

VILLAGE OF GERMANTOWN
N112 W17001 MEQUON ROAD
GERMANTOWN, WI 53022

MEETING:	PLAN COMMISSION
DATE AND TIME:	MONDAY, AUGUST 28, 2017 6:30 p.m.
LOCATION:	Germantown Village Hall Board Room

- I. **CALL TO ORDER:** This meeting has been given public notice in accordance with Wisconsin Statutes, Section 19.83 and 19.84 in such form that will apprise the general public and news media of subject matter that is intended for discussion and action.
- II. **ROLL CALL**
- III. **PUBLIC INPUT/PUBLIC APPEARANCE:** Please be advised per §19.84(2) that information will be received from the public, however, no action will be taken at this time.
- IV. **APPROVAL OF MINUTES:** August 14, 2017
- V. **NEW BUSINESS:**
 - A. Carity Land Corporation, Agent for Briscoe Development & Management Inc., Property Owner, 147 Acres North of Mequon Road, West of Country Aire Road, South of Freistadt Road. Rezoning & Site Plan Consultation for a Proposed 139-unit Single-Family & 40-unit Multi-Family Condominium Residential Development.
 - B. Plunkett Raysich Architects, LLP, Agent for the Germantown School District: Site Plan Review (Revised Landscape Plans) for Germantown High School (W180 N11501 River Lane); County Line Elementary School (W159 N9939 Butternut Road), and Kennedy Middle School (W160 N11836 Crusader Court).
 - C. Community Development Department – Proposed Zoning Code Amendment: Section 17.30: B-3 General Business District (Residential Uses)
- VI. **ANNOUNCEMENTS:**
- VII. **ADJOURNMENT:**

The next Plan Commission Meeting will be on September 11, 2017 at 6:30 p.m.

UPON REASONABLE NOTICE, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service please contact the Village Clerk at (262)250-4740 at least 2 days prior to the meeting. Notice is given that a majority of the Village Board may attend this meeting to gather information about an item over which they have decision making responsibility. This may constitute a meeting of the Village Board per State ex rel. Badke v. Greendale Village Board, even though the Village Board will not take formal action at this meeting.

PLAN COMMISSION MINUTES

August 14, 2017

CALL TO ORDER: Chairman Wolter called the meeting to order at 6:30 p.m.

ROLL CALL: Chairman Dean Wolter, Trustee Representative David Baum, Commissioners Bill Shadid, Tony Laszewski, Peter Nilles and Mary Ellen Gray were present. Also present were Community Development Director/Village Planner Jeff Retzlaff and Planning Assistant Lori Johnson. Chairman Wolter recognized Robert Williams from the audience, as the new Plan Commission member.

PUBLIC INPUT: None

APPROVAL OF MINUTES: *MOTION Baum second Shadid to Approve the minutes from 7-10-17.*

MOTION carried unanimously.

Complete Office of Wisconsin – N115 W18500 Edison Drive. Allume Architects is seeking approval of site development and building plans for a 19,200 sqft warehouse addition to the existing office, showroom and warehouse facility in the Germantown Industrial Park. Planner Retzlaff summarized the proposal.

MOTION Baum second Shadid to Approve the site development & building plans for the proposed 19,200 sqft warehouse addition to the existing office, showroom & warehouse facility located at N115 W18500 Edison Drive in the Germantown Industrial Park subject to the following conditions:

- 1. This approval is subject to all of the conditions and requirements set forth herein and adopted by the Plan Commission. Approval is granted for the site development and building plans dated May 15, 2017 (engineering plans) and July 7, 2017 (architecture, lighting and landscaping plans) unless superseded by subsequent plan sheets approved by the Village Planner pursuant to revisions required herein and/or by the Plan Commission.*
- 2. All landscaping, screening, grading, and paving improvements shown on the approved site plans shall be installed as proposed prior to issuance of an occupancy permit unless a cash bond or letter of credit in an amount equal to 120 percent of the estimated installation and material costs reviewed and approved by the Village is submitted to the Village as necessary to ensure that installation of the proposed features and improvements will be completed within one (1) year after issuance of the occupancy permit.*
- 3. The Owner shall revise the proposed landscaping plan to include street trees along Edison Drive, either by: (1) showing which existing deciduous trees will be maintained (provided that such trees are located within 30 feet from the road right-of-way); or (2) by adding street trees to the plan in an amount equal to (1) tree per 40-50 feet of road frontage. Said street shall be a minimum 3" caliper and need to be listed as an acceptable species and installed in accordance with the Village's Street Tree Guidelines. Said trees may be planted in decorative clusters and not necessarily evenly space along the road frontage. Said revised plan shall be submitted to the Village Planner for review/approval prior to issuance of a building permit.*
- 4. The Owner shall enter into a Landscape Maintenance Agreement with the Village as required under 17.43(6a) of the Zoning Code. Said agreement shall be executed by the Owner and submitted to the Village for recording prior to issuance of an occupancy*

permit.

- 5. All exterior doors shall be clearly marked with reflective 5" or larger letters/numbers to aid emergency personnel access as required by the Police Department.**
- 6. All technical issues identified by the Village Engineer in the August 9, 2017 review memo shall be addressed prior to issuance of an occupancy permit.**
- 7. State approved plans and a \$20,000 occupancy bond are required by the Building Inspection Department as part of the building permit application.**

Discussion followed regarding the landscaping plan. Planner Retzlaff explained the supplemental plan shows foundation plantings being removed from the original plan and a number of existing trees to be preserved. Andrea Nemecek, Allume Architects, said the revised plan is to preserve as many existing plantings as they can on the east side and create a buffer between the neighbor. Planner Retzlaff was concerned with the landscaping along the west property line saying the ability to preserve existing trees along the 8 to 10 foot area will be difficult and if none are preserved what will be done. He understands the owner wants to preserve the border with the neighbor but it will be hard to tell which trees will be preserved in the narrow area and wants a backup plan. Trustee Baum asked what the likelihood was of the trees surviving after digging into the tree roots and said he would prefer to see the landscaping plan fulfilled. Ms. Nemecek said Planner Retzlaff and suggested trying to save some of the trees. She said the revised plan preserves the existing landscaping versus adding new landscaping. Chairman Wolter said it is difficult to call at this time which plan to approve. He said it's unclear which trees would be saved and maybe the plan should be revisited in a year. But based on the need by the owner to want to block the neighbor, whatever happens they will make sure its blocked. Planner Retzlaff said the south side should have foundation plantings including whatever street trees are required. He explained the original plan included shrubbery and is concerned with the removal of foundation plantings on the revised plan. Commissioner Gray said you won't know immediately if a tree will survive and agreed the foundation plantings should remain and be put back in the plan.

MOTION to Amend Baum second Shadid to stay with the existing plan as presented and allow the applicant to remove new trees in a 1 for 1 for any tree they can save on the same side.

Ms. Nemecek asked for clarification. Trustee Baum explained if you can save a tree you can drop 3 shrubs to 1 tree on the west side and if the tree dies it needs to be put back in.

MOTION to Amend the Amendment Baum second Shadid to add if 1 tree is saved 3 shrubs can be dropped, listed as C or D on the plan, on the west side. If a tree dies it needs to be put back in.

MOTION to Amend carried unanimously.

MOTION to Approve as Amended carried unanimously.

MLG Development & the Village of Germantown – Willow Creek Business Park located north of Appleton Avenue west of Maple Road. The proposal is for a new monument sign for the 118.7 acre Willow Creek Business park in the Villages of Germantown's Tax Incremental District (TID) #6. Planner Retzlaff summarized the proposal.

MOTION Baum second Gray to Approve the proposed monument sign for the Willow Creek Business Park located on Appleton Avenue subject to the following conditions:

- 1. A separate electrical permit shall be obtained from Inspection Services prior to installation.***

There was some concern the proposed landscaping would grow over the Business Park lettering. Planner Retzlaff said there wasn't a grading plan that shows the landscaping, but the intention is to create a mound and the slab would be at the peak. Commissioner Gray said the lowest size juniper should be used.

MOTION to Amend Baum second Gray to add Condition #2 that the juniper not be taller than 6 to 12 inches when fully mature.

MOTION to Amend carried unanimously.

Planner Retzlaff said the Village will maintain the sign and landscaping.

MOTION carried unanimously.

Dennis Myers for Old Farm Subdivision – Donges Bay and Division Roads. Trustee Myers as agent for the property owners in the Old Farm Subdivision is requesting approval for a replacement monument sign for the residential subdivision to be located at the intersection of Donges Bay Road and Division Road. Planner Retzlaff summarized the proposal.

MOTION Baum second Nilles to Approve the proposed monument sign for the Old Farm Subdivision as proposed subject to the following conditions:

- 1. The proposed monument sign location is on Village owned property and shall be approved by the Village Board or appropriate Committee prior to installation.***
- 2. Prior to installation, a written agreement assigning maintenance responsibility for the sign and associated landscaping shall be made between the Village and entity and/or person(s) accepting said responsibility on behalf of the Old Farm subdivision property owners.***

Discussion followed. Trustee Baum commented that the sign may blow over if the posts are only 2 feet underground. He asked if the applicants are aware that if they don't maintain the sign the Village can come and take it out. Planner Retzlaff said there hasn't been sufficient time to identify a subdivision group. Trustee Dennis Myers explained he will be the sole owner of the sign and on the advice of the Village Attorney has acquired signatures from property owners who are in support of replacing the sign. Trustee Myers confirmed the posts would be installed 2 feet underground with supports. Commissioner Nilles was in favor of replacing the sign but questioned who will sign the maintenance agreement and how it will be enforced. Planner Retzlaff explained this is a unique situation and there are no historical records on whether there was an association. Chairman Wolter mentioned several subdivisions that have successful associations where someone collects fees and maintains them for maintenance purposes. He said if the sign goes into disrepair or starts to fall apart it will be taken down by the Village. There wasn't an association with the previous sign and the Village removed it when it fell in disrepair. Trustee Myers explained that a sign was already there and he is just replacing it.

MOTION carried unanimously.

Edward Jones Investments – W164 N11271 Squire Drive. Compass Properties LLC, property owner of the Germantown Marketplace II is requesting approval for a wall-mounted and monument sign panel for the new tenant in the retail center. Planner Retzlaff summarized the proposal.

MOTION Baum second Shadid to Approve the proposed wall-mounted sign and monument sign panel for Edward Jones in the Germantown Marketplace II subject to the following conditions.

- 1. An electrical permit shall be obtained from Inspection Services prior to installation of any/all electrical components.***
- 2. All electrical sign components must be listed and labeled by a recognized lab.***

MOTION carried unanimously.

Carpetland USA Germantown – W188 N9875 Maple Road. GT Real Estate of Germantown LLC, property owner, is requesting approval for signage and landscaping for the retail flooring showroom. Planner Retzlaff summarized the proposal.

MOTION Baum second Laszewski to Approve the proposed wall and monument signs for Carpetland retail flooring showroom located at W188 N9875 Maple Road subject to the following conditions:

- 1. A separate electrical permit shall be obtained from Inspection Services prior to installation.***
- 2. All electronic components shall be labeled by a licensed lab and inspected prior to or concurrent with installation.***
- 3. The owner/operator shall revise the monument sign location on the property in order to meet the minimum five (5) feet property line/right-of-way setback and provide adequate space within which to install the minimum required landscaping (see #4 below).***
- 4. Additional landscaping shall be installed around the base of the monument sign in compliance with the Village's monument sign landscaping requirements under 17.46(7). A revised landscape plan shall be prepared and submitted to the Village Planner for review and approval prior to issuance of a building/electrical permit for the monument sign.***

Bruce Fleischmann, Neighborhood Services, said he would make corrections to the landscape plan as listed in the conditions. He explained the plant beds are placed in a way so car headlights won't shine into traffic.

MOTION carried unanimously.

MOTION Baum second Shadid to Approve the proposed landscaping plan for the Carpetland retail flooring showroom located at W188 N9875 Maple Road subject to the following conditions:

- 1. The owner/operator shall submit a revised and accurately scaled and dimensioned landscape plan showing proposed landscaping items relative to the property/right-of-way lines along Maple Road and Appleton Avenue.***

- 2. The owner/operator shall properly survey stake the property prior to or concurrent with installation of all landscaping to ensure it is installed on the property and not in the Maple Road or Appleton Avenue right-of-way.**
- 3. The owner/operator shall include four (4) additional street trees on the revised landscape plan (see #1 above) along Appleton Avenue (for a total of six) and for street trees along Maple Road (for a total of four). Said trees may be installed in equal intervals or in groupings and in compliance with the Village's Street Tree Guidelines. All street trees installed shall have a minimum 2" diameter when installed.**

Mr. Fleischmann, confirmed he will submit a revised landscape plan.

MOTION carried unanimously.

Gables Himmel Property LLC – N109 W17075 Ava Circle. Zimmerman Homes LLC, agent for Tarantino & Company and Capri Senior Communities, property owner/operator of the Gables of Germantown Senior Living Campus, is requesting approval of site and building plans for the construction of an entrance portico to the 48-unit Engel Haus and the 108-unit Himmel Haus buildings. Planner Retzlaff summarized the proposal.

MOTION Shadid second Laszewski to Approve the site and building plans for the proposed portico construction at the 48-unit Engel Haus and the 108-unit Himmel Haus buildings subject to the following conditions:

- 1. Building plans submitted to the Village for the required building permit(s) shall be stamped and sealed by the design professional (engineer or architect).**

Jason Zimmerman confirmed the trusses would be closed and all finishes, including shingles, would match the building.

MOTION carried unanimously.

Ryan Rahl, Agent for Project Design Management LLC, Property Owner (Florian Park) N111 W18611 Mequon Road and Germantown Hospitality Group LLC, Property Owner (Country Inn & Suites) W188 N11020 Maple Road. The proposal is for a 2-lot Certified Survey Map to relocate a common property line between the two parcels. Planner Retzlaff summarized the proposal.

MOTION Baum second Nilles to Approve the proposed 1-lot Certified Survey Map (CSM) as proposed.

MOTION carried unanimously.

Infinity Custom Builders, Agent for Janae Magnuson, Property Owner – W148 N13468 Pleasant View Drive. The application is for a Conditional Use Permit to construct a "mother-in-law" suite accessory dwelling unit as a part of a planned addition to an existing single-family dwelling on a 10.1-acre parcel. Planner Retzlaff summarized the proposal.

MOTION Baum second Shadid to Approve a conditional use permit for Janae Magnuson to allow a "mother-in-law" suite accessory dwelling as part of the single-family dwelling located at W148 N13468 Pleasant View Drive subject to the following conditions:

- 1. The MILS shall be constructed consistent with the building plans dated August 9, 2017, as presented to the Village Plan Commission and Board.**
- 2. The MILS shall comply with the MILS requirements as defined in Section 17.08(51a) of the Zoning Code on an ongoing basis.**
- 3. The property owner shall notify the Village Zoning Administrator if/when use of the lower level of the dwelling changes or ceases to be used as a “mother-in-law” suite.**
- 4. The conditional use permit shall not be transferable to a subsequent owner unless said owner is a member of the Magnuson family.**

MOTION carried unanimously.

ANNOUNCEMENTS: Planner Retzlaff reminded the Commission the next Plan Commission meeting is August 28th. Chairman Wolter said the ribbon cutting for the new Pickleball courts at Haupt Strasse Park is tomorrow at 6:00 p.m.

The next Plan Commission meeting is August 28, 2017.

ADJOURNMENT: There being no further business, the meeting was adjourned at 7:55 p.m.

Respectfully submitted,

Lori Johnson
Planning Assistant

REZONING & SITE PLAN CONSULTATION

8/28/17 Plan Commission Meeting

Carity Land Corporation / Briscoe Development & Management Inc.
Village Planner Report **Germantown, Wisconsin**

Summary

Bill Carity, Carity Land Corp, agent for Briscoe Development & Management Inc., property owner, is requesting feedback on a 147-acre residential development proposal with 141 single-family lots and 52 multi-family condominium units south of Freistadt Road, north of Mequon Road and west of Country Aire Drive.

