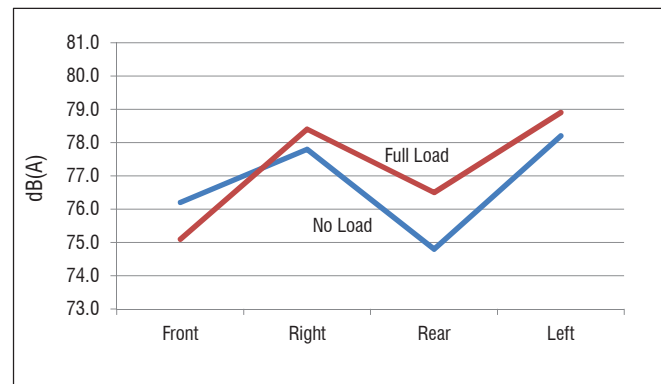
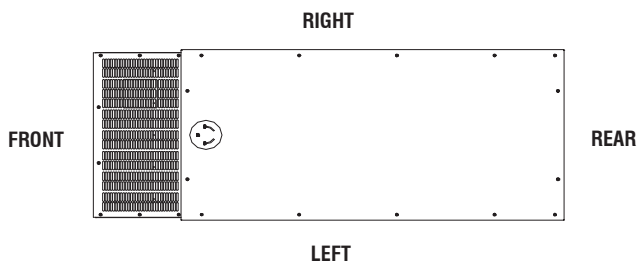
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DESIGNED BY S.D. SMITH	DATE 8/13/18
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CHECKED BY	DATE
DO NOT SCALE DRAWING	
SIZE B	CAGE NO 53223
SCALE 1/4"=1'-0"	MOODS 5445
TITLE 11'6" x 16'0" x 9'2" CONCRETE SHELTER CONSTRUCTION DETAILS	
DRAWING NO. 205445	
SHEET P8 of 8	

STANDARD ENCLOSURE SD35 3.4L GENERAC

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	1/1 OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	28.5	56.2	60.4	65.0	73.0	71.4	65.2	63.2	54.0	76.0
RIGHT	27.9	51.5	63.2	67.9	72.2	73.5	71.5	67.5	59.5	77.8
REAR	31.9	56.7	62.7	65.6	71.7	69.3	64.4	61.9	51.8	74.8
LEFT	26.6	55.7	63.0	65.3	73.2	72.7	72.2	70.5	62.1	78.2
AVERAGE	28.8	55.0	62.3	65.9	72.5	71.8	68.3	65.8	56.8	76.7

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	1/1 OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	29.2	60.1	66.7	65.6	70.3	70.6	64.4	61.5	53.1	75.1
RIGHT	27.4	57.5	72.7	68.5	71.8	72.7	70.5	67.1	59.1	78.4
REAR	31.6	62.3	72.3	66.3	72.0	68.7	63.2	61.0	51.0	76.5
LEFT	29.1	60.8	73.6	66.5	72.4	72.4	71.0	69.8	61.5	78.9
AVERAGE	29.3	60.2	71.3	66.7	71.7	71.1	67.3	64.8	56.2	77.2

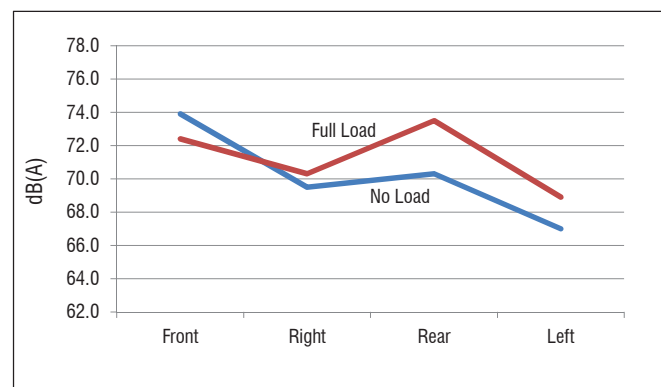
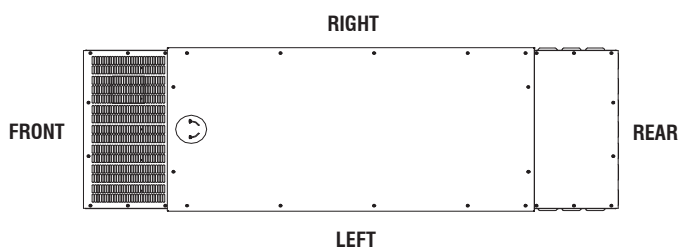


1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

LEVEL 1 ACOUSTIC ENCLOSURE SD35 3.4L GENERAC

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	1/1 OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	29.4	53.7	56.9	61.5	73.1	65.6	57.7	54.9	44.7	73.9
RIGHT	33.4	54.1	60.3	63.3	66.7	60.8	55.8	53.4	44.3	69.5
REAR	29.2	59.2	64.2	64.5	66.2	59.8	56.2	51.3	47.0	70.3
LEFT	27.9	55.0	60.1	60.4	62.6	59.6	54.5	53.4	44.1	67.0
AVERAGE	30.0	55.5	60.4	62.4	67.1	61.5	56.1	53.3	45.0	70.2

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	1/1 OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	26.9	58.5	65.7	60.1	70.4	63.8	56.0	53.1	44.5	72.4
RIGHT	30.6	58.5	65.8	61.9	66.5	59.7	54.1	52.9	44.3	70.3
REAR	28.7	63.0	72.1	62.7	65.9	58.2	54.0	50.0	44.4	73.5
LEFT	30.9	59.5	66.8	58.7	60.8	58.5	53.7	52.3	44.5	68.9
AVERAGE	29.3	59.9	67.6	60.9	65.9	60.1	54.5	52.1	44.4	71.3

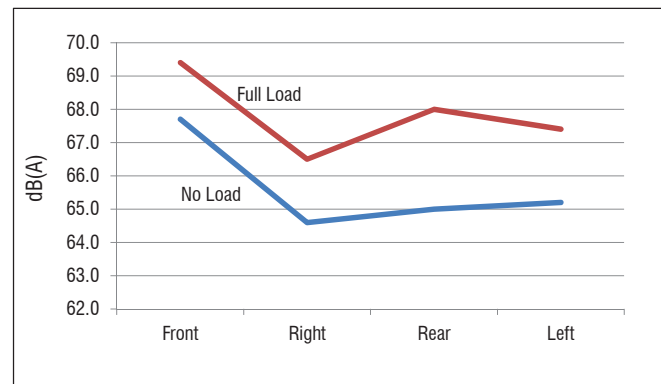
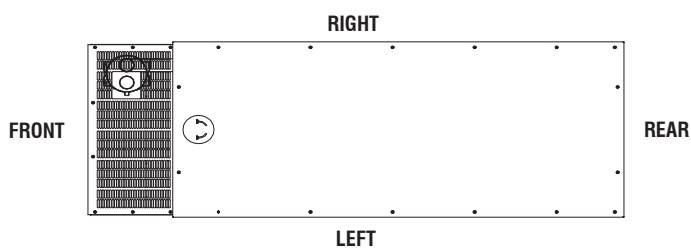


1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

LEVEL 2 ACOUSTIC ENCLOSURE SD35 3.4L GENERAC

60Hz NO-LOAD DATA, dB(A) DISTANCE: 7 METERS										
MICROPHONE LOCATION	1/1 OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	29.5	54.1	56.3	61.7	64.3	61.0	55.2	51.3	42.2	67.7
RIGHT	27.9	52.6	57.2	58.7	60.8	55.2	52.0	49.7	42.9	64.6
REAR	26.9	56.4	56.7	59.5	60.6	55.8	50.3	48.6	37.3	65.0
LEFT	26.8	54.3	56.2	61.5	60.2	55.1	52.1	48.2	39.7	65.2
AVERAGE	27.8	54.4	56.6	60.4	61.5	56.8	52.4	49.4	40.5	65.6