Property Location: Freistadt Road, Mequon Road, Country Aire Drive

Applicant/

Property Owner: Bill Carity
12720 W. North Ave
Brookfield, WI

Briscoe Development
250 Executive Drive Ste 301
Brookfield, WI

Current Zoning: A-1: Agricultural

Adjacent Land Uses		Zoning
North	Residential	Rs-1
South	Residential/Industrial	Rs-2/M-1
East	Residential/Agricultural	A-1/Rs-2
West	Residential/Agricultural/Industrial	Rs-5/A-1/M-2



Background/Proposal

Bill Carity, Carity Land Corp, agent for Briscoe Development & Management Inc., property owner, is requesting feedback on the concept plan for “Wrenwood” a 147-acre residential development proposal with 141 single-family lots and 52 multi-family condominium units south of Freistadt Road, north of Mequon Road and west of Country Aire Drive.

An earlier and slightly different version of the Wrenwood development proposal was made to the Village back in 2007 with a number of Village approvals granted, including an expansion of the Sewer Service Area (SSA) boundary and 2020 Land Use Plan (LUP) map amendment in order to accommodate the type and extent of proposed residential development. As a consequence of the uncertainty and general downturn in the economy around that time, the project did not move forward.

As summarized in Table 1 below and detailed in the Applicant’s narrative description and Wrenwood Concept Plan (see attached), the new Wrenwood proposal contains some differences in the number and type of residential units. The new proposal contains more single-family residential lots (141 vs. the previously proposed 109 lots) and more multi-family units (thirteen 4-unit condominium buildings with a total of 52 units vs. the previously proposed 30 duplex buildings with a total of 60 units). In addition, the new Wrenwood proposal does NOT include any commercial development along Mequon Road (a 3.5-acre area along Mequon Road as included in the earlier proposal at the direction of the Village).

Table 1.		
Wrenwood Concept Plan		
Proposed Land Use	2017 Proposal	2007 Proposal
	147.19 Ac	147.19 Ac
Single-Family	56.9 Ac (38.7%)	44.5 Ac (30.2%)
	141 lots	109 lots
	141 total DU's	109 total DU's
Multi-Family	13.4 Ac (9.1%)	16.2 Ac (11.0%)
	13 condo bldgs x 4 DU's	30 duplex lots x 2 DU's
	52 total DU's	60 total DU's
DU Density (gross)	1.3 DU's/Acre	1.15 DU's/Acre
Commercial	0.0 Ac (0.0%)	3.5 Ac (2.3%)
Open Space	59.1 Ac (40.1%)	67.6 Ac (46.0%)
Street Right-of-Way	17.8 (12.1%)	15.4 (10.5%)

The Wrenwood development is comprised of two (2) primary clusters of residential development bisected by a large environmental corridor through the middle of the property. A total of 94 single-family lots in the north cluster will have access (only) to Freistadt Road to the north. The remaining 47 single-family lots and 52-unit condominium complex will have access to Country Aire Drive. Access between the north and south residential clusters and through the environmental corridor will be provided by a pedestrian trail.

Because of the minor differences between the new and previously proposed Wrenwood proposals, there are a number of approvals that will be required by the Village before any development can occur, including a further expansion of the SSA boundary, and, the following changes to the Village's 2020 LUP map:

- Re-classify additional area in the northern part of the property from "Agricultural/Conservation Residential" (green) to "Low Density Residential" (orange) on the 2020 LUP map;
- Eliminate and re-classify the 3.5 acre "Commercial" (red) area to "Medium Density Residential" (light brown) in the southern part of the property along Mequon Road; and
- Reconfigure the area classified as "Medium Density Residential" (light brown) around the proposed condominium portion of the development.

In addition to the above, the property will also need to be rezoned into the appropriate residential zoning districts. As stated in the Applicant's project narrative, the Applicant intends to request approval of the following rezoning applications to make the following zoning district changes:

- Rezone 129 acres of land from A-1: Agricultural to RS-5: Single-family District (maximum density of 2.9 DU/net acre);
- Rezone 18 acres from A-1: Agricultural to Rm-2: Multi-family District (maximum density of 8 DU/net acre);
- Create a Planned Development District (PDD) Overlay for the entire 147-acre development

The PDD District will be created to take advantage of the "flexibility" available in order to provide a more creative layout that contains many "conservation design" features, e.g. large contiguous tracts of open space, smaller and clustered lots. However, as noted in the project narrative and concept plan, the proposed density of the single-family area (1.47 DU/acre) and multi-family area (3.3 DU/acre) will be less than the maximum density allowed in the underlying Rs-5 and Rm-2 Districts, respectively.

Staff Comments

The proposed Wrenwood development is nearly identical to the original proposal in terms of road and lot layout that was reviewed by the Plan Commission and Village Board. A 15% increase in residential units (169 to 193) appears to be a reasonable trade-off for the elimination of 3.5 acres of potential commercial development along Mequon Road (that would have limited access to Country Aire Drive given WisDOT concerns with the limited amount of road frontage between Country Aire and the railroad tracks).

As indicated above, the proposal got as far as obtaining SSA boundary and LUP map amendment approvals from the Village Board. However, the Board did not grant rezoning approval pending the submission of further details regarding access to Mequon Road from the proposed commercial area. The proposal was subsequently withdrawn by the Applicant/Property Owner.

Although 10 years have passed, not much has changed with regard to what's needed to complete the development. Although there are minor changes needed to both the SSA boundary and LUP map to accommodate minor differences in the new proposal, the discussion and debate over the suitability and appropriateness of the overall development in this location has effectively already occurred; resulting in the SSA boundary and LUP map changes adopted by the Village.

With that said, one significant prerequisite that needs to occur in order for any development to occur involves the extension of public water and sewer utilities to the development. As eluded to in the project narrative, water and sewer utilities. Currently, the Applicant is working closely with the Village in the assessment of alternatives to extend water and sewer to serve the development. The Village is currently working on a parallel course with regard to the provision of sewer service into the area along the Country Aire Drive corridor by investigating the possible extension of an interceptor sewer north from Mequon Road. While the Village's study into the possible extension of sanitary sewer into the area is not complete, staff expects to have the study completed and alternatives presented to the Public Works Committee and Village Board for consideration later this year or early 2018.

With that understanding, staff and the Applicant is requesting feedback on the new Wrenwood development concept plan that can be addressed before the LUP map amendment and rezoning applications are submitted for Village approval.



Fee must accompany application

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☒ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID 8 DATE 7-10-17

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1 APPLICANT OR AGENT PROPERTY OWNER

BILL CARITY
% CARITY LAND CORP
12720 W. NORTH AVE.
BROOKFIELD WI 53005

Phone (414) 861-1967

E-Mail carityland@siglobal.net

Phone () _____

E-Mail _____

2 PROPERTY ADDRESS

3 NEIGHBORING USES – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North	South	East	West

4 READ AND INITIAL THE FOLLOWING:

- ☒ I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.
- ☒ I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.
- ☒ I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5 SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!

[Signature] 7-10-17
Applicant Date

Owner Date



Fee must accompany application

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☒ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID _____ DATE _____

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1

APPLICANT OR AGENT

BILL CASHY
9/4 CASHY LAND CORP
12720 W. NORTH AVE.
BROOKFIELD WI 53005

Phone (414) 861-1967

E-Mail cashyland@abcglobe.net

PROPERTY OWNER

MICHAEL BRISCE
DEVELOPERS GROUP
250 S. EXECUTIVE DR. SUITE 500
BROOKFIELD WI 53005

Phone (414) 861-1988

E-Mail mike@briscedev.com

2

PROPERTY ADDRESS

3

NEIGHBORING USES - Specify name and type of use, e.g. Enviro Tech - Industrial, Smith - Residential, etc.

North	South	East	West

4

READ AND INITIAL THE FOLLOWING:

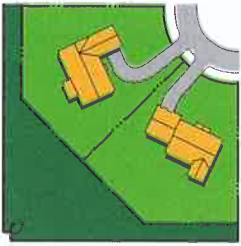
- ☒ I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.
- ☒ I understand that all new development is subject to impact and/or Connection Fees that must be paid before building permits will be issued.
- ☒ I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5

SIGNATURES - ALL APPLICATION MUST BE SIGNED BY OWNER!

[Signature] 7-10-17
Applicant Date

[Signature] 7/11/2017
Owner Date



CARITY LAND
CORPORATION



WRENWOOD Concept Plan

Location and Surrounding Land Use

The Briscoe parcel proposed to be developed into Wrenwood Subdivision is irregular in shape and 147.14 acres in size. It is bordered on the north by Friestadt Road with the exception of a three acre homestead parcel. On the east, it is bordered by various large agricultural parcels most of which have frontage on Country Aire Drive. The development parcel also shares frontage on Country Aire Dr. in the southern quadrant. Along the Country Aire Dr. frontage there is an older duplex home that is not part of the development which is located several hundred feet north of Mequon Road. Mequon Rd. creates the southern boundary of the parcel and the Canadian National railroad tracks constitute the majority of the western boundary. Essentially, the vast majority of the parcel is bounded by larger vacant land parcels that are utilized agriculturally.

Environmental

The parcel has 9 wetlands that were delineated in 2007, primarily existing in and around the wooded area of the central part of the parcel that is proposed to be preserved as private parkland. These wetlands total 18.33 acres in size. The developer is aware that an updated wetland delineation is required. A navigable stream that constitutes the headwaters to the Little Menomonee River is contained in an agricultural ditch that bisects the parcel running east to west also located in the central private park area. There is no known flood plain on the parcel. A 26-acre delineated Primary Environmental Corridor, consisting mostly of mature woods and wooded wetlands also occur in the central (private park) area of the parcel.

Utilities- Sewer and Water

A 12" water main that occurs at the intersection of Mequon Rd. and Country Aire Dr. is proposed as a water source. The developer will work with the Village to loop the water system into other existing mains. It is the developer's understanding that the Village is exploring the extension of an interceptor sanitary sewer down Country Aire Dr. in the future. If possible, the developer desires to work with the Village regarding connection to the sewer as well as a cost effective location for the interceptor to be constructed.

Zoning and Land Use Plan

The entire parcel is currently zoned A-1. To develop the parcel according to the developer's concept plan, the parcel will have to be rezoned to RS-5 PDD and RM-2 PDD. The Village Land Use plan currently shows the area along Friestadt Road as being low density residential. The central area is shown as being Agricultural / Conservation Residential and the area where the parcel abuts Country Aire Dr. and Mequon Rd. is shown on the Land Use Plan as both Low Density Residential and Commercial (along Mequon Rd.) The developer will have to seek an amendment to the land use plan.

Wrenwood Concept Plan

The primary intent of the mixed use residential plan that is proposed for the Wrenwood Parcel is to cluster lots allowing for preservation of all of the significant environmental areas contained within the parcel. The plan is consistent with conservation subdivision design principles. The central area of the parcel proposed to be preserved contains a Primary Environmental Corridor with mature woods together with smaller private meadow areas that are reminiscent of the undeveloped countryside landscape that can be found in the Kettle Moraine area in Washington County. This pristine area, together with other green space that is more closely associated with the proposed home site clusters is proposed to be owned and managed by a homeowners association consisting of all of the homeowners in the development. Pedestrian trails linking the homesites to this large park would allow residents to enjoy an afternoon walk through the woods and meadows.

There are three distinct residential areas that occur on the plan. The northern area which is currently a tilled farm field, consists of 94 single family lots that have two access points to Friestadt Road. This area has a street stub to the adjoining vacant land to the east. Green space park areas abut many of the lots which connect to the central larger park areas.

The second area of the development is also a tilled farm field that is located just south of the central park area and consists of a cluster of 47 single family lots. A very nice existing single family home is shown as being preserved on one of these lots. The southernmost area of the development is separated from the single family area or by two large existing ponds. This transitional area consists of single family lots together with 13 fourplexes and a clubhouse that will become the focus of activity for all future condominium owners. A visual depiction of the condominiums and clubhouse will be presented to the Plan Commission.

OUTLOT AREAS:

OUTLOT 1 AREA:	196220 SF	4.5046 Ac
OUTLOT 2 AREA:	1957022 SF	44.9270 Ac
OUTLOT 3 AREA:	217830 SF	5.0007 Ac
OUTLOT 4 AREA:	68838 SF	1.5803 Ac
OUTLOT 5 AREA:	59865 SF	1.3702 Ac
OUTLOT 6 AREA:	75072 SF	1.7234 Ac

SUBTOTAL OUTLOT AREAS 2677500 SF 61.4669 Ac

WETLAND AREAS:

WETLAND AREA 1:	36049 SF	0.8276 Ac
WETLAND AREA 2:	88179 SF	2.0243 Ac
WETLAND AREA 3:	567513 SF	13.0283 Ac
WETLAND AREA 4:	768 SF	0.0181 Ac
WETLAND AREA 5:	8498 SF	0.1951 Ac
WETLAND AREA 6:	32757 SF	0.7520 Ac
WETLAND AREA 7:	44862 SF	1.0299 Ac
WETLAND AREA 8:	4377 SF	0.1005 Ac
WETLAND AREA 9:	15309 SF	0.3514 Ac

TOTAL WETLANDS: 798312 SF 18.3267 Ac

DETERMINATION OF PRIVATE PARKLAND AREA:

LOT 1 AND OUTLOT 1 COMPRISING THE 4 PLEX CONDOMINIUM DEVELOPMENT

LOT 1 AREA:	582367 SF	13.3693 Ac
OUTLOT 1 AREA (PRIVATE PARKLAND AREA):	196220 SF	4.5046 Ac
PERCENTAGE OF PRIVATE PARKLAND AREA:	25.2%	

LOTS 2-142: SINGLE FAMILY LOTS COMPRISING THE SINGLE FAMILY DEVELOPMENT:

LOTS 2-142 TOGETHER WITH OUTLOTS 2-6 AREA:	5633015 SF	129.3162 Ac
OUTLOTS 2-6 (PRIVATE PARKLAND AREA):	2481280 SF	56.9624 Ac
PERCENTAGE OF PRIVATE PARKLAND AREA:	44.0%	

DETERMINATION OF DENSITY:

LOT 1: 4 PLEX CONDOMINIUMS:

GROSS AREA:	778587 SF	17.8739 Ac
WETLAND AREA:	51349 SF	1.1788 Ac
R-O-W AREA:	48531 SF	1.1141 Ac

TOTAL NET AREA: 678707 SF 15.5810 Ac

VILLAGE ALLOWABLE DENSITY: $15.5810 * 8 = 124$ UNITS

DEVELOPER'S REQUESTED DENSITY: 52 UNITS

VILLAGE ALLOWABLE DENSITY IS BASED ON RE-ZONING OF LANDS TO RM-2 PDD.