60Hz FULL-LOAD DATA, dB(A) DISTANCE: 7 METERS										
MICROPHONE LOCATION	1/1 OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	28.3	57.9	66.8	60.4	63.6	58.6	52.7	50.3	43.9	69.4
RIGHT	26.5	54.9	64.9	57.7	57.8	53.6	49.8	47.7	42.5	66.5
REAR	28.2	58.2	66.9	58.1	57.8	53.9	47.9	47.0	36.6	68.0
LEFT	28.0	58.7	65.5	59.8	57.2	53.4	50.6	46.9	39.5	67.4
AVERAGE	27.7	57.4	66.0	59.0	59.1	54.9	50.3	48.0	40.6	67.8



1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

GENERAC®

INDUSTRIAL POWER

SD035

3.4L

Industrial Diesel Generator Set

EPA Certified Stationary Emergency

SD035 35 kW

1 of 6

Standby Power Rating
35 kW 44 kVA 60 Hz

Prime Power Rating*
32 kW 39 kVA 60 Hz

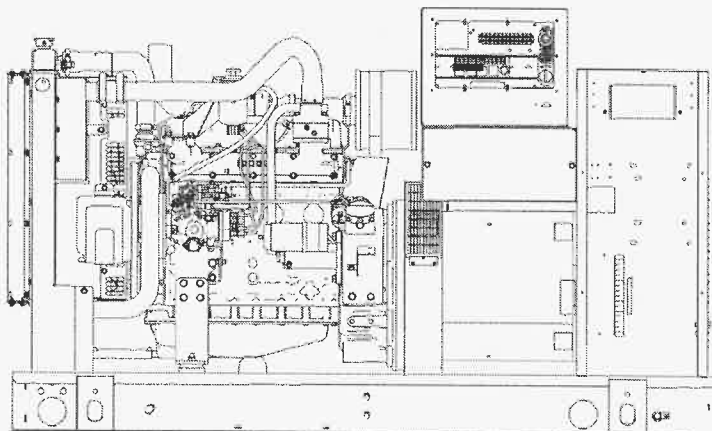


Image used for illustration purposes only

*EPA Certified Prime ratings are not available in the U.S. or its Territories

Codes and Standards

Generac products are designed to the following standards:



UL2200, UL508, UL142, UL498



NFPA70, 99, 110, 37



NEC700, 701, 702, 708



ISO9001, 8528, 3046, 7637, Pluses #2b, 4



NEMA ICS10, MG1, 250, ICS6, AB1



ANSI C62.41
American National Standards Institute

Powering Ahead

For over 50 years, Generac has led the industry with innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

Generac's gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial application under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

SD035

Standard Features

ENGINE SYSTEM

- General
- Oil Drain Extension
- Air Cleaner
- Fan Guard
- Stainless Steel flexible exhaust connection
- Critical Exhaust Silencer (enclosed only)
- Factory Filled Oil
- Radiator Duct Adapter (open set only)

Fuel System

- Fuel lockoff solenoid
- Primary fuel filter

Cooling System

- Closed Coolant Recovery System
- UV/Ozone resistant hoses
- Factory-Installed Radiator
- Radiator Drain Extension
- 50/50 Ethylene glycol antifreeze
- 120 VAC Coolant Heater

Engine Electrical System

- Battery charging alternator
- Battery cables
- Battery tray
- Solenoid activated starter motor
- Rubber-booted engine electrical connections

ALTERNATOR SYSTEM

- UL2200 GENprotect™
- 12 leads (3-phase, non 600 V)
- Class H insulation material
- Vented rotor
- 2/3 pitch
- Skewed stator
- Auxiliary voltage regulator power winding
- Amortisseur winding
- Brushless Excitation
- Sealed Bearings
- Automated manufacturing (winding, insertion, lacing, varnishing)
- Rotor dynamically spin balanced (get tolerance)
- Full load capacity alternator
- Protective thermal switch

GENERATOR SET

- Internal Genset Vibration Isolation
- Separation of circuits - high/low voltage
- Separation of circuits - multiple breakers
- Silencer Heat Shield
- Wrapped Exhaust Piping
- Silencer housed in discharge hood (enclosed only)
- Standard Factory Testing
- 2 Year Limited Warranty (Standby rated Units)
- 1 Year Limited Warranty (Prime rated units)
- Silencer mounted in the discharge hood (enclosed only)

ENCLOSURE (if selected)

- Rust-proof fasteners with nylon washers to protect finish
- High performance sound-absorbing material
- Gasketed doors
- Stamped air-intake louvers
- Air discharge hoods for radiator-upward pointing
- Stainless steel lift off door hinges
- Stainless steel lockable handles
- Rhino Coat™ - Textured polyester powder coat

TANKS (if selected)

- UL 142
- Double wall
- Vents
- Sloped top
- Sloped bottom
- Factory pressure tested (2 psi)
- Rupture basin alarm
- Fuel level
- Check valve in supply and return lines
- Rhino Coat™ - Textured polyester powder coat
- Stainless hardware

CONTROL SYSTEM



Control Panel

- Digital H Control Panel - Dual 4x20 Display
- Programmable Crank Limiter
- 7-Day Programmable Exerciser
- Special Applications Programmable PLC
- RS-232/485
- All-Phase Sensing DVR
- Full System Status
- Utility Monitoring
- Low Fuel Pressure Indication
- 2-Wire Start Compatible
- Power Output (kW)
- Power Factor
- kW Hours, Total & Last Run

- Real/Reactive/Apparent Power
- All Phase AC Voltage
- All Phase Currents
- Oil Pressure
- Coolant Temperature
- Coolant Level
- Engine Speed
- Battery Voltage
- Frequency
- Date/Time Fault History (Event Log)
- Isochronous Governor Control
- Waterproof/sealed Connectors
- Audible Alarms and Shutdowns
- Not in Auto (Flashing Light)
- Auto/Off/Manual Switch
- E-Stop (Red Mushroom-Type)
- NFPA110 Level I and II (Programmable)
- Customizable Alarms, Warnings, and Events
- Modbus protocol
- Predictive Maintenance algorithm
- Sealed Boards
- Password parameter adjustment protection
- Single point ground

- 15 channel data logging
- 0.2 msec high speed data logging
- Alarm information automatically comes up on the display

Alarms

- Oil Pressure (Pre-programmable Low Pressure Shutdown)
- Coolant Temperature (Pre-programmed High Temp Shutdown)
- Coolant Level (Pre-programmed Low Level Shutdown)
- Low Fuel Pressure Alarm
- Engine Speed (Pre-programmed Over speed Shutdown)
- Battery Voltage Warning
- Alarms & warnings time and date stamped
- Alarms & warnings for transient and steady state conditions
- Snap shots of key operation parameters during alarms & warnings
- Alarms and warnings spelled out (no alarm codes)

SD035

Configurable Options

ENGINE SYSTEM

- ☐ General
- ☐ Oil Make-Up System
- ☐ Oil Heater
- ☐ Industrial Exhaust Silencer

Fuel System

- ☐ Flexible fuel lines
- ☐ Primary fuel filter

Engine Electrical System

- ☐ 10A UL battery charger
- ☐ 2.5A UL battery charger
- ☐ Battery Warmer

ALTERNATOR SYSTEM

- ☐ Alternator Upsizing
- ☐ Anti-Condensation Heater
- ☐ Tropical coating
- ☐ Permanent Magnet Excitation

CIRCUIT BREAKER OPTIONS

- ☐ Main Line Circuit Breaker
- ☐ 2nd Main Line Circuit Breaker
- ☐ Shunt Trip and Auxiliary Contact
- ☐ Electronic Trip Breakers

GENERATOR SET

- ☐ Gen-Link Communications Software (English Only)
- ☐ 8 Load Position Load Center
- ☐ 2 Year Extended Warranty
- ☐ 5 Year Warranty
- ☐ 5 Year Extended Warranty

ENCLOSURE

- ☐ Weather Protected
- ☐ Level 1 Sound Attenuation
- ☐ Level 2 Sound Attenuation
- ☐ Steel Enclosure
- ☐ Aluminum Enclosure
- ☐ 150 MPH Wind Kit
- ☐ 12 VDC Enclosure Lighting Kit
- ☐ 120 VAC Enclosure Lighting Kit
- ☐ AC/DC Enclosure Lighting Kit
- ☐ Door Alarm Switch

TANKS (Size on last page)

- ☐ Electrical Fuel Level
- ☐ Mechanical Fuel Level
- ☐ 54 Gal (204.4 L) Usable Capacity
- ☐ 132 Gal (499.7 L) Usable Capacity
- ☐ 211 Gal (798.7 L) Usable Capacity
- ☐ 300 Gal (1135.6 L) Usable Capacity
- ☐ 8" Vent Extension
- ☐ 13" Vent Extension
- ☐ 19" Vent Extension

CONTROL SYSTEM

- ☐ 21-Light Remote Annunciator
- ☐ Remote Relay Panel (8 or 16)
- ☐ Oil Temperature Sender with Indication Alarm
- ☐ Remote E-Stop (Break Glass-Type, Surface Mount)

- ☐ Remote E-Stop (Red Mushroom-Type, Surface Mount)
- ☐ Remote E-Stop (Red Mushroom-Type, Flush Mount)
- ☐ Remote Communication - Modem

- ☐ Remote Communication - Ethernet
- ☐ 10A Run Relay
- ☐ Ground fault indication and protection functions

Engineered Options

ENGINE SYSTEM

- ☐ Coolant heater ball valves
- ☐ Block Heaters
- ☐ Fluid containment pans

ALTERNATOR SYSTEM

- ☐ 3rd Breaker System

GENERATOR SET

- ☐ Special Testing
- ☐ IBC Seismic Certification

ENCLOSURE

- ☐ Motorized Dampers
- ☐ Door switched for intrusion alert
- ☐ Enclosure ambient heaters

TANKS

- ☐ Overfill protection valve
- ☐ UL2085 Tank
- ☐ ULC S-601 Tank
- ☐ Stainless Steel Tank
- ☐ Special Fuel Tanks (MIDEQ and FL DEP/DERM, etc.)
- ☐ Vent Extensions

CONTROL SYSTEM

- ☐ Spare inputs (x4) / outputs (x4) - H Panel Only
- ☐ Battery Disconnect Switch

Rating Definitions

Standby – Applicable for a varying emergency load for the duration of a utility power outage with no overload capability.

Prime – Applicable for supplying power to a varying load in lieu of utility for an unlimited amount of running time. A 10% overload capacity is available for 1 out of every 12 hours. The Prime Power option is only available on International applications.

Power ratings in accordance with ISO 8528-1, Second Edition dated 2005-06-01, definitions for Prime Power (PRP) and Emergency Standby Power (ESP).

SD035

application and engineering data

ENGINE SPECIFICATIONS

General

Make	Generac
EPA Emissions Compliance	Stationary Emergency
EPA Emissions Reference	See Emissions Data Sheet
Cylinder #	4
Type	In-Line
Displacement - L (cu in)	3.4 (207.48)
Bore - mm (in)	98 (3.86)
Stroke - mm (in)	113 (4.45)
Compression Ratio	18.5:1
Intake Air Method	Turbocharged/Aftercooled
Cylinder Head Type	Cast Iron OHV
Piston Type	Aluminum
Crankshaft Type	Forged Steel

Engine Governing

Governor	Electronic Isochronous
Frequency Regulation (Steady State)	$\pm 0.25\%$

Lubrication System

Oil Pump Type	Gear
Oil Filter Type	Full Flow Cartridge
Crankcase Capacity - L (qts)	7 (7.4)

Cooling System

Cooling System Type	Closed Recovery
Water Pump Flow	Pre-Lubed, Self Sealing
Fan Type	Pusher
Fan Speed (rpm)	NA
Fan Diameter mm (in)	560 (22)
Coolant Heater Wattage	1500
Coolant Heater Standard Voltage	120 V /240 V

Fuel System

Fuel Type	Ultra Low Sulfur Diesel Fuel
Fuel Specifications	ASTM
Fuel Filtering (microns)	10
Fuel Inject Pump	Bosch (VE)
Fuel Pump Type	Engine Driven Gear
Injector Type	Pintel - 2100 PSI
Fuel Supply Line - mm (in)	7.92 (0.312)
Fuel Return Line - mm (in)	7.92 (0.312)

Engine Electrical System

System Voltage	12 VDC
Battery Charging Alternator	20 A
Battery Size	See Battery Index 0161970SBY
Battery Voltage	12 VDC
Ground Polarity	Negative

ALTERNATOR SPECIFICATIONS

Standard Model	390
Poles	4
Field Type	Revolving
Insulation Class - Rotor	H
Insulation Class - Stator	H
Total Harmonic Distortion	< 3%
Telephone Interference Factor (TIF)	< 50
Standard Excitation	Synchronous
Bearings	Single Sealed Cartridge
Coupling	Direct, Flexible Disc
Load Capacity - Standby	100%
Prototype Short Circuit Test	Yes

Voltage Regulator Type	Digital
Number of Sensed Phases	All
Regulation Accuracy (Steady State)	$\pm 0.25\%$

SD035

operating data

SD035 35 kW

5 of 6

POWER RATINGS

	Standby
Single-Phase 120/240 VAC @1.0pf	35 kW Amps: 146
Three-Phase 120/208 VAC @0.8pf	35 kW Amps: 122
Three-Phase 120/240 VAC @0.8pf	35 kW Amps: 105
Three-Phase 277/480 VAC @0.8pf	35 kW Amps: 53
Three-Phase 346/600 VAC @0.8pf	35 kW Amps: 42

STARTING CAPABILITIES (sKVA)

		sKVA vs. Voltage Dip											
		480 VAC						208/240 VAC					
Alternator	kW	10%	15%	20%	25%	30%	35%	10%	15%	20%	25%	30%	35%
Standard	35	24	36	48	60	72	84	18	27	36	45	54	63
Upsize 1	40	27	41	54	68	81	95	20	31	41	51	61	71
Upsize 2	50	34	52	69	86	103	120	26	39	52	65	77	90
Upsize 3	60	42	63	83	104	125	146	32	47	62	78	94	110

FUEL CONSUMPTION RATES*

		Diesel - gph (lph)	
Fuel Pump Lift - ft (m)	3 (1)	Percent Load	gph (lph)
Total Fuel Pump Flow (Combustion + Return)	5.5 gph	25%	1.03 (3.90)
		50%	1.72 (6.52)
		75%	2.4 (9.09)
		100%	3.1 (11.74)

* Fuel supply installation must accommodate fuel consumption rates at 100% load.