LOTS 2 - 142: SINGLE FAMILY LOTS:

GROSS AREA:	5633015 SF	129.3162 Ac
WETLAND AREA:	746954 SF	17.1477 Ac
R-O-W AREA:	725754 SF	16.6610 Ac

TOTAL NET AREA: 4160307 SF 95.5075 Ac

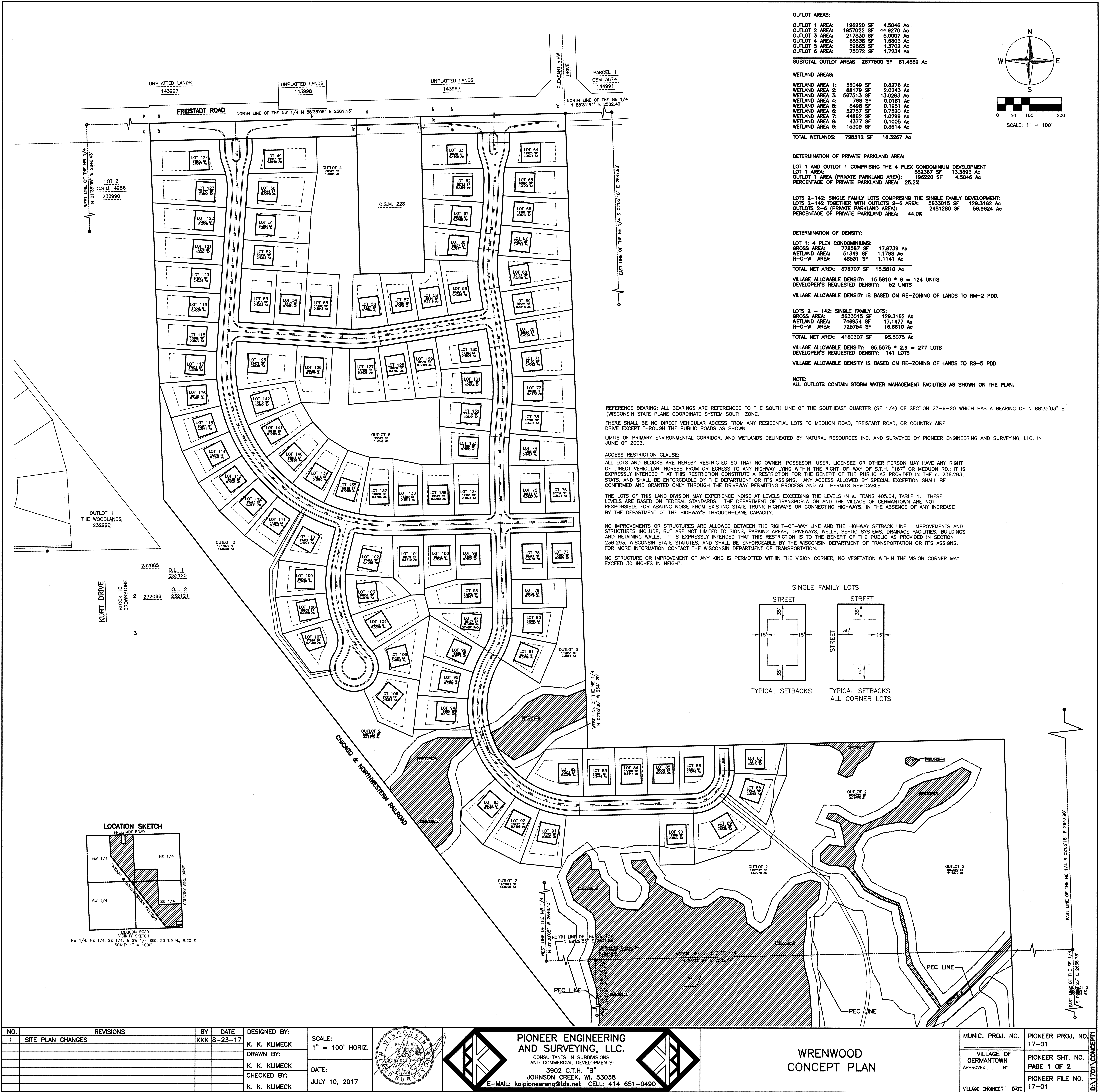
VILLAGE ALLOWABLE DENSITY: $95.5075 * 2.9 = 277$ LOTS

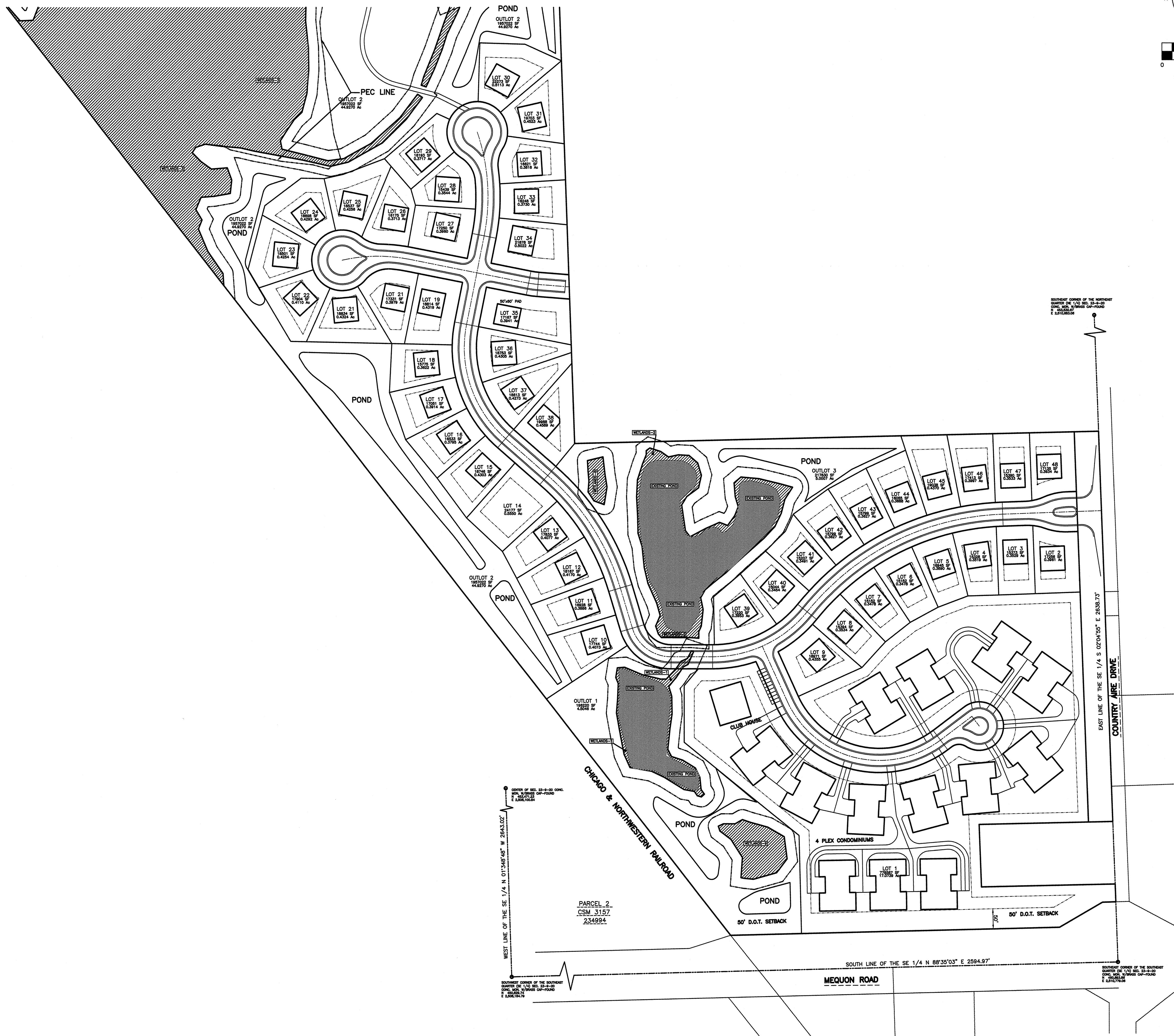
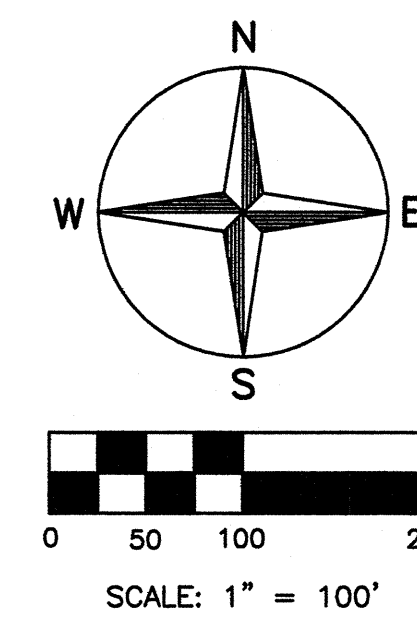
DEVELOPER'S REQUESTED DENSITY: 141 LOTS

VILLAGE ALLOWABLE DENSITY IS BASED ON RE-ZONING OF LANDS TO RS-5 PDD.

NOTE:

ALL OUTLOTS CONTAIN STORM WATER MANAGEMENT FACILITIES AS SHOWN ON THE PLAN.

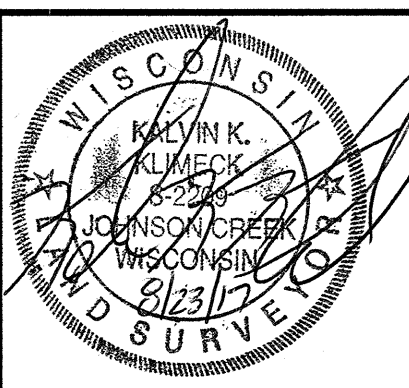




NO.	REVISIONS	BY	DATE
1	SITE PLAN CHANGES	KKK	8-23-17

DESIGNED BY:
K. K. KLIMECK
DRAWN BY:
K. K. KLIMECK
CHECKED BY:
K. K. KLIMECK

SCALE:
1" = 100' HORIZ.
DATE:
JULY 10, 2017



PIONEER ENGINEERING
AND SURVEYING, LLC.

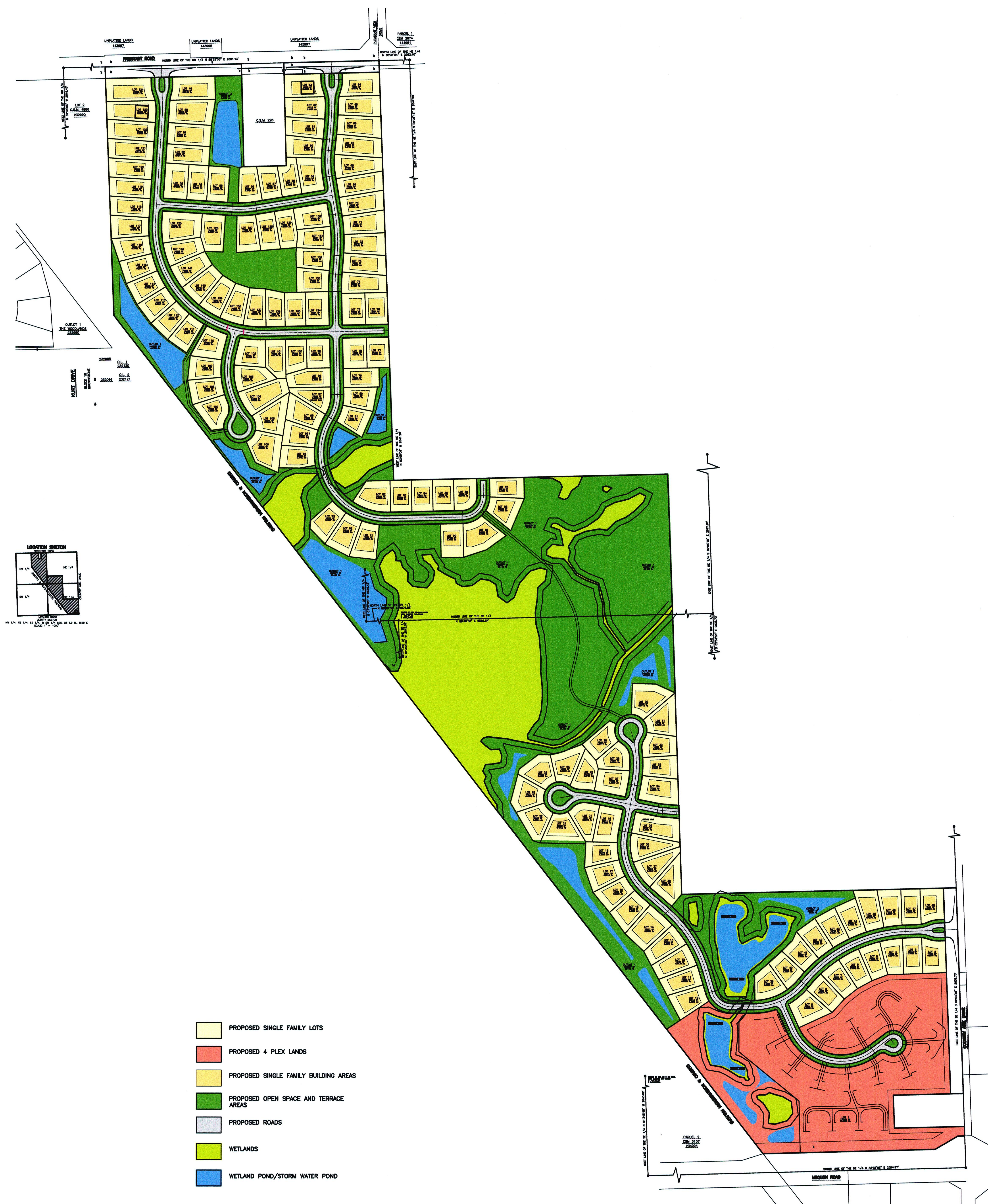
CONSULTANTS IN SUBDIVISIONS
AND COMMERCIAL DEVELOPMENTS

3902 C.T.H. "B"
JOHNSON CREEK, WI. 53038
E-MAIL: kalpioneereng@tds.net CELL: 414 651-0490

WRENWOOD
CONCEPT PLAN

MUNIC. PROJ. NO.	PIONEER PROJ. NO.
VILLAGE OF GERMANTOWN	17-01
APPROVED BY	PIONEER SHT. NO.
VILLAGE ENGINEER	PAGE 2 OF 2
DATE	PIONEER FILE NO.
	17-01

DP1701\CONCEPT1



NO.	REVISIONS	BY	DATE	DESIGNED BY:	SCALE:		PIONEER ENGINEERING AND SURVEYING, LLC. CONSULTANTS IN SUBDIVISIONS AND COMMERCIAL DEVELOPMENTS 3902 C.T.H. "B" JOHNSON CREEK, WI. 53038 E-MAIL: kalpioneereng@tds.net CELL: 414 651-0490	WRENWOOD CONCEPT PLAN	MUNIC. PROJ. NO.	PIONEER PROJ. NO.
1	SITE PLAN CHANGES	KKK	8-23-17	K. K. KLIMECK	1" = 200' HORIZ.				VILLAGE OF GERMANTOWN APPROVED _____ BY _____	17-01
				DRAWN BY: K. K. KLIMECK	DATE: JULY 10, 2017				PIONEER SHT. NO. PAGE 2 OF 2	
				CHECKED BY: K. K. KLIMECK					PIONEER FILE NO. 17-01	

SITE PLAN REVIEW

8/28/17 Plan Commission Meeting

Germantown School District / Plunkett Raysich Architects LLP

Village Planner Report

Germantown, Wisconsin

Summary

Plunkett Raysich Architects, agent for the Germantown School District, property owner, has submitted revised landscaping plans for the three (3) school sites for which site development and building plans were conditionally approved in May 2017, including: Germantown High School, Kennedy Middle School and County Line Elementary School.

Property Location: W180 N11501 River Lane

Applicant/

Property Owners: Scott Kramer, AIA	Ric Erickson
Plunkett Raysich	Germantown School District
209 S Water St	N104 W13840 Donges Bay Road
Milwaukee, WI	Germantown, WI

Background/Proposal

Plunkett Raysich Architects, agent for the Germantown School District, property owner, presented site development and building plans for building additions, alterations and site improvements to four (4) school sites located in the Village of Germantown. The Plan Commission conditionally approved all four projects subject to the District preparing revised landscaping plans for the following three (3) school sites given concerns with the quantity, type and location of proposed plantings (or lack thereof) in the landscaping plans:

- Germantown High School @ W180 N11501 River Lane
- Kennedy Middle School @ W160 N11836 Crusader Court
- County Line Elementary School @ W159 N9939 Butternut Road

Revised landscaping plans have been prepared and submitted for PC review and approval (copies attached). For each school site, a set of plans containing 3 sheets have been prepared. Sheet L1.0 is a graphic presentation of the type, quantity and location of the landscaping items proposed; Sheet L1.1 summarizes the planting/installation methods to be followed; and Sheet L1.2 includes additional installation directions/notes and a Plant Schedule indicating the quantity, type and size of landscaping items to be installed. The Plant Schedule also includes a list of the additional items that have been added to the landscaping plan to address concerns raised by staff and/or the PC at the May, 2017 plan review.

Staff Comments**Germantown High School**

Twelve (12) additional trees are proposed along River Lane as part of the revised plan. Additional trees and shrubs are proposed adjacent to the Performing Arts addition, office addition, and along the north side of the existing building being renovated west of the Performing Arts addition. The revised plan also shows the type, size and location of existing trees that were not shown in original landscaping plan.