COOLING

		Standby
Coolant Flow per Minute	gpm (lpm)	12.2 (46)
Coolant System Capacity	gal (L)	2.5 (9.5)
Heat Rejection to Coolant	BTU/hr	96,000
Inlet Air	cfm (m3/hr)	7500 (212)
Max. Operating Radiator Air Temp	F° (C°)	122 (50)
Max. Ambient Temperature (before derate)	F° (C°)	110 (43.3)
Maximum Radiator Backpressure	in H ₂ O	0.5

COMBUSTION AIR REQUIREMENTS

	Standby
Flow at Rated Power cfm (m3/min)	150 (4.2)

ENGINE

		Standby
Rated Engine Speed	rpm	1800
Horsepower at Rated kW**	hp	56
Piston Speed	ft/min (m/min)	1335
BMEP	psi	118

** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

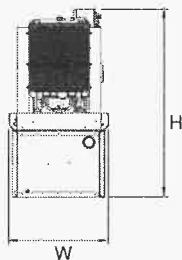
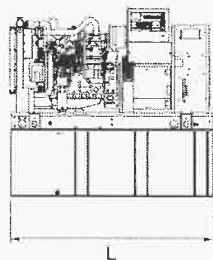
EXHAUST

		Standby
Exhaust Flow (Rated Output)	cfm (m³/min)	342 (9.7)
Max. Backpressure (Post Silencer)	inHg (Kpa)	1.5 (5.1)
Exhaust Temp (Rated Output)	°F (°C)	900 (482)
Exhaust Outlet Size (Open Set)	mm (in)	63.5 (2.5)

Deration - Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions. Please consult a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528 and DIN6271 standards.

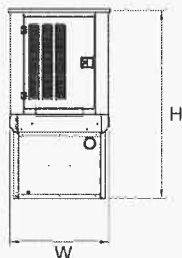
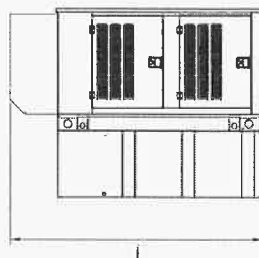
SD035

dimensions and weights*



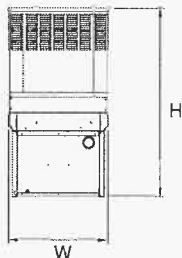
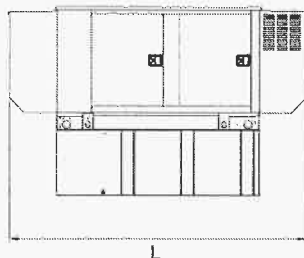
OPEN SET

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Tank & Open Set
NO TANK	-	76 (1930.4) x 38 (914.4) x 45 (1143)	1756 (796)
17	54 (204.4)	76 (1930.4) x 38 (914.4) x 58 (1473.2)	2236 (1014)
43	132 (499.7)	76 (1930.4) x 38 (914.4) x 70 (1778)	2466 (1119)
68	211 (798.7)	76 (1930.4) x 38 (914.4) x 82 (2082.8)	2675 (1213)
97	300 (1135.6)	93 (2362.2) x 38 (914.4) x 86 (2184.4)	2738 (1242)



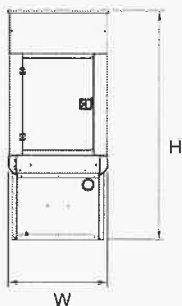
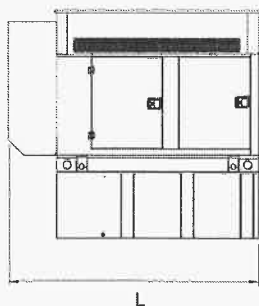
STANDARD ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Enclosure Only	
			Steel	Aluminum
NO TANK	-	95 (2413) x 38 (965.2) x 50 (1270)	334 (152)	115 (52)
17	54 (204.4)	95 (2413) x 38 (965.2) x 63 (1600.2)		
43	132 (499.7)	95 (2413) x 38 (965.2) x 75 (1905)		
68	211 (798.7)	95 (2413) x 38 (965.2) x 87 (2209.8)		
97	300 (1135.6)	95 (2413) x 38 (965.2) x 91 (2311.4)		



LEVEL 1 ACOUSTIC ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Enclosure Only	
			Steel	Aluminum
NO TANK	-	113 (2870.2) x 38 (965.2) x 50 (1270)	435 (198)	150 (68)
17	54 (204.4)	113 (2870.2) x 38 (965.2) x 63 (1600.2)		
43	132 (499.7)	113 (2870.2) x 38 (965.2) x 75 (1905)		
68	211 (798.7)	113 (2870.2) x 38 (965.2) x 87 (2209.8)		
97	300 (1135.6)	113 (2870.2) x 38 (965.2) x 91 (2311.4)		



LEVEL 2 ACOUSTIC ENCLOSURE

RUN TIME HOURS	USABLE CAPACITY GAL (L)	L x W x H in (mm)	WT lbs (kg) - Enclosure Only	
			Steel	Aluminum
NO TANK	-	95 (2413) x 38 (965.2) x 62 (1574.8)	520 (236)	179 (81)
17	54 (204.4)	95 (2413) x 38 (965.2) x 75 (1905)		
43	132 (499.7)	95 (2413) x 38 (965.2) x 87 (2209.8)		
68	211 (798.7)	95 (2413) x 38 (965.2) x 99 (2514.6)		
97	300 (1135.6)	95 (2413) x 38 (965.2) x 103 (2616.2)		

*All measurements are approximate and for estimation purposes only. Sound dBA can be found on the sound data sheet. Enclosure Only weight is added to Tank & Open Set weight to determine total weight.

YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

Specification characteristics may change without notice. Dimensions and weights are for preliminary purposes only. Please consult a Generac Power Systems Industrial Dealer for detailed installation drawings.

Generac Power Systems, Inc. • S45 W29290 HWY. 59, Waukesha, WI 53189 • generac.com

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SITE PLAN REVIEW (AMENDMENT)

9/12/16 Plan Commission Meeting

Saxony Village / Heritage Place Joint Venture

Village Planner Report

Germantown, Wisconsin

Summary

Scott Bence, JBJ Development and agent for Heritage Place Joint Venture, property owner, has submitted a request to amend a condition of the Plan Commission Site Plan approval for the 172-unit multi-family apartment community called "Saxony Village" on a 22.73 acre parcel located at approximately N116 W16200 Main Street.

Property Location: N116 W16200 Main Street (south of Main Street @ Park Avenue)

Applicant/

Property Owner: Scott Bence, JBJ Development, Agent
Heritage Place Joint Venture LLC
W178 N9912 Rivercrest Drive, Germantown, WI

Current Zoning: Rm-2: Multi-family Residential & B-3: General Business

Adjacent Land Uses		Zoning
North	Commercial	B-3
South	Multi-family Residential	Rm-2/PDD
East	Multi-family Residential	Rm-2/PDD
West	Multi-family Residential	Rm-2/Rm-3



Background/Proposal

Scott Bence, JBJ Development and agent for Heritage Place Joint Venture, property owner, has submitted a request to amend a condition of the Plan Commission Site Plan approval for the 172-unit multi-family apartment community called "Saxony Village" on a 22.73 acre parcel located at approximately N116 W16200 Main Street.