All of the additional trees proposed along River Lane in the revised plan are actually located in the River Lane right-of-way. Unfortunately, there's not sufficient space between the existing parking lot and the property line to install these trees in a practical or aesthetically pleasing manner. If acceptable to the Public Works Department, the required Landscape Maintenance Agreement should address this fact to ensure the District is responsible for ongoing maintenance and/or replacement.

After the May 22 PC meeting, the School District initiated removal of the wooded area north of the High School. As a result of that action, the Village received a communication from the adjoining industrial/office property owner to the north questioning why all of the vegetation along the common property line was removed with nothing left to serve as a buffer to soften the view of the parking lot from the adjacent property, and, why no barrier fence and landscaping is proposed to prohibit or discourage students or others from loitering on the adjacent property. With that in mind, the adjacent property owner is requesting that the District install some type of a wire-woven fence along the north property line in the vicinity of the new parking lot along with the installation of trees and shrubs between the parking lot and north property line (see attached email dated August 24 from Matt Schmidt).

Finally, despite what is shown in the Plant Schedule on Sheet L1.2, the list of items under the heading "Additional Plantings per Planning Commission Recommendations" is not correct; that list reflects the same list as the original Plant Schedule in the May 9 plan set before the PC reviewed the project. The revised plan Plant Schedule needs to be correct to accurately reflect the proposed plantings.

Kennedy Middle School

A total of three (3) additional Aspen trees are proposed along with the relocation of the previously six (6) proposed Aspen trees that will now be located along Williams Drive (consistent with the Staff recommendation made at the May 22 PC meeting). No other revisions are proposed.

County Line Elementary School

A total of eleven (11) additional trees are proposed in the vicinity of the gymnasium addition in the southwest corner of the site, including (3) Norway Spruce and (1) Cherry tree to enhance the view from the south, and, (7) Viburnum trees/shrubs along the south elevation of the gym addition.

Staff continues to recommend a more substantial landscaping plan for this site given its proximity to the surrounding residential neighborhood (on all sides). As was the case

with staff's review of the original landscaping plan, staff recommends that the District be required to:

1. Install an equal number of deciduous trees on the site as compensation for the eight (8) trees being removed to make way for the parking lot in the southeast corner of the site;
2. Install additional street trees along the Butternut Road and School Road frontages in an amount equal to one (1) tree per 50 feet of road frontage in the vicinity of the classroom addition;
3. Install a continuous buffer strip of deciduous and evergreen shrubs along the east and south perimeter of the new parking area in the southeast corner of the site; and
4. Install additional foundation plantings along the west elevation of the gymnasium addition, and, along the south elevation of the classroom addition.

Village Planner Recommendation

APPROVE the revised landscaping plans for the three (3) school sites subject to the following additional conditions (in addition to those included in the original Plan Commission approval granted on May 22, 2017):

1. This approval is subject to all of the conditions and requirements set forth herein and adopted by the Plan Commission. Approval is granted for the revised landscaping plans dated August 2, 2017, unless superseded by further revisions required by the Plan Commission as part of its approval.
2. The District shall revise the proposed landscaping plan for Germantown High School to: (a) install a wire-woven or privacy fence along the north property line (or around the west, north and east sides of the parking lot to a point sufficient to prohibit/discourage trespass onto the adjoining properties to the north) along with the installation of additional trees and shrubs between the parking lot and north property line.
3. The District shall enter into a Landscape Maintenance Agreement with the Village as required under 17.43(6a) of the Zoning Code. For the Germantown High School site, said agreement shall address the issue of installing landscaping in the River Lane right-of-way and include, but not be limited to, assigning the responsibility for maintaining and replacing all landscaping items installed in the right-of-way to the Germantown School District.
4. The District shall revise the proposed landscaping plan for County Line Elementary to: (a) install eight (8) deciduous trees with a minimum 3" dia on the site in the vicinity of the classroom and gymnasium additions as compensation for the trees being removed for parking lot construction; (b) install street trees along the Butternut Road and School Road frontages in an amount equal to one (1) tree per 50 feet of road frontage in the vicinity of the classroom addition; (c) install a minimum 3' wide landscaped buffer strip of deciduous and evergreen shrubs along the east and south perimeter of the new parking area; (d) install foundation plantings along the west elevation of the gymnasium addition and along the south elevation of the classroom addition.
5. The District shall prepare revised landscape plans for the High School and County Line Elementary School sites and submit it to the Village Planner for review/approval prior to issuance of a building permit.



Village of



Germantown

Willkommen

Fee must accompany application

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☒ \$3,460 Commercial Construction >50,000 SF
- ☐ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID

DATE

4-3-17

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1

APPLICANT OR AGENT

Scott Kramer
Plunkett Raysich Architects, LLP
209 S Water St
Milwaukee, WI 53204
Phone (414) 359-3060
Fax ()
E-Mail skramer@prarch.com

PROPERTY OWNER

Ric Ericksen
Germantown School District
N104W13840 Donges Bay Rd
Germantown, 53022
Phone (262) 253-3900
Fax ()
E-Mail REricksen@germantown.k12.wi.us

2

PROPERTY ADDRESS

Germantown High School
W180 N11501 River Ln
Germantown, WI 53022

3

NEIGHBORING USES – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North	South	East	West
Limited Industrial	Environmental Corridor	Single Family Residential	Limited Industrial

4

READ AND INITIAL THE FOLLOWING:

[Signature] I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

[Signature] I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

[Signature] I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5

SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!

Applicant

Date

3/28/17

Owner

Date

3/28/17

Jeff Retzlaff

From: MATT SCHMIDT <mattsd1000@gmail.com>
Sent: Thursday, August 24, 2017 4:14 PM
To: Jeff Retzlaff
Cc: 'Elke Wetekam'; 'Sabrina Schmidt-Wetekam'; 'Chris Schmidt-Wetekam'; 'Jeffrey D. Grumbling'
Subject: RE: Germantown High School Project; Landscaping Plan
Importance: High

Thank you very much for your response and support Jeff.

I also spoke with Ric Erickson the School District development director today who appeared to be receptive to the idea (and need) to establish a natural and safe boundary on the North side of the proposed parking lot . It is important for the High School to prevent the student from crossing into the industrial park.

I suggest to use a green PVC coated (no maintenance) wire mesh fence (height whatever the code is in GT) along the property line with additional groups of evergreens in front (towards the school) to provide a visual barrier and break up the monotony of a fence.

The current landscaping plan provides additional trees and bushes to shield the new parking lot from River Lane and also from the school itself but there is no current provision to the North.

I also suggest a buffer zone with the above mentioned vegetation between the parking lot asphalt edge and the property line . I don't know what the side yard setback requirements are but would think that a minimum of 15 ' would be appropriate. That would help a bit with the noise and exhaust fumes from parked vehicles. You may also consider some room where the snow plows can dump the snow that they plow off of the new parking lot.

Well, those are my thoughts Jeff.

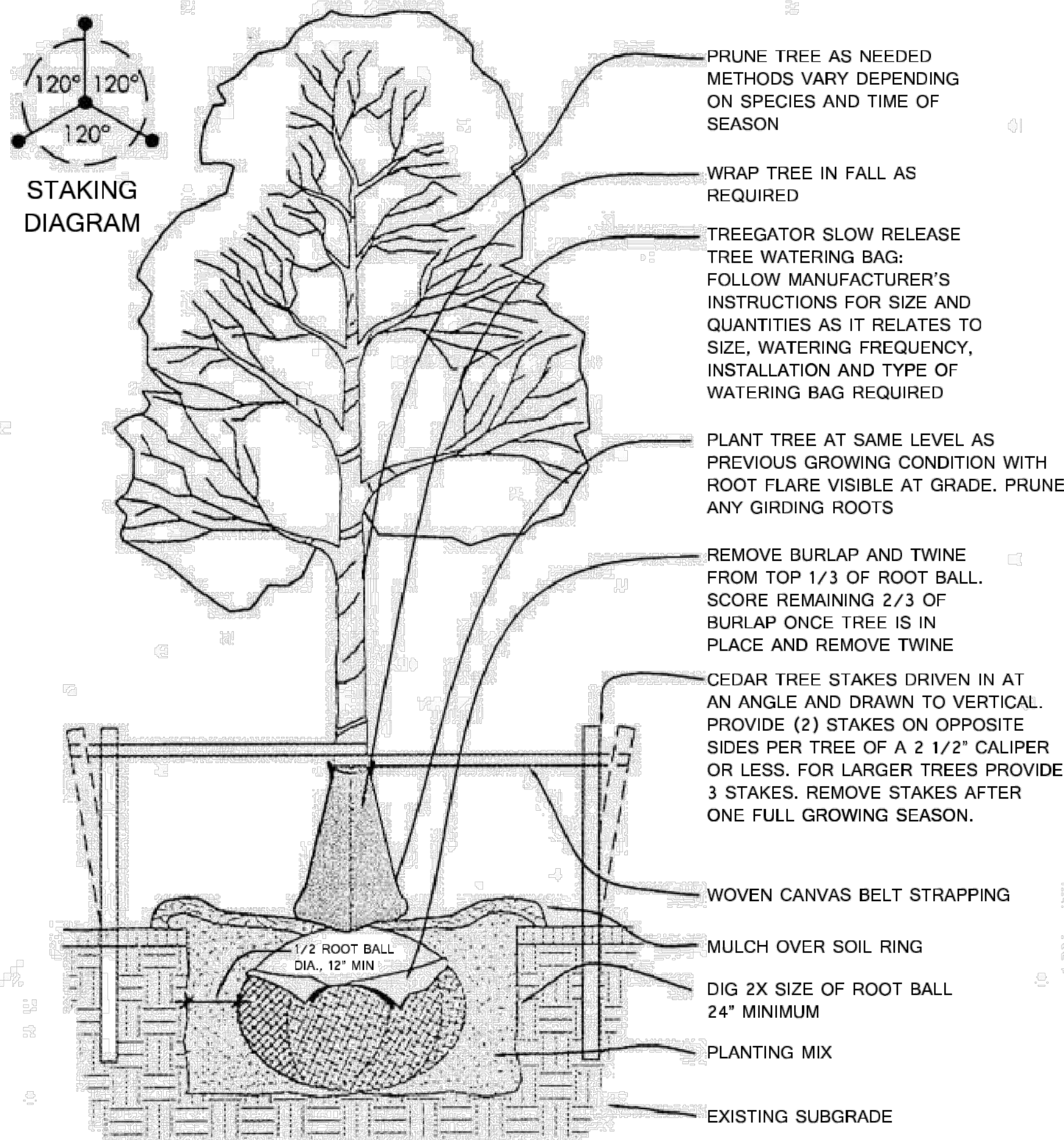
Thank you again for presenting these suggestions during the plan committee meeting next Monday.

Best Regards
Matt

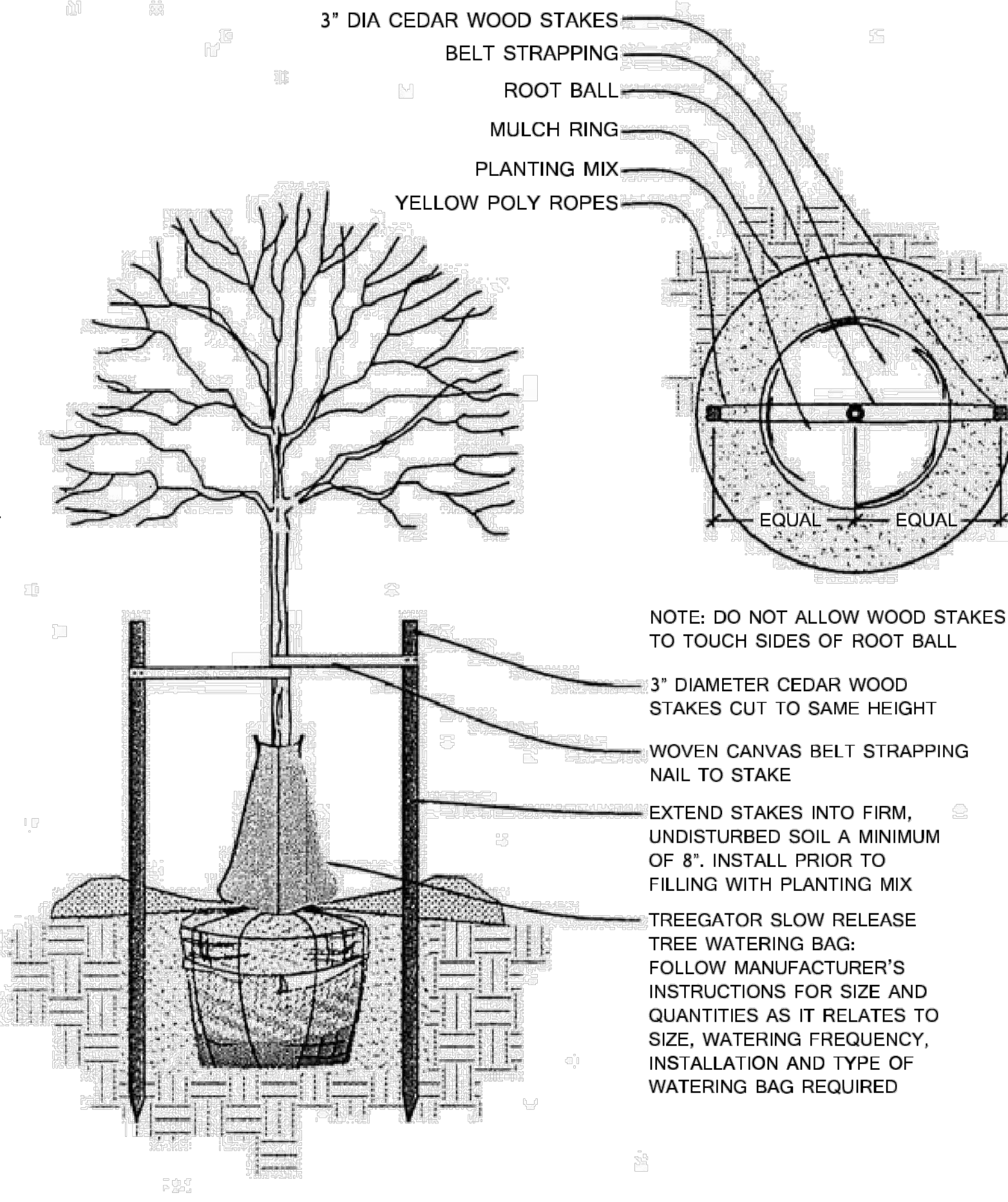
Matt Schmidt
Managing Partner
858 504 3000

Pegasus Properties LP
PO Box 231333
Encinitas, CA 92023
Accounting located @ :
1015 Via Mil Cumbres
Solana Beach , CA 92075

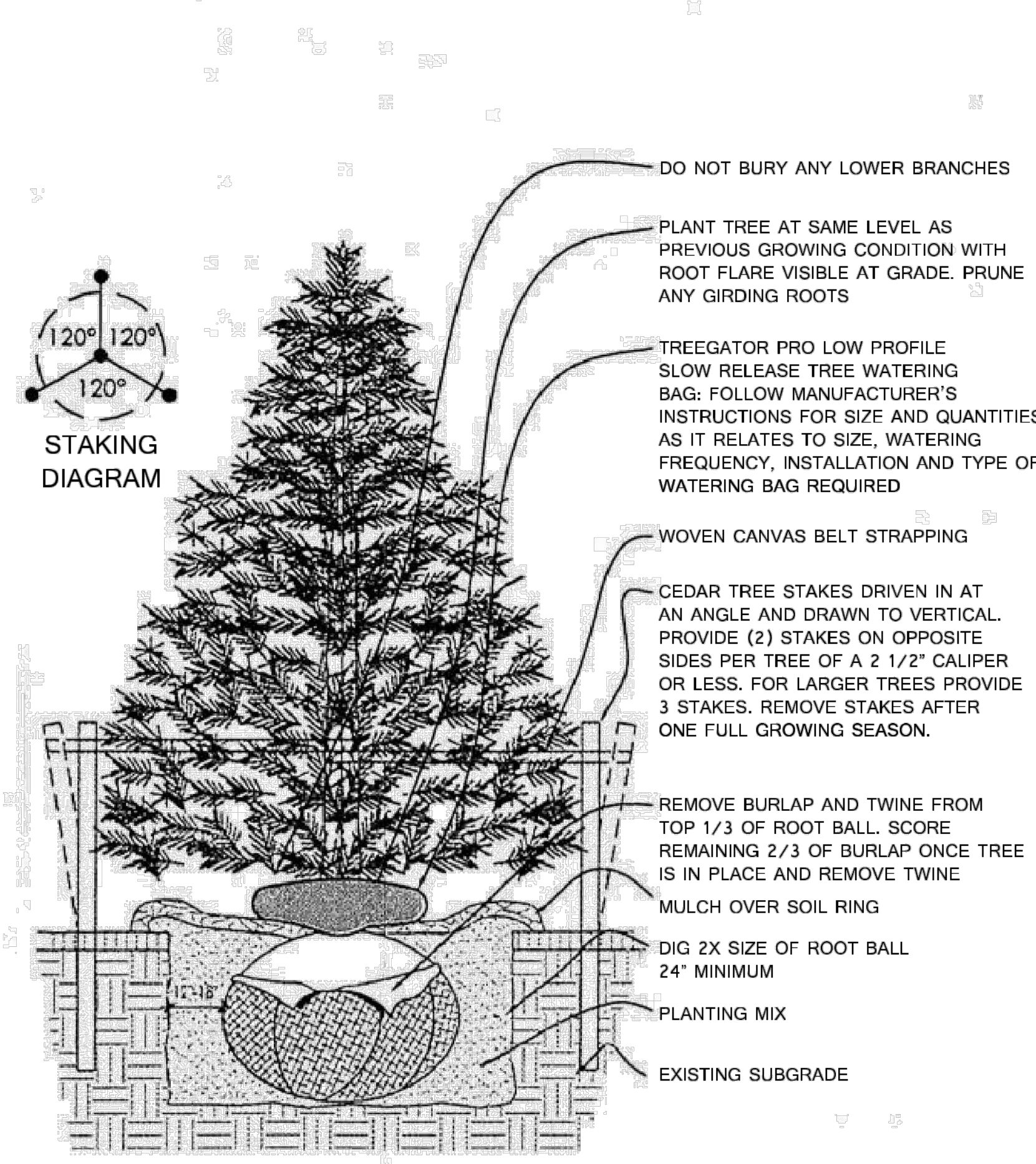
From: Jeff Retzlaff [mailto:jretzlaff@village.germantown.wi.us]
Sent: Wednesday, August 23, 2017 6:37 AM



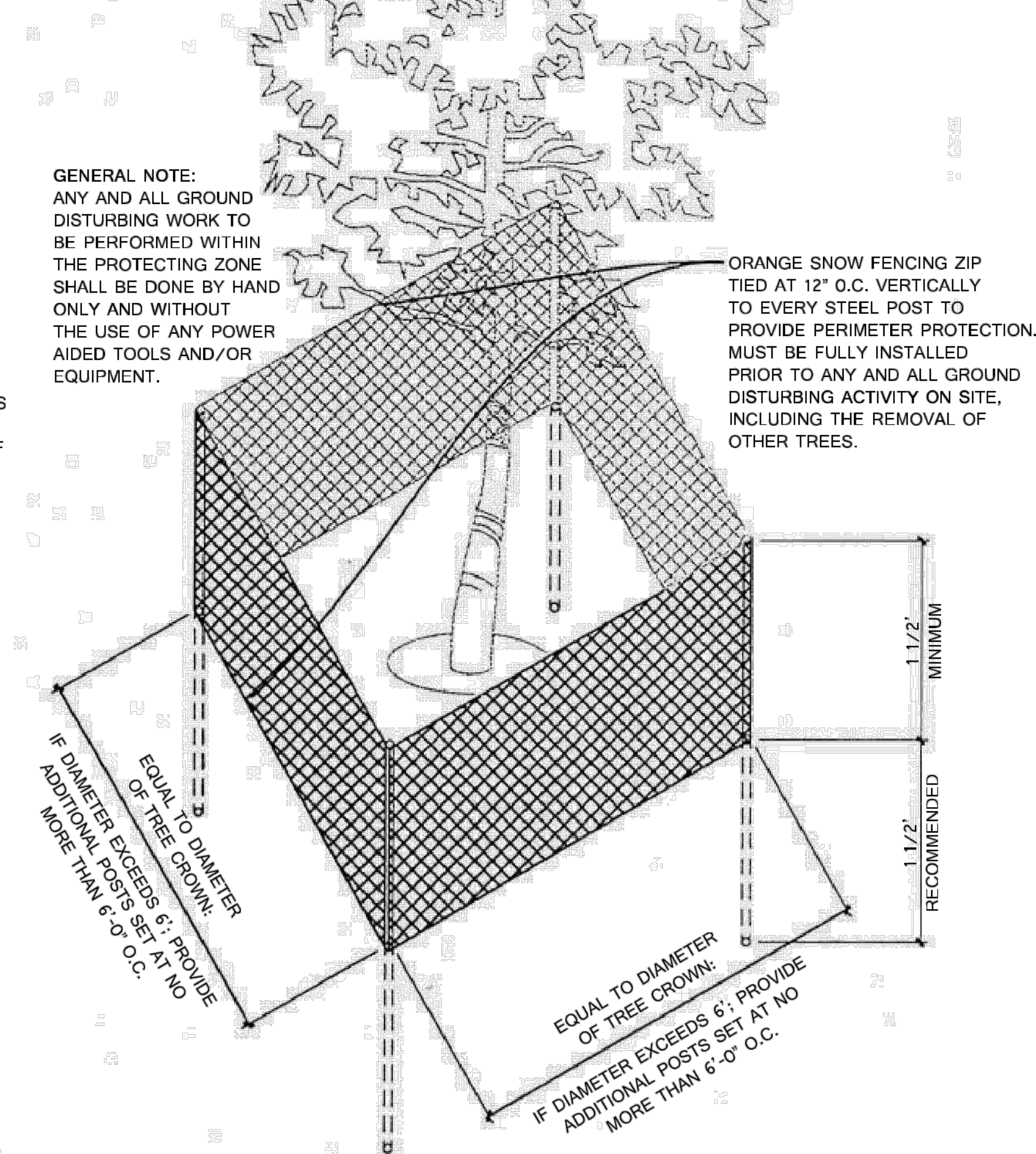
1 DECIDUOUS TREE PLANTING DETAIL



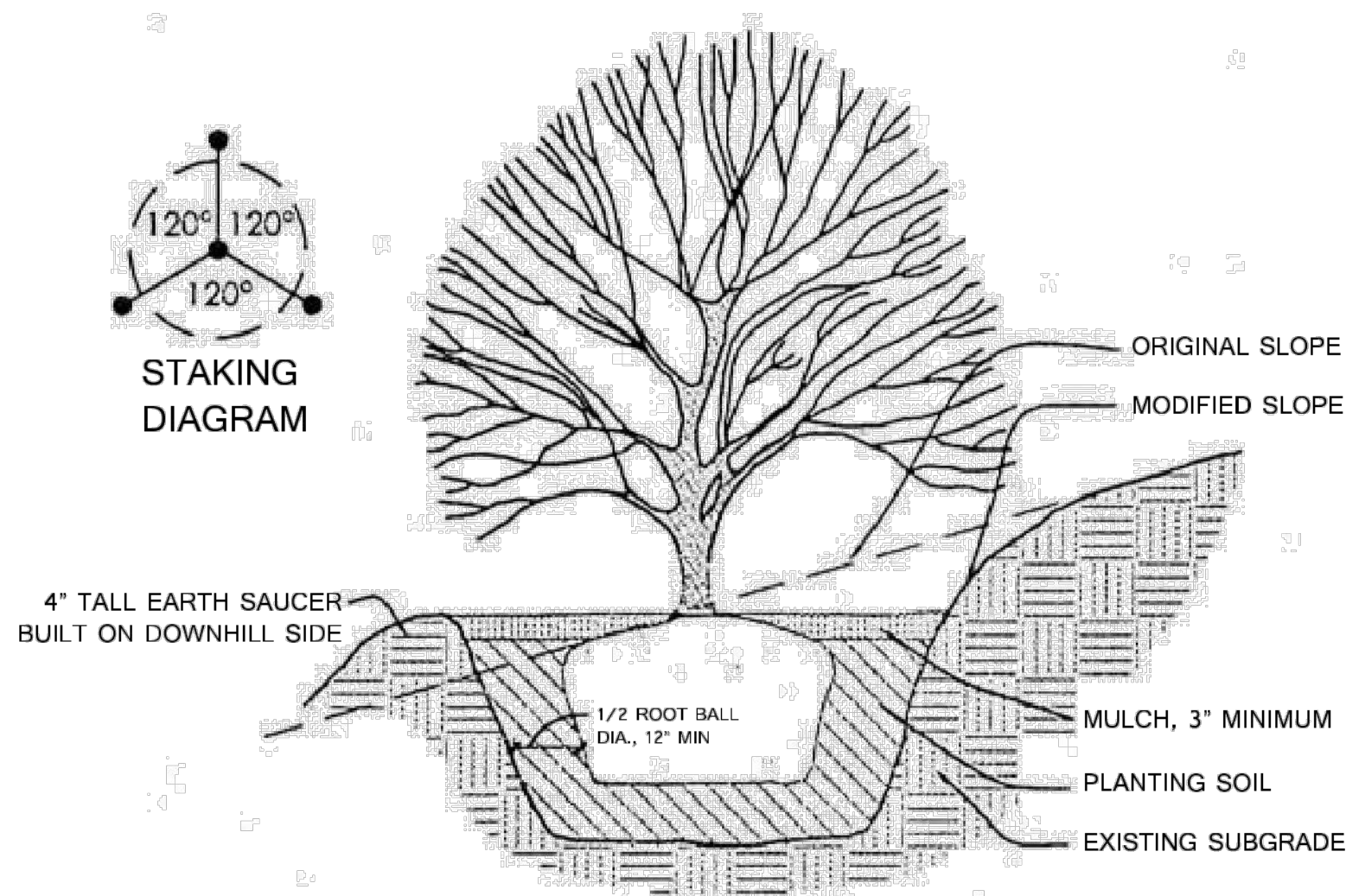
2 DECIDUOUS TREE STAKING AT PARKING ISLANDS/RESTRICTED AREAS