At the December 14, 2015 meeting, the Plan Commission granted approval of the Saxony Village development subject to a series of conditions (see enclosed meeting minutes). *[NOTE: while not directly related to this request, it should be noted that one of the conditions of approval was to remove or eliminate apartment Building #6, the associated garage and all other development in the southeast corner of the site (see enclosed Site Plan). Consequently, the developer appealed the Plan Commission's decision, including elimination of Building #6 to the Board of Zoning Appeals (BOZA). Upon review and consideration of the appeal, the BOZA ruled that the PC exceeded its authority and reversed the decision to eliminate Building #6 (see attached BOZA Decision and Order). Therefore, Building #6 is part of the development and approved Site Plan].*

As stated in the developer's August 26 request letter (copy attached), Condition #4 lumps the approval of all development is "...subject to the DNR granting approval of any/all soil management, vapor mitigation and any other remediation plans, measures, improvements and/or other "continuing obligations required...". The developer indicates that they would like to commence construction on the approved improvements planned for the southeast area of the site, including the construction of Building #6, because the 1.5-acre contaminated soil area is located in the northwest corner of the site and that DNR approval is expected no sooner than another 4-8 weeks.

Therefore, the developer is requesting that Condition #4 be amended as follows where words underlined are to be added:

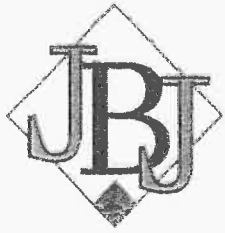
Approval is subject to the DNR granting approval of the required soil management, vapor mitigation and any other remediation plans, measures, improvements and/or other "continuing obligations" required under the "closure letters" issued for the former Jacobus Oil Co. and CMC Heartland Partners parcels. Site, access and utility improvements outside of the designated DNR contamination is not subject to this condition and may begin prior to DNR granting approval.

Staff Comments

If the Plan Commission is agreeable to the request, staff recommends that the following statement be added to the last sentence:

"...subject to the developer obtaining all other Village permits and approvals required in advance of commencing construction of said improvements".

Also, the additional language proposed by the developer does not clearly state that Building #6 or the accessory garage are included in the improvements that could move forward before DNR approval is received. Therefore, if as stated in the request letter that the developer intends to begin construction on Building #6 and the accessory garage, the phrase "Building #6 and accessory garage" should be added to the proposed language.



J.B.J. Development
A division of J.B.J. Companies, Inc.

W178 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
Phone: 262-255-1800
Fax: 262-255-2234
www.jbjcompanies.com

August 26, 2016

Village of Germantown
Planning and Zoning Department
Attention: Jeff Retzlaff
N112 W17001 Mequon Road
Germantown, WI 53022

RE: Saxony Village Development – Plan Commission Request to Amend Condition #4

Dear Mr. Retzlaff –

J.B.J. Development, on behalf of Heritage Place Joint Venture, is hereby requesting a revision to Condition #4 of the Plan Commission's conditional approval of the Site Development, Building and Site Plans for Saxony Village on December 14, 2015. Our request for the revision is so that we may begin to move forward on the work outside of the contaminated area.

The Condition #4 as it is written states:

Approval is subject to the DNR granting approval of the required soil management, vapor mitigation and any other remediation plans, measures, improvements and/or other "continuing obligations" required under the "closure letters" issued for the former Jacobus Oil Co. and CMC Heartland Partners parcels.

We are requesting that Condition #4 be revised to state:

Approval is subject to the DNR granting approval of the required soil management, vapor mitigation and any other remediation plans, measures, improvements and/or other "continuing obligations" required under the "closure letters" issued for the former Jacobus Oil Co. and CMC Heartland Partners parcels. Site, access, and utility improvements outside the designated DNR contamination is not subject to this condition and may begin prior to DNR granting approval.

The contamination area is less than 1.5 acres located in the northwest corner of the overall 23.7 acre site. We would like to begin work in the southeast corner of the site, including building 6 and related detached garages, site grading, culvert replacement, etc.

We agree that no work shall be performed in the contamination area until the DNR approval is received, however with the way the condition is currently written we are not allowed to complete any work on the entire site. We anticipate this permit to be issued in the next 4-8 weeks. At this time, all the DNR concerns have been addressed and we are waiting for their final response and approval letter. The DNR is ok with work starting immediately in the non-contaminated areas of the site.

It should be noted that at this time we have fulfilled all conditions except for Condition #4.

We ask that you please consider this revision at the next Plan Commission meeting on September 12, 2016.

Sincerely,

Scott J. Bence

Scott J. Bence
J.B.J. Development, agent for
Heritage Place Joint Venture

1. ***State approval of and a Village building permit for the concrete pad and tank installation is required.***

Commissioner Laszewski said if the tank was the same color as the building it wouldn't be as noticeable. He added that using Colorado blue spruce trees may be a better choice for screening the tank. Rick Roofe, Airgas, explained the tanks are white to prevent UV light from getting into the tank. Trustee Baum asked for some background on the Park. He said his understanding was the Park was supposed to be more business park than industrial. He said this building started as an office building and is now more industrial. Planner Retzlaff said over time this project has developed and production changed. The Village has been accepting and flexible to accommodate them. He said the southerly part of the Park has been more accepting to these types of uses and the northern half is more business. Trustee Baum asked why a screen wall can't be built. Mr. Roofe said the louvers won't allow sunlight in that is needed to help melt ice on the vaporizer unit. He explained if ice forms it is difficult to get in and move around and added that oxygen deficiency is also a concern. Trustee Baum confirmed that there is no additional space on the property to put the tank.

MOTION carried unanimously.

**JBJ Development for Heritage Place Joint Venture, MC Investments and Land 15, LLC
23.7 acres on Main Street (approximately N116 W16200). Site and Sign Plan
Review/Action for a 172-Unit Multi-Family Residential Development (Saxony Village).**

Scott Bence, JBJ Development and agent for Heritage Place Joint Venture, MCB Investments LLC and Land 15 LLC, property owners, has submitted site development, building and sign plans for a proposed 172-unit multi-family apartment community called Saxony Village on a 22.73 acre parcel on Main Street. Planner Retzlaff summarized the proposal. Scott Bence, JBJ Development, said he had met with various committees and boards and thinks this is a good project saying it provides great pedestrian access, vehicle access, walk ability to Main Street and changes a Brownfield to a green field. Gene Guskowski, AG Architecture, said the development has a modern look with amenities people are looking for and is designed to meet the needs of the potential market.

MOTION Baum second Shadid to APPROVE the site development, building and sign plans for the proposed 172-unit Saxony Village development subject to the following conditions:

1. ***All items and requirements recommended by the Public Works Department/Village Engineer in the December 8, 2015 review memos shall be addressed as part of additional and/or revised detailed construction plans prior to commencement of construction. Final approval for all utility plans, including the need for a developer's agreement with the Village, shall be approved prior to commencement of construction.***
2. ***Approval is subject to Village Board approval of a conditional use permit (CUP) for the proposed development within the Village's 25' wetland setback. In the event CUP approval is not granted, revised site development plans must be submitted for further review and consideration by the Plan Commission.***
3. ***Approval is subject to the DNR and/or ACOE granting approval of the Waterway General permits necessary for the proposed culvert replacement, wetland fill, and storm water basin construction.***
4. ***Approval is subject to the DNR granting approval of the required soil management, vapor mitigation and any other remediation plans, measures, improvements and/or***

other “continuing obligations” required under the “closure letters” issued for the former Jacobus Oil Co. and CMC Heartland Partners parcels.