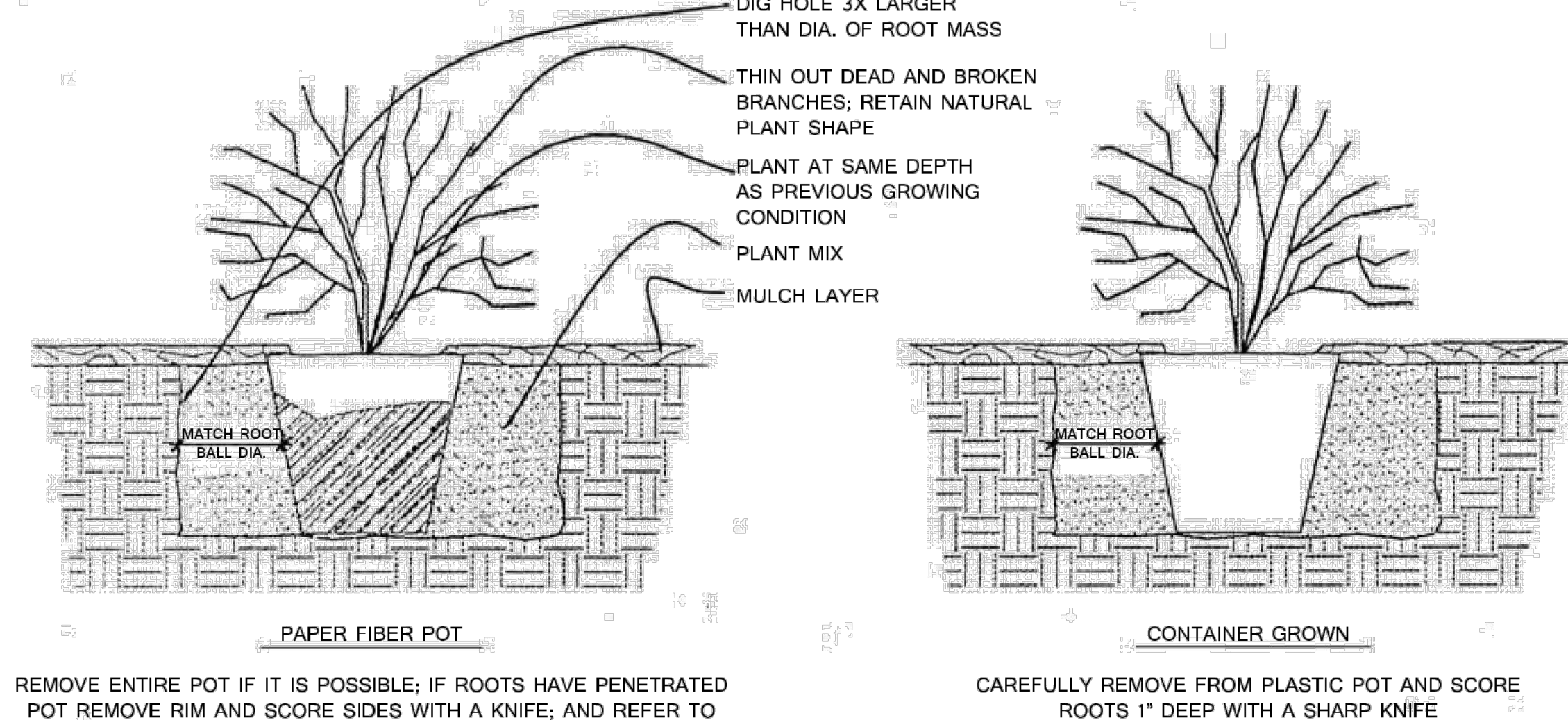
3 CONIFEROUS TREE PLANTING DETAIL



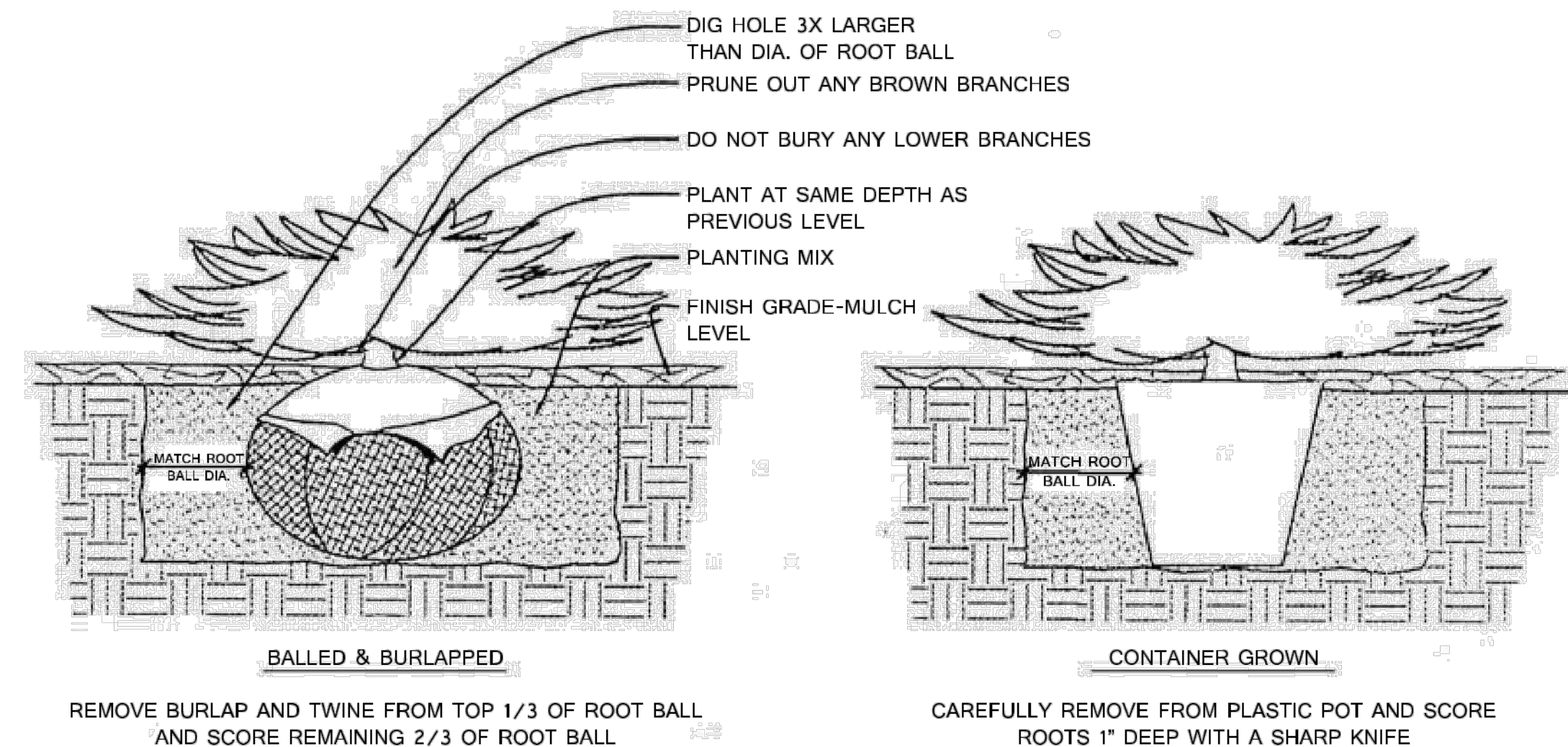
4 EXISTING TREE PROTECTION DETAIL



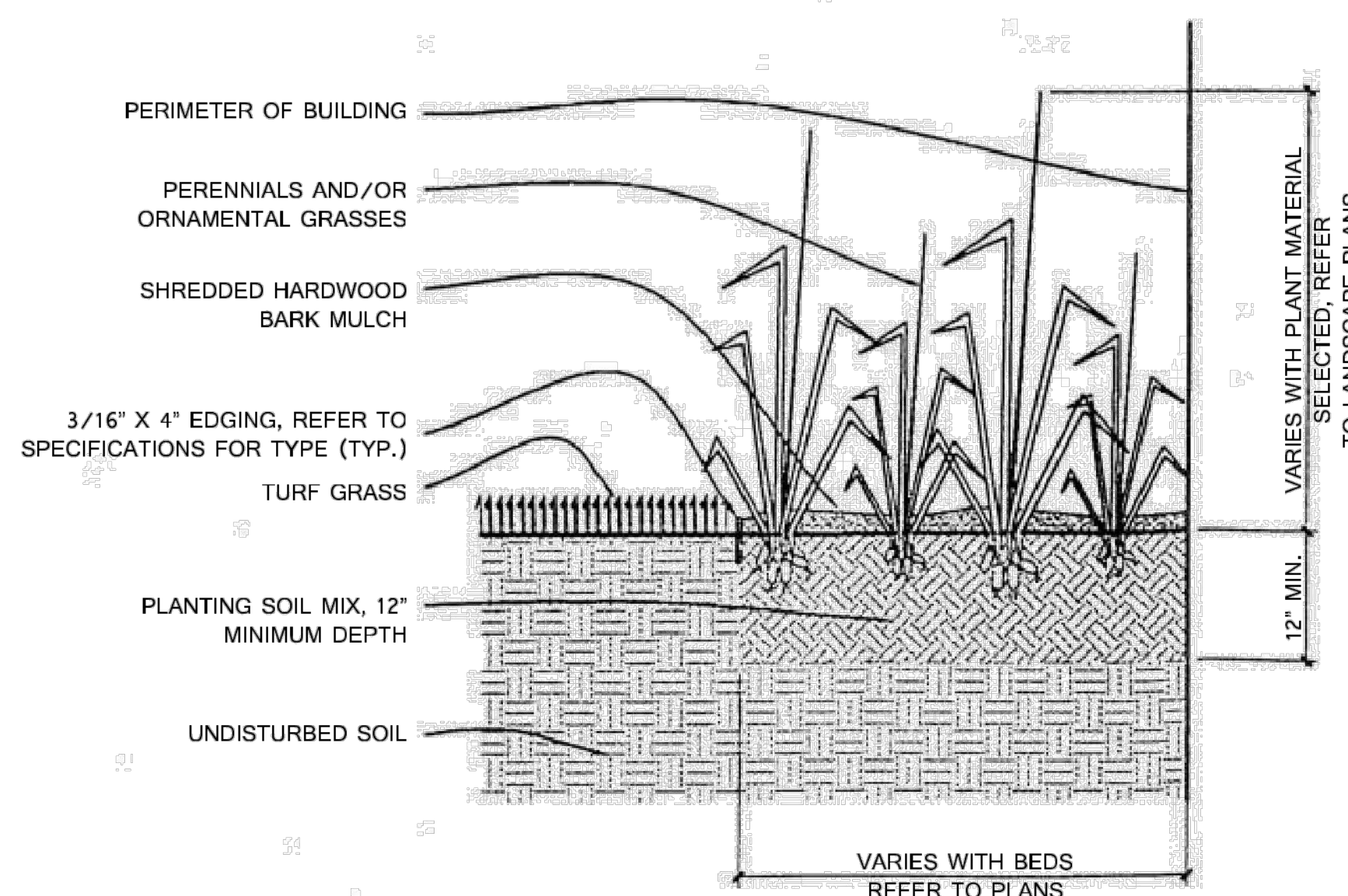
5 SLOPE PLANTING DETAIL



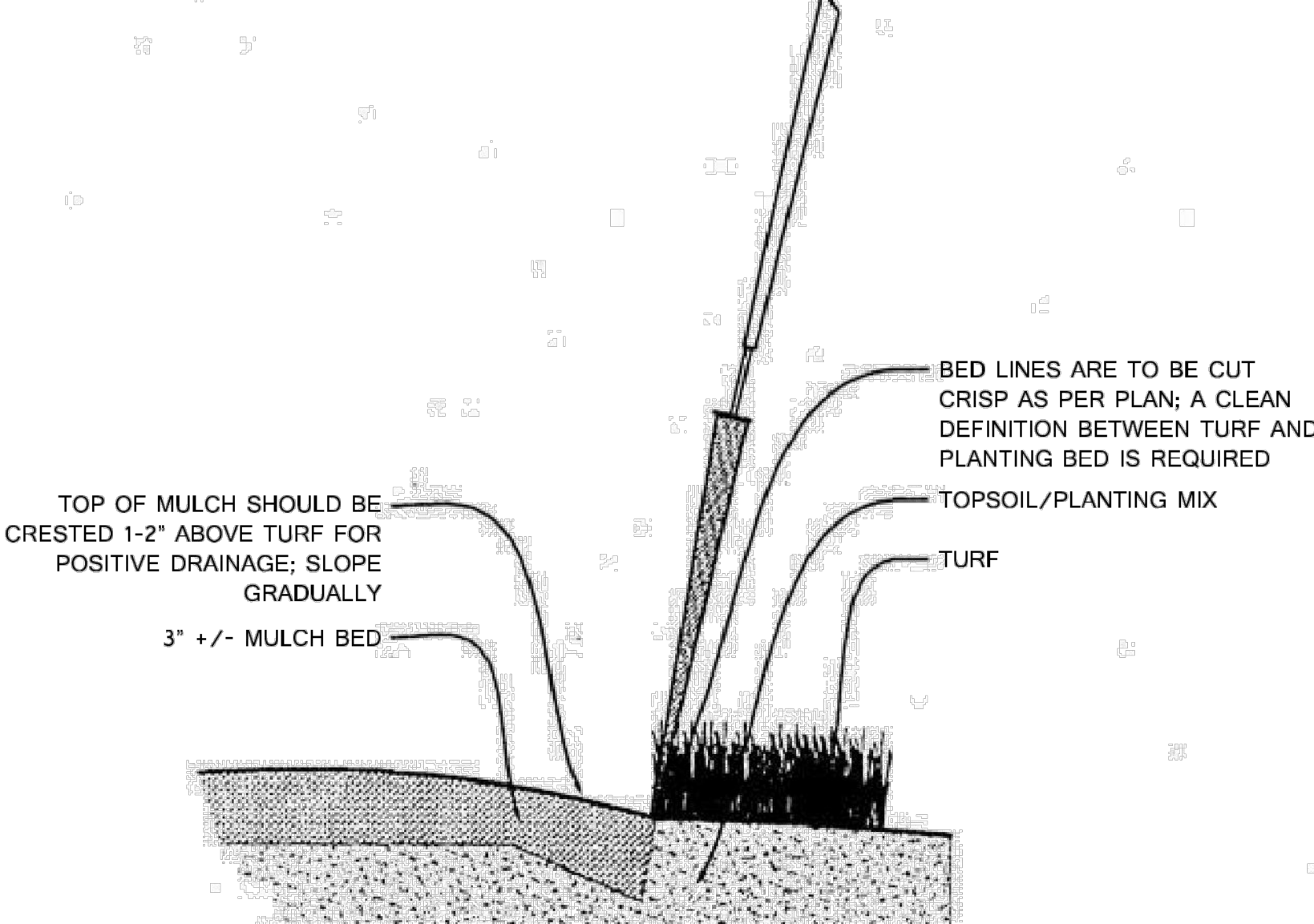
6 DECIDUOUS SHRUB PLANTING DETAIL



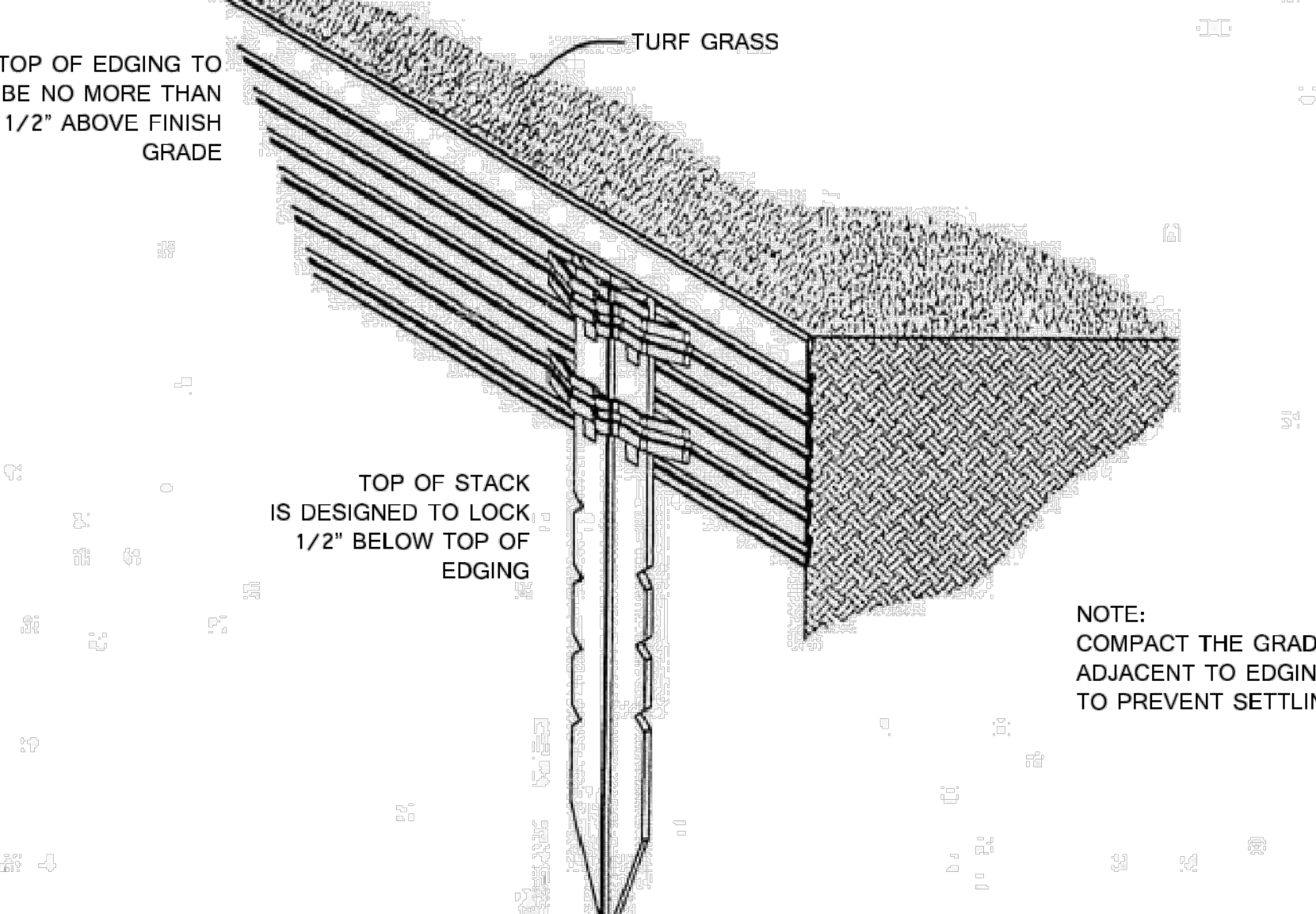
7 CONIFEROUS SHRUB PLANTING DETAIL



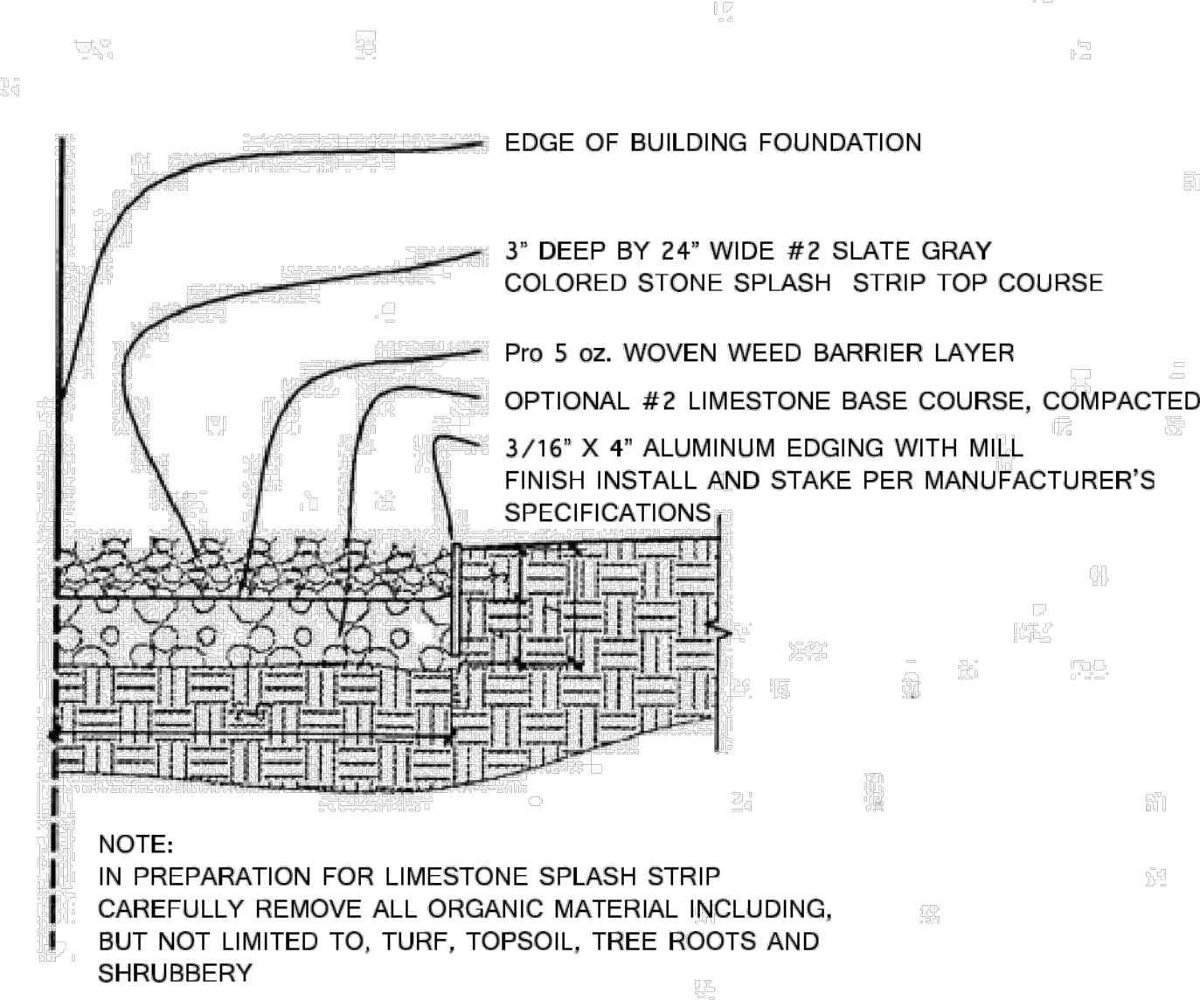
8 PERENNIAL BED PLANTING DETAIL



9 SPADE EDGE PLANTING BED EDGE DETAIL



10 METAL LANDSCAPE EDGING DETAIL



11 COMPACTED GRAVEL SPLASH STRIP

GENERAL LANDSCAPE NOTES

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATION AS WELL AS OTHER CONTRACTED WORK, WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO THE PLANTS, GRADE, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G., VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF CONTRACTOR.