- 5. The Developer shall provide the following as required by the Fire Department: Fire protection equipment panels and FDC locations to be approved by GFD inspection; GFD-approved stand pipes in each building stairway on every floor in lieu of providing full paved road access around the buildings.*
- 6. State-approved building plans shall be provided with all building permit applications for all of the six buildings (excluding the detached accessory maintenance building and garages that will only require Village-approved plans).*

A lengthy discussion followed. Commissioner Shadid asked if the project is in compliance with the current zoning or offends any policies with the Village. Planner Retzlaff confirmed the proposal is in compliance with existing Village regulations after working through various plan revisions and concerns with staff. Commissioner Shadid stated that he is here to administer the policy, not change it.

Trustee Baum said he was now against this project and does not like the contemporary buildings for this location. He feels that Building #6 on the southeast corner is an appendage that doesn't tie into anything. He did not like the aluminum siding or independent parking structures and feels they are there to negotiate something else. He recommended eliminating those buildings and dropping the total number of units from 172 to 160 units to work more towards what the residents want. He has additional concerns with crossing the wetland and the road connection to Hilbert Lane. He is agreeable with the general layout but asked for the Village Attorney's legal opinion regarding connecting streets. Village Attorney Sajdak summarized the provisions of Chapter 18 that talk about certain improvements. Discussion followed. Planner Retzlaff said the plan would need to be modified to meet Village standards if a public street is required. He said a public street would appear on various maps and GPS systems thereby creating the potential for more through traffic across Hilbert Lane by linking Main Street to Hilbert Lane. Retzlaff pointed out other developments including Blackstone Creek, Riversbend and development west along Main Street that all have private streets connecting to a public street with no problems. Trustee Baum said the development is now missing things that made it a benefit to the Village.

Chairman Wolter asked for clarification from the Village Attorney regarding Section 18 confirming that this development is not a subdivision so the connectivity of a private road to public road does not apply here. Attorney Sajdak said the requirements of Chapter 18 do not specifically apply because this development is not a subdivision, but this body could turn to this Section as a form of guidance. Chairman Wolter asked if the connection to Hilbert Lane would be needed if the building in the southeast corner is removed, thereby eliminating the public street connectivity and thoroughfare. He said there would be additional queuing and traffic at Main Street with Castle Drive becoming an outlet. He agreed with Planner Retzlaff saying a public street would draw people to it. Trustee Baum was concerned with all the traffic from the development using Main Street and said a new traffic study would be needed.

Mr. Bence said the materials on the building in the southeast corner are the same as his building on Fond du Lac Avenue. He said this building is not visible from the other 5 buildings and is more accommodating to the buildings on Hilbert Lane. He indicated he could mimic the architecture on the other buildings but did not want to eliminate the 6th building. He said he would be disappointed if a public street was required because that was never discussed previously.

Commissioner Yokes questioned the need for the surface stalls for building #6. Mr. Bence explained the average parking allowance he uses for this type of development is 2.5 cars per unit. The additional parking allows for parties, snow storage and move in/move out parking. Commissioner Yokes said he was in favor of the road connecting to Hilbert Lane but questioned if the road design could decrease in width. He was not sold on the architecture stating he would have preferred 3-story buildings. Chairman Wolter explained the 3-story buildings were removed because the PDD was not approved.

Commissioner Nilles did not care for Building #6 and asked if the developer was intent on keeping it. Mr. Bence said the land was usable and that building is part of the project.

Commissioner Laszewski said there was some compelling history that this project was always approached using net density, not gross. Chairman Wolter said this project falls under the old code definition and the Plan Commission decides what to approve. He explained that some previous planners had interpreted the code differently than Planner Retzlaff. He said the Village Attorney's opinion is that because of how the code is actually written the Village has the ability to consider this project based on gross density. Planner Retzlaff said that the previous proposals for this property were submitted before the current Comprehensive Land Use Plan map and policies were adopted in 2004 and that the current 2020 Land Use Plan for the Village shows this area as mixed-use intended for development of a higher quality and higher density residential housing that would lend further support to the commercial district. He indicated that it is not appropriate to consider previous proposals for development of this property submitted before the current comprehensive plan was adopted because we now have a plan in place to guide current and future decisions.

Commissioner Gray had no problem with crossing wetlands and liked the connection to Hilbert Lane. She liked the architecture and urban feel of the development but had some concerns with the clubhouse saying it didn't seem to have the same character as the other buildings. She said the landscape plan needs some shade trees.

MOTION to Amend Gray second Shadid to add 6 shade trees to the landscape plan.
MOTION Withdrawn.

Discussion continued.

MOTION to Amend Baum second Nilles that the exterior appearance on the architecture on the renderings be switched from a flat roof to a gable roof.

MOTION to Amend carried (6-1 Gray).

MOTION to Amend Baum second Nilles to remove all the development on southeast corner of the property, the 12 unit apartment building and the two 10 unit garages.

Commissioner Gray said the developer has a right to develop the land and he can put an apartment building on it. Chairman Wolter explained Trustee Baum doesn't want to see a building on that end of the site plan.

MOTION to Amend carried (6-1 Gray).

MOTION to Amend Baum second Nilles to eliminate the connection to Hilbert Lane and a new traffic study be done showing a single way in.

Trustee Baum was concerned that because of the overwhelming denial of the PDD by the Village Board, he doesn't think the permit to allow the wetland crossing will be approved and he would like to see a plan that doesn't have that connection. Planner Retzlaff asked if a revised traffic study will be needed because the original concern was how the existing street system can support this amount of development. Attorney Sajdak said if a revised traffic study is wanted, it should be included in the motion. Planner Retzlaff asked Trustee Baum if the Village Board approves the wetland crossing permit and the connection would he accept the current site plan alternative. Trustee Baum said the Village Board has final say on the wetland crossing and Hilbert Lane connection. Chairman Wolter said that review process is removed through this motion. Trustee Baum withdrew the motion to amend.

MOTION to Amend Withdrawn.

MOTION to Amend Baum second Shadid that the connection of the entrance drive lane to Main Street be widened up so there's a left turn lane, a right turn lane and an inbound lane.

MOTION to Amend carried unanimously.

Mr. Guskowski, asked if the Plan Commission would be open to exploring a design that would have a combination of flat and pitched roofs. Trustee Baum said that design would not tie into the neighboring developments, but he's open to looking at that possibility. Attorney Sajdak clarified the motion is to approve the plan as presented with a motion to remove the flat roofs and add gable roofs. He said it doesn't mean it needs to come back to the Plan Commission for review.

MOTION to Amend Wolter second Baum to lower the density to 6 units per acre, taking it off of the 7.2 making available units buildable at 142.

Chairman Wolter said this body has the ability to approve up to 8 units per acre and this proposal is currently proposed at 7.2. He indicated his motion is to take it to 6 units per acre taking it under 150 and addresses some of the concerns from residents and others about density in the area.

Scott Bence said looking back at the August 10th meeting minutes the biggest topic was how many connections there were and where will the connections go. He asked what changed from that meeting. He stated 172 units is his breaking point for the total number of units because the environmental costs and easements to Main Street are very expensive. He said he is willing to make a commitment and finish the project and do it right, but he needs 172 units. He said the Comprehensive Plan tells you to put the highest number of units there and reducing the number of units is not consistent with the Plan. He said developers use the Plan as a guideline. Business owners here are looking for development and he is supplying the need. He said he has invested money and time, listened to residents and had many meetings with Village officials and staff only to have the plan picked apart at this meeting.

Attorney Sajdak said this body doesn't have the benefit of holding a public hearing prior to taking action but they likely have reviewed the notes and minutes of previous meetings and

received guidance as to what happened at the public hearing. So it is appropriate for them to consider those issues that have been raised. He said he didn't believe the master plan says to maximize every possible unit out of the space available. It just says to put in a high quality, high density development within the location. High density is going to be relative and this body is setting that bar to what they feel is appropriate to the area.

Mr. Bence said when he started this project a year and a half ago the Village called him and asked what his plans were. He said his plan was for 172 units and in the next 6 to 7 months, through the Village's input, he changed the plan to the Village's liking. He added units, he added a regional pond, and he acquired the brownfield land all because that's what the Village was asking for. His plan didn't look like this plan. All the public hearings held were needed because of what the Village wanted and because 80 people out of 32,000 complained, the plan now needs to change. He said he is excited about the architecture and the walk ability of the project and is disappointed after all the effort he's gone through.

MOTION to Amend carried (5-2 Yokes, Gray).

MOTION to Amend Baum second Shadid that the parking ratio be 2.5 to 1.

MOTION to Amend carried unanimously.

MOTION to Amend Yokes second Shadid that both signs be design #2 as shown on sheet G230.

MOTION to Amend Fails (5-2 Yokes, Shadid)

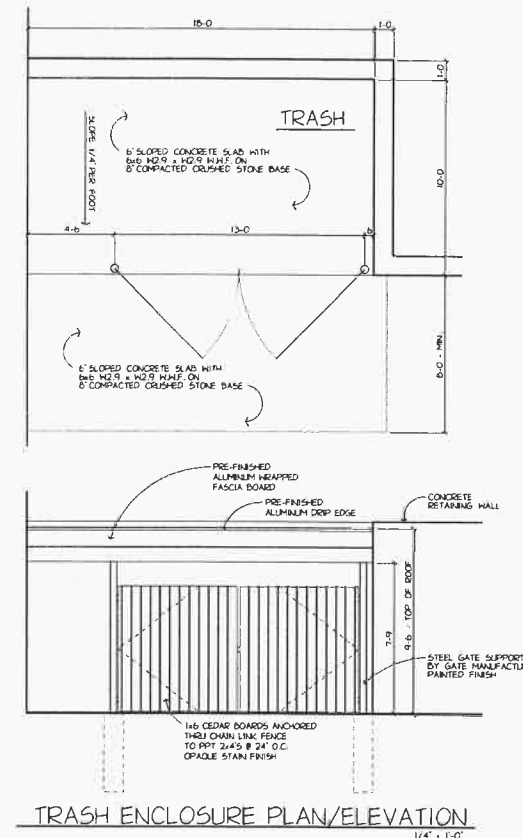
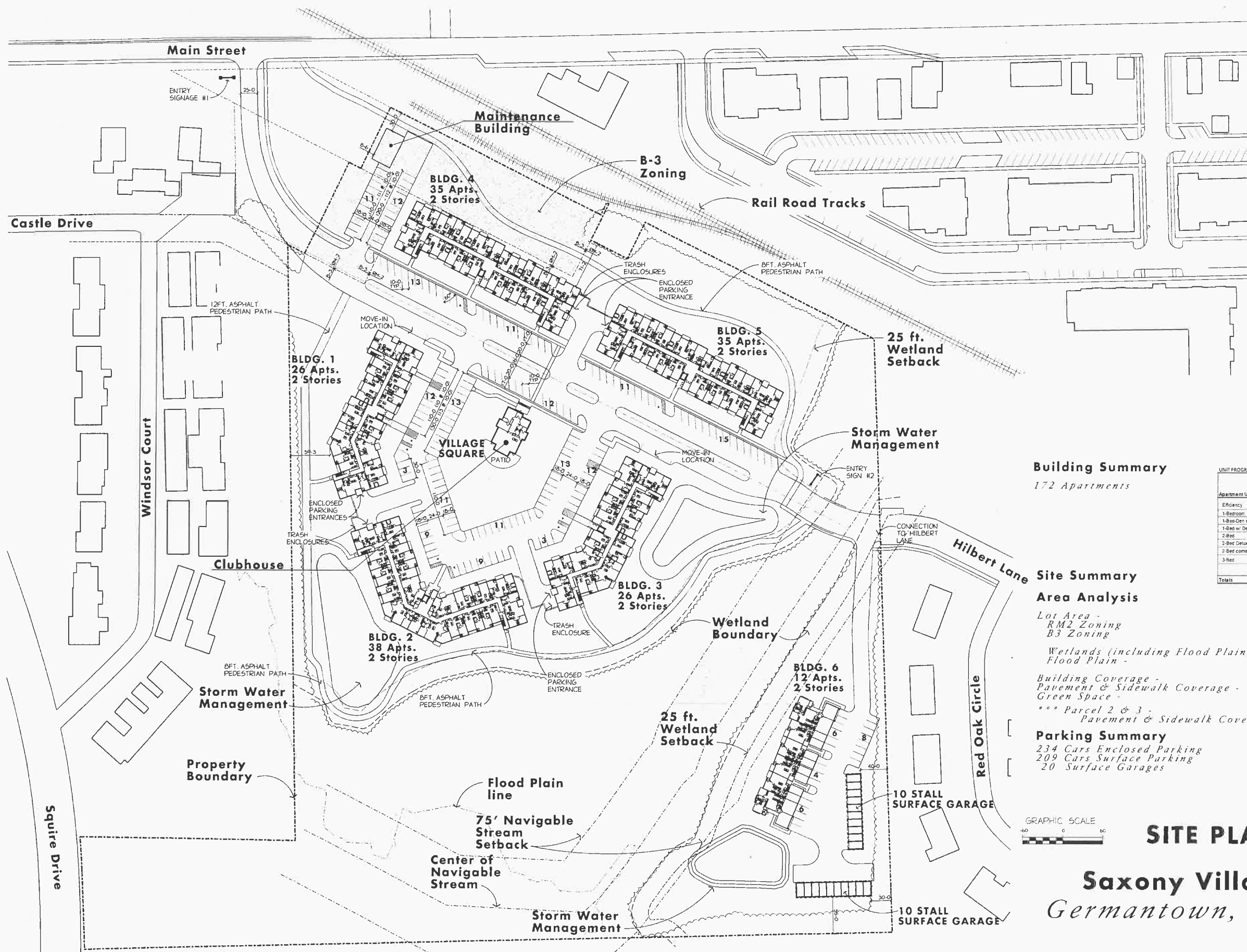
MOTION to Approve as Amended carried unanimously.

ANNOUNCEMENTS: None

ADJOURNMENT: There being no further business, the meeting was adjourned at 9:38 p.m.

Respectfully submitted,

Lori Johnson
Planning Assistant



TRASH ENCLOSURE PLAN/ELEVATION
1/4" = 1'-0"

Building Summary

172 Apartments

Site Summary

Area Analysis

Lot Area -	989,925 sqft (22.7256 acres)	
RM2 Zoning	939,299 sqft (21.5633 acres)	100%
B3 Zoning	50,626 sqft (1.1622 acres)	
Wetlands (including Flood Plain)	7.9 acres	
Flood Plain -	1.6 acres	
Building Coverage -	106,919 sqft	11.3%
Pavement & Sidewalk Coverage -	164,996 sqft	17.4%
Green Space -	667,519 sqft	70.2%
*** Parcel 2 & 3 -		
Pavement & Sidewalk Coverage -	10,451 sqft	1.1%

Parking Summary

234 Cars Enclosed Parking
209 Cars Surface Parking
20 Surface Garages



SITE PLAN

Saxony Village
Germantown, WI

02 December 2015

J.B.J. Development
W178N9912 Rivercrest Drive, Ste. 101
Germantown, WI 53022
262-255-1600
www.jbjcompanies.com

g
Architecture
1114 UNDERWOOD AVE.
WAUKESHA, WI 53186
414.431.0131 FAX
414.431.0137 FAX
WWW.GARCH.COM

COPY

VILLAGE OF GERMANTOWN
BOARD OF ZONING APPEALS

In the matter of:

THE APPEAL OF ROGAHN KELLY,
ON BEHALF OF J.B.J. COMPANIES, INC.,
AGENT FOR HERITAGE PLACE JOINT VENTURE,

Appellant.