ALL PLANT MATERIALS FURNISEHD BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE NO. 1 GRADE OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS AS DESCRIBED IN ANSI Z60.1 1996. LANDSCAPE ARCHITECT RESERVES ALL RIGHT TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL, AT THE PLANT, AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH 'EASY GROW' 3 YR. (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT. GRANULAR FERTILIZERS WILL BE ACCEPTED, BUT MUST BE APPROVED BY LANDSCAPE ARCHITECT. PLEASE SUBMIT SPECIFICATIONS.

APPLICATION RATES SHALL BE AS FOLLOWS:

- TREES:
- 1-1/2" TO 3" CAL.: 2 PACKETS, ONE EACH SIDE
 - GREATER THAN 3": ADD 1 PACKET PER 1" CAL. (I.E. 4"-4 PACKETS)

- SHRUBS:
- 1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS REQUIRED)

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR INFERABLE THERE FROM AND/OR SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEEDED WITH A MECHANICAL SPREADER AT THE RATE AS RECOMMENDED FOR LOCAL CONDITIONS. AFTER SEEDING, ALL AREAS SHALL BE RAKED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHODS OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. HYDRO MULCH EMBANKMENTS THAT EXCEED 1:4 SLOPES.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN SACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINIAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATION. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HARD RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

LANDSCAPE/SITE NOTES

FIELD VERIFY ALL ELEVATIONS -- IF THERE IS ANY MAJOR DISCREPANCY, PLEASE NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.

- ALL BEDS SHALL BE SPADE EDGE UNLESS OTHERWISE NOTED PLAN.
- ALL PERRENIAL GROUNDCOVER BEDS SHALL BE AMENDED PRIOR TO PLANTING.
 - * WE WILL AMEND WITH PERMA MATRIX FOLLOWING DIRECTIONS ON BAG AND ADD WORM CASTINGS OR COMPOST TO THE DEPTH OF 2"
 - * WE WILL CULTIVATE ALL MATERIAL TO A DEPTH OF 8-10"
 - * IF THERE IS A SUBSTITUTE MEDIUM BY CONTRACTOR THOSE SPECIFICATIONS NEED TO BE SUBMITTED TO LANDSCAPE ARCHITECT.
- ALL BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH (DOUBLE PREFERRED) UNLESS OTHERWISE NOTED ON PLAN.
 - * TREES AND SHRUBS WILL HAVE 2" DEPTH -- MEDIUM
 - * GROUNDCOVER AND PERRENIALS 1" DEPTH -- MAXIMUM (OR DUSTING)
- IN PLANTING OF TREES
 - * TREES WILL ONLY BE STAKED IF WIND BECOMES A STEADY ISSUE
- ALL TREES AND LAWN AREAS SHALL HAVE A 4' DIAMETER HARDWOOD MULCH RING.
- ALL AREAS ALONG HARDSCAPE I.E., SIDEWALKS, PARKING LOTS, PATIOS, ETC. SHALL BE DOUBLE SEEDED TO ENSURE A HEALTHY ESTABLISHMENT OF SEEDED LAEN ALONG THESE AREAS.
- WHERE GRADES EXCEED 4:1 EROSION CONTROL FABRIC SHALL BE INSTALLED AND SECURED WITH LANDSCAPE STAPLES.
 - * EROSION CONTROL FABRIC SHALL BE OVERLAPPED 3-4" WITH SEAM FACING DOWNHILL
- ALL SEEDED LAWNS SHALL BE:
 - * MULCHED WITH MATERIAL AS SPECIFIED IN PLAN
 - * SEEDED WITH REIDERS PREMIUM 50 OR EQUIVALENT AT THE RATE OF 5# PER 1000SQFT
 - * MECHANICALLY SEEDED AND LIGHTLY RAKED IN BY HAND OR MACHINE
 - * STARTER FERTILIZER SHALL BE APPLIED AT THE RATE OF 10# PER 1000 SOFT
 - * PENN MULCH, STRAW OR HYDRO MULCH AREA AS SPECIFIED ON PLANS AND SPECIFICATIONS
- DURING THE PLANTING PROCESS ALL PLANFTS SHALL BE WATERED IN BY CONTRACTOR ONSITE AND THE PLANTS SHALL THEN BE THE RESPONSIBILITY OF THE CONTRACTOR ONLY DURING THE DURATION OF THE PLANTING.
 - * WATERING SHOULD OCCUR EVERY 3RD DAY TO ENSURE PROPER ESTABLISHMENT OF PLANTS
- ALL PLANTINGS SHALL BE DRENCHED WITH A ROOT STIMULANT OR EQUIVALENT UPON PLANTING TO ENSURE PROPER ESTABLISHMENT.
- WHEREVER THERE IS A DISCREPANCY BETWEEN QUANTITIES ON PLANT LIST AND QUANTITIES ON PLAN -- PLAN QUANTITIES WILL ALWAYS TAKE PRECEDENT.

GUARANTEE PERIOR FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

LAWNS (SEED & SOD)*	3 MONTHS
GROUND COVER	3 MONTHS
SHRUBS	12 MONTHS
TREES	12 MONTHS
PERENNIALS, ROSES, JAPANESE MAPLES	90 DAYS FROM INSTALLATION

*(IF LAWN IS INSTALLED IN FALL AND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIODS, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED)

ALL SHRUB PLANTING BEDS TO BE LINED WITH A MINIMUM OF 2"-3" SHREDDED BARK MULCH (NO PLASTIC LINERS). PLACE MULCH AT BASE OF ALL TREES (MINIMUM 4' DIAMETER).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000SF AND WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

RECOMMENDED SEED MIX:
PREMIUM 60 GRASS SEED MIX -- REINDER'S (262-786-3300) NO-MOW LOW GROW GRASS SEED MIX
20% AMERICAN KENTUCKY BLUE GRASS 45% SPARTAN HARD FESCUE
20% ALPINE KENTUCKY BLUE GRASS 40% AZAY SHEEP FESCUE
20% LANGARA KENTUCKY BLUE GRASS 15% TRANSIT ANNUAL RYE GRASS
20% VICTORY CHEWING FESCUE APPLY AT A RATE OF 175 POUNDS PER ACRE
10% FIESTA ILL PERENNIAL RYE GRASS REFER TO SUPPLIER SPECIFICATION AND INSTALLATION
APPLY AT A RATE OF 175 POUNDS PER ACRE CUT SHEETS FOR FURTHER INFORMATION.
REFER TO SUPPLIER SPECIFICATION AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.

PROPOSED TREES TO BE STAKED AS REQUIRED. VERIFY WITH LANDSCAPE ARCHITECT IF EXPOSURE AND WIND CONDITIONS PREVALENT.

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKE, WITH A COPY TO LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE ARE NOT COVERED BY TURF SHALL BE RESEEDED BY THE CONTRACTOR. ANY SEED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE AT THE LANDSCAPE CONTRACTOR'S EXPENSE.

ANY ALTERATION TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEEDED TO A WIDTH OF 5'.

PRE-EMERGENT HERBICIDE (TREFLAN OR EQUIV.) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATION AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH
AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATION AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES, OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNERS "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.

DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY THE LANDSCAPE ARCHITECT AND OWNER.

ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF THE PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN, THE PLANT SHALL BE REPLACED.

PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIER AND BARRICADES.

ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND ARES NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOP SOILED 4"-6" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATION AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.

CONTRACT IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES, AND MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.

WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWING (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.

ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.

GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.

ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.

FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS. UNLESS NOTED OTHERWISE ON THE PLANS, REFER TO PANTING DETAILS FOR FURTHER INFORMATION.

ALL PERENNIAL, ANNUAL, AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITIONS OF EXISTING SOIL. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION:

- PER EVERY 100 SQUARE FEET ADD:
- ONE -- 2 CUBIC FOOT BALE OF PEAT MOSS
- 2 POUNDS OF 5-10-5 GARDEN FERTILIZER
- 1/4 CUBIC YARD OF COMPOSTED MANURE
- PLANT STARTER OR OTHER COMPOSTED ORGANIC MATERIAL
- **PREMIXED SOILS WILL BE ACCEPTED, I.E. PURPLE COW, SOIL-LIFE, ETC. PLEASE NOTIFY LANDSCAPE ARCHITECT OF ALTERNATIVES USED.

ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF PLANT STARTER AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

ALL TREES TO BE INSTALLED, STAKED, GUYED ACCORDING TO DETAILS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2"-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS (OR BROWN ENVIRO-MULCH) FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OF GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

DURING THE INITIAL 30 DAY MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AN ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEED MUSH CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.

LANDSCAPE/SITE DEMOLITION CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

LANDSCAPE/SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIALS TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE MOVED BEFORE AND SITE DEMOLITION IS TO BEGIN.

DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAD SYSTEM IN ALL LAWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

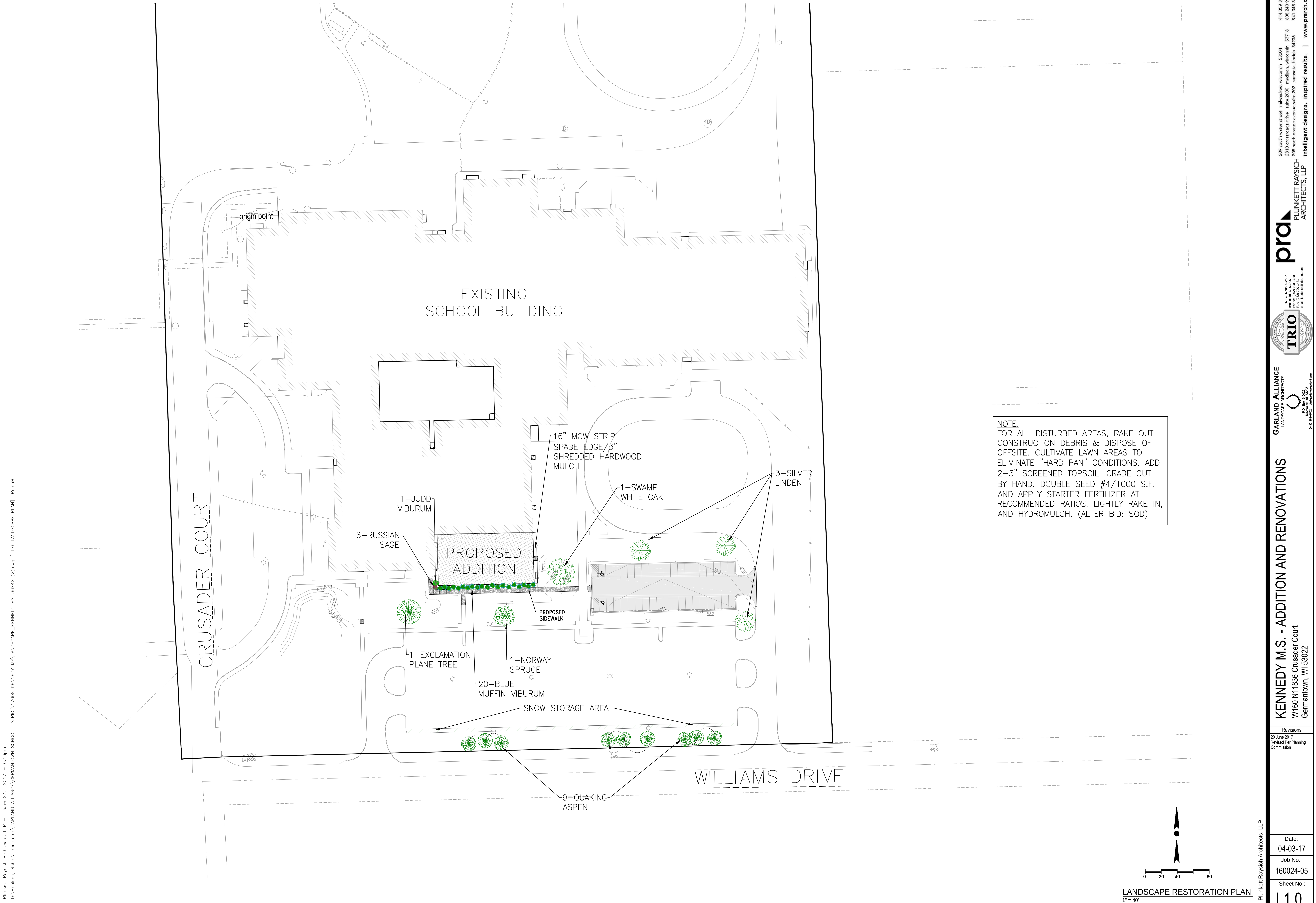
CONTRACTOR NOTE:
BEFORE SITE GRADING AND DEMOLITION IS TO BEGIN FOR PROPOSED NEW PAVEMENT, THE AREA IS TO BE STAKED AND ALL TREE AND SHRUBS THAT ARE TO BE PRESERVED ARE TO BE TAGGED BY LANDSCAPE ARCHITECT AND RELOCATED BY LANDSCAPE CONTRACTOR. IF REQUIRED A TREE PRESERVATION PLAN WILL BE PRODUCED AND COORDINATED WITH CITY STAFF. DEMOLITION CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT, OWNER AND LANDSCAPE CONTRACTOR.