DECISION AND ORDER

Rogahn Kelly, on behalf of J.B.J. Companies, Inc., agent for Heritage Place Joint Venture (the "Appellant"), timely appeals the decision of the Village of Germantown Plan Commission from December 14, 2015 approving the Appellant's site plan with certain modifications. The Board has jurisdiction over this appeal pursuant to Germantown Village Ordinance 17.52.

The Appellant challenges three modifications made to its site plan by the Plan Commission. First, the Appellant challenges the Plan Commission's reduction in the number of apartment units from 172 to 142. Second, the Appellant challenges the Plan Commission's elimination of "Building 6" (along with the associated attached garage building). Third, the Appellant challenges the Plan Commission's requirement that all of the buildings have gabled roofs instead of the flat roofs proposed by the Appellant. For the reasons that follow, the Board reverses the Plan Commission's determinations with respect to number of units and the permissibility of Building 6, and the Board affirms the Plan Commission's requirement that the proposed buildings have gabled roofs.

Y902

1. The Plan Commission's Reduction in the Number of Units from 172 to 142.

It is undisputed that the proposed property is zoned Rm-2. Village of Germantown Ordinance 17.23 provides, with respect to Rm-2 zoning: "The Rm-2 Residential District is intended to provide for multiple-family residential development at densities not exceeding 8.0 dwelling units per net acre and served by municipal sewer and water facilities."

Village Ordinance 17.23 is the legislative determination of the Village Board that the permitted multi-family use may not exceed 8 units per net acre.¹ Thus, development of the property with multi-family residential units is a permitted use as long as the number of units does not exceed eight units per acre. The Board understands and is sympathetic to the Plan Commission in its difficult job of balancing the concerns of the residents with the requirements under the ordinances. The Board finds that while the Plan Commission's decisions regarding density were based upon information contained in the record, because the proposed density does not violate any provision of the Village Ordinances, the Plan Commission lacks the power to deny approval on that basis. The Board concludes that the Plan Commission exceeded its authority when it reduced the number of units from 172 to 142, and its decision to do so was an error of law. Accordingly, the decision of the Plan Commission reducing the number of units from 172 to 142 is reversed.

2. The Plan Commission's Elimination of Building 6.

For the same reason as discussed in Section 1 above, elimination of Building 6 and the associated garage buildings from the southeast corner of the property ("Building 6") exceeded the Plan Commission's authority. Again, development of multi-family residential housing, not to

¹ Although there was information presented to the Board that net acres should not include wetlands or unbuildable areas, this was not the basis of the Plan Commission's decision, and it was not a position taken by the Village before this Board. It was clear from the record that the proposal for 172 units would be allowed under a density of 8 units per acre based on the Village's calculation of density.

exceed 8 units per acre, is a permitted use on property zoned Rm-2. The Board's review of the record reveals no basis upon which the Plan Commission had authority to eliminate Building 6. Certainly the Board is mindful that the Plan Commission has architectural review authority under Village Ordinance 17.49. Whether that authority permits the Plan Commission, under appropriate circumstances, to eliminate a proposed building is a question that does not need to be answered in this appeal. A careful review of the record indicates that the Plan Commission's primary reason for eliminating Building 6 was to reduce density. As discussed in Section 1, the Plan Commission lacks the power to reduce density below the level permitted by the applicable ordinance (in this case, eight units per acre). Although there were other comments by members of the Plan Commission regarding Building 6 being separate from the other buildings, an "appendage" and not fitting with the rest of the buildings, the Board finds that the Plan Commission did not base its decision to eliminate Building 6 on any of the architectural control standards set forth in Village Ordinance 17.49(3). Further, there was no evidence in the record upon which the Plan Commission could reasonably have found that Building 6 violates any of the principles set forth in Village Ordinance 17.49(3). Therefore, the Board concludes that the Plan Commission exceeded its authority when it eliminated Building 6, and its decision to do so was an error of law. Accordingly, the decision of the Plan Commission eliminating Building 6 is reversed.

3. The Plan Commission's Requirement that the Buildings Have Gabled Roofs.

As noted, the Plan Commission has architectural review authority and acts as the Village's architectural review board under Village Ordinance 17.49. That ordinance sets forth certain principles which guide the Plan Commission in the exercise of its architectural review authority. Among those principles, Village Ordinance 17.49(3)(a) provides: "No building shall

be permitted, the design or exterior appearance of which is of unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards." A review of the record satisfies the Board that the Plan Commission determined that flat roofs were "of abnormal character in relation to [their] surroundings" and were "unsightly." For example, Commissioner Baum suggested that the contemporary design of the buildings, and the roofs in particular, does not work with the community; Commissioner Baum saw it "as something opposed to the community." Transcript at 71-72. Likewise, Commissioner Yokes, in response to questions from Chairman Wolter, agreed that the lower scale of the flat roof was not something "you'd want to see." Transcript at 105. The Board finds that the Plan Commission's entire discussion regarding the roofs focused on whether they were consistent with surrounding community (*i.e.*, "abnormal character in relation to its surroundings") and how they look (*i.e.*, "unsightly"). Although the Plan Commission did not cite the particular section of the ordinance upon which it relied or use the identical words contained in the ordinance, this Board recognizes that the Plan Commission is not comprised of lawyers and judges. Where, as here, the record reveals that the Plan Commission's determination focused on the same considerations with which the ordinance is concerned, the Board finds that the Plan Commission properly exercised the power and judgment delegated to it under Village Ordinance 17.49 with respect to its requirement that the roofs be changed from flat to gabled. Accordingly, the decision of the Plan Commission requiring gabled roofs instead of flat roofs is affirmed.

On the basis of the above findings and determinations after hearing all of the evidence and arguments presented and reviewing the record in this matter, IT IS HEREBY ORDERED:

1. That the Plan Commission's decision to reduce the number of units from 172 to 142 is reversed and the Appellant's site plan is, therefore, approved with 172 units; and

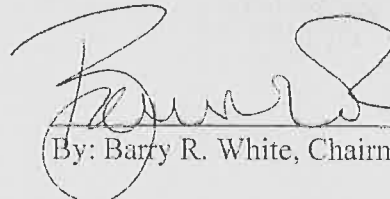
2. That the Plan Commission's decision to remove Building 6 is reversed and the Appellant's site plan with Building 6 (and the associated parking) is, therefore, approved; and

3. That the Plan Commission's decision requiring gabled roofs is affirmed; and

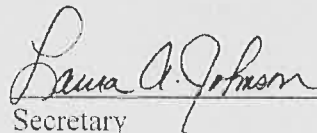
4. The proper Village officials may now issue the appropriate permits consistent with the Plan Commission's site plan review and approval, subject to the Board's decision in this matter as set forth in paragraphs 1 through 3 immediately above.

Review of this decision may be obtained by filing an action in certiorari in the circuit court of Washington County within 30 days after the date of filing shown below. The Village makes no warranty as to the legality of construction commenced prior to the expiration of this 30 day period.

BOARD OF ZONING APPEALS


By: Barry R. White, Chairman

Attest:


Secretary

Dated: _____

Filed: _____