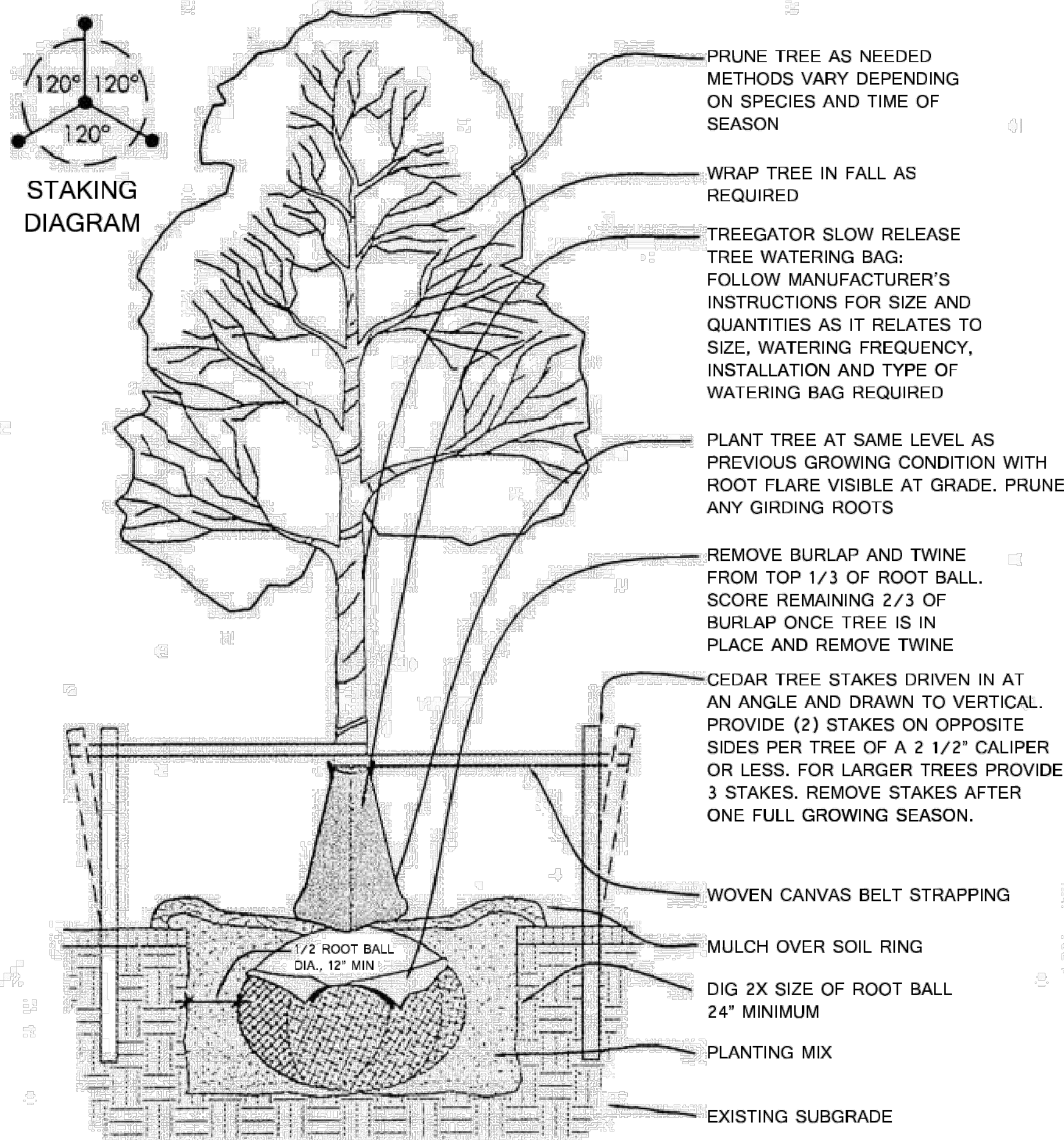
PLANT SCHEDULE

REVISED:20.JUNE.2017					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Aesculus glabra	Ohio Buckeye	2.5"	B&B	
1	Aesculus hippocastanum	European Horsechestnut	2.5"	B&B	
2	Aer saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	2.5"	B&B	
5	Betual nigra	River Birch	10'	B&B	Multi-trunk
1	Carpinus x 'Frans Fontaine'	Frans Fontaine Hornbeam	2.5"	B&B	
2	Fagus grandifolia	American Beech	2.5"	B&B	
2	Platanus x "Exclamation'	Exclamation Planetree	2.5"	B&B	
5	Populus tremuloides	Quaking Aspen	10'	B&B	Multi-trunk
2	Quecus bicolor	Swamp White Oak	2.5"	B&B	
14	Picea abies	Norway Spruce	5'	B&B	
6	Picea glauca var. densata	Black Hills Spruce	5'	B&B	
3	Pinus sylvestris	Scots Pine	5'	B&B	
23	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	24"	Cont.	
240	Panicum virgatum 'Cheyenne'	Cheyenne Switch Grass	4.5"	Cont.	
ADDITIONAL PLANTINGS PER PLANNING COMMISSON RECOMMENDATIONS					
1	Aesculus hippocastanum	European Horsechestnut	2.5"	B&B	
1	Aesculus glabra	Ohio buckeye	2.5"	B&B	
2	Acer saccharum 'Fall Fiesta'	Fall Fiesta sugar Maple	2.5"	B&B	
3	Betula nigra	River Birch	10'	B&B	Multi-trunk
6	Crataegus x crus galli var. inemis	Thornless Cockspur Hawthorn	8'	B&B	Multi-trunk
1	Fagus sylvatica 'Red Obelisk'	Red obelisk Beech tree	2"	B&B	
1	Plantanus x 'Excalmation'	Exclamation Planetree	2.5"	B&B	
1	Quercus bicolor	Swamp white Oak	2.5"	B&B	
6	Picea abies	Norway spruce	6'	B&B	
7	aronia melancarpa 'Morton'	Iroquois Beauty Chokeberry	2'	Cont.	
7	Juniperus x 'Nick's compact'	Nick's compact Juniper	24"	Cont.	
7	Taxus x media 'Everlow'	Everlow Yew	24"	B&B	
240	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	1 gal	Cont.	
24	Panicum virgatum 'Shenandoah'	Shenandoah switch Grass	1 gal	Cont.	

NOTES & PLANT SCHEDULE

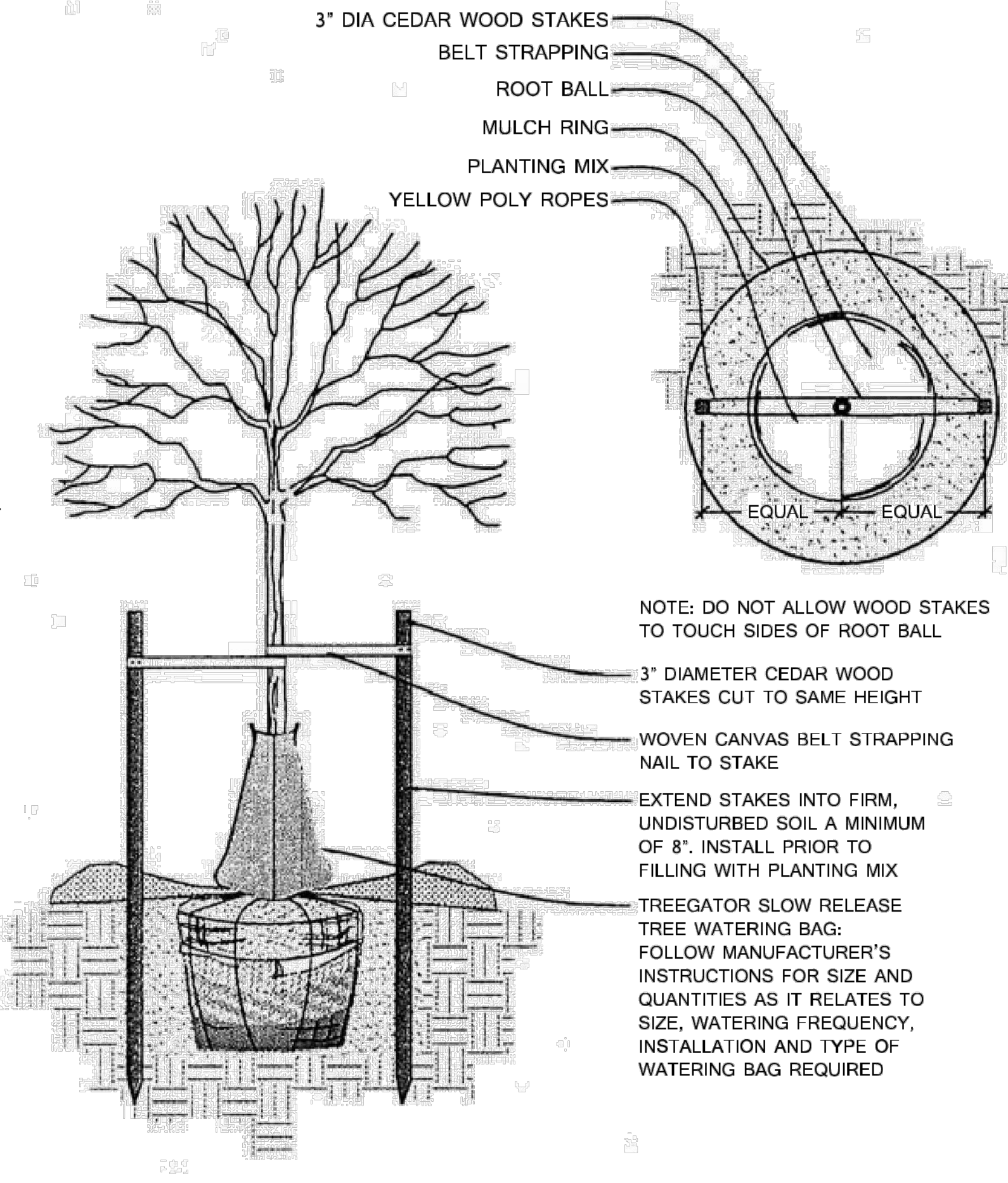






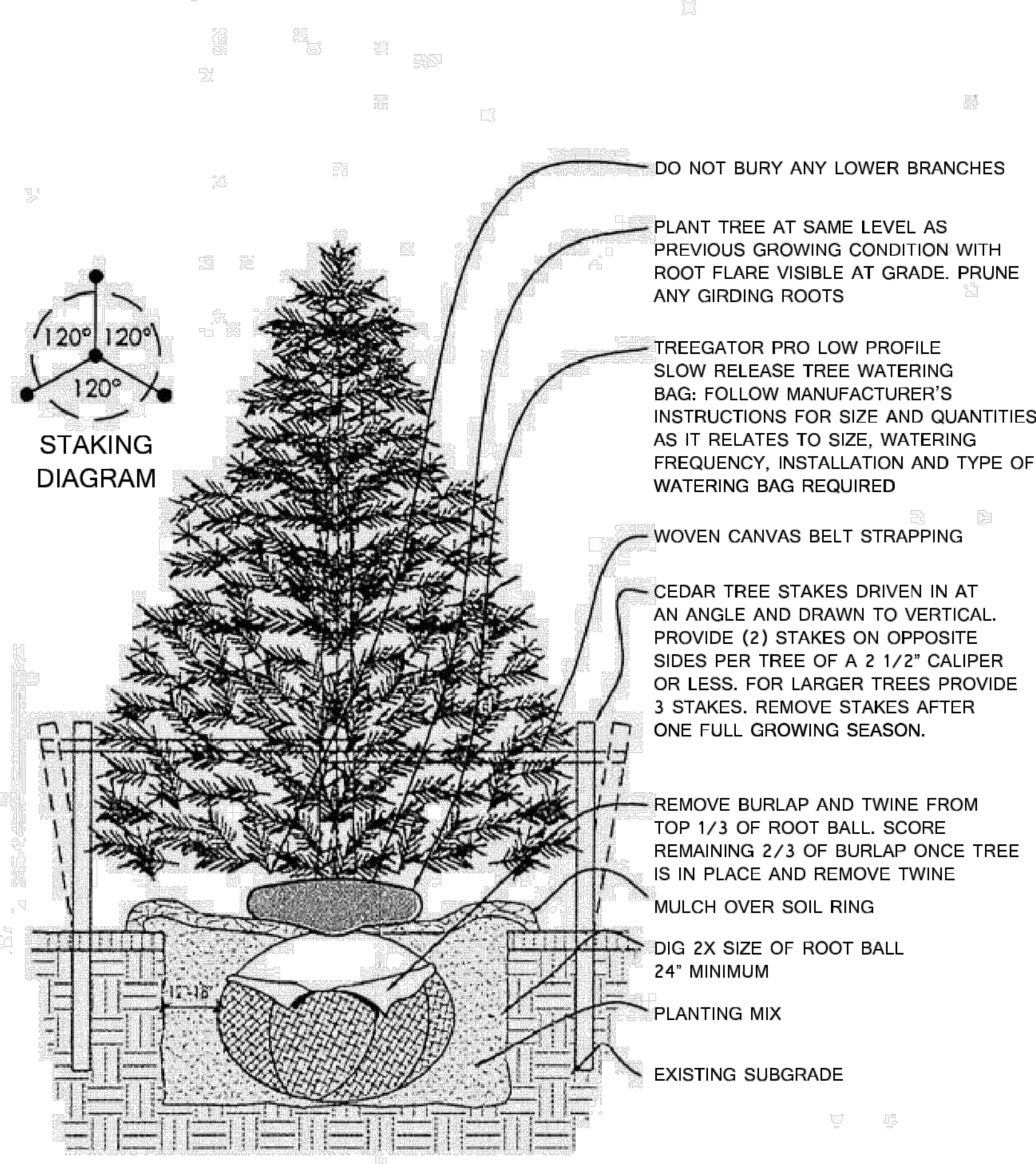
1 DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



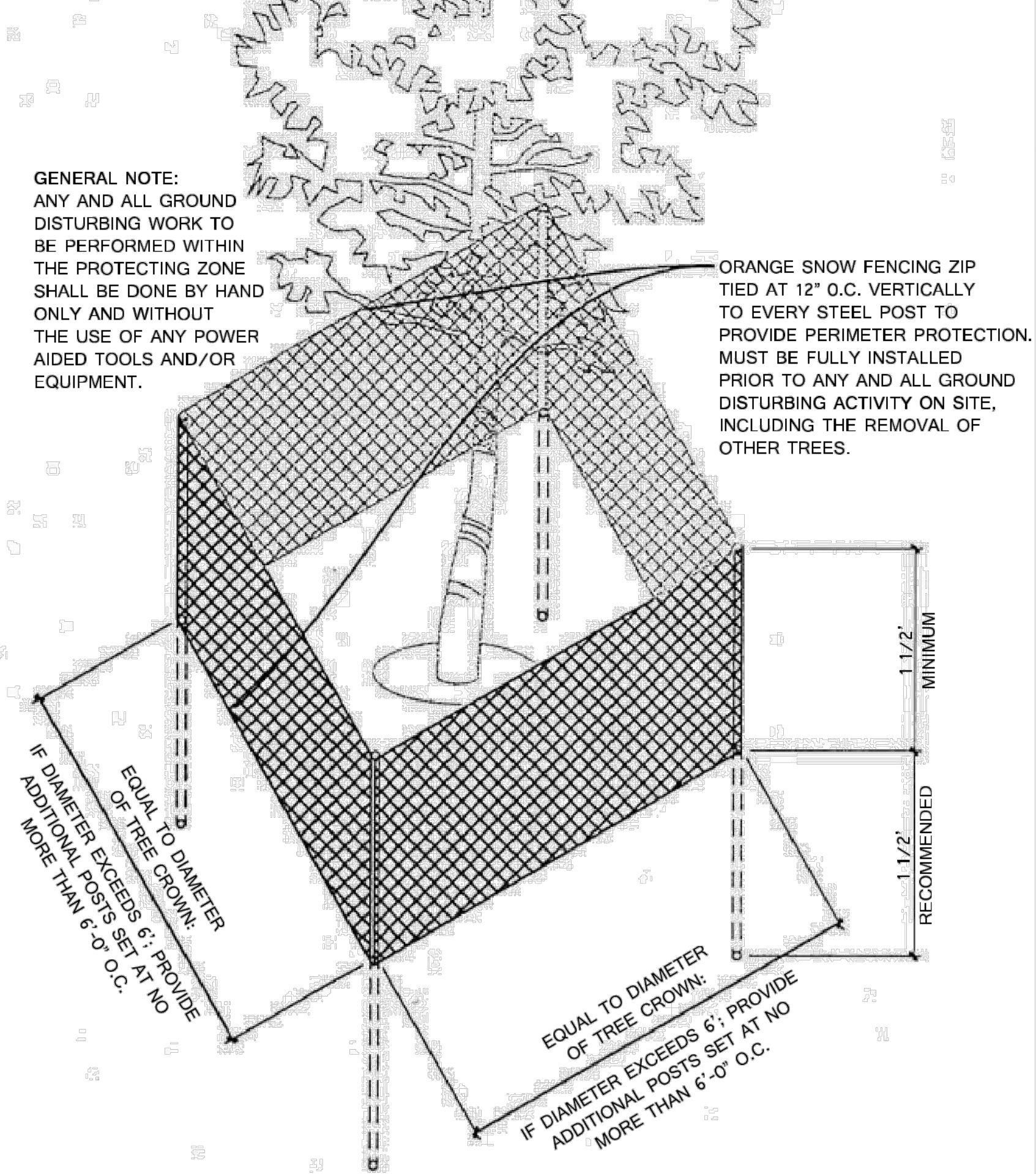
2 DECIDUOUS TREE STAKING AT PARKING ISLANDS/RESTRICTED AREAS

NOT TO SCALE



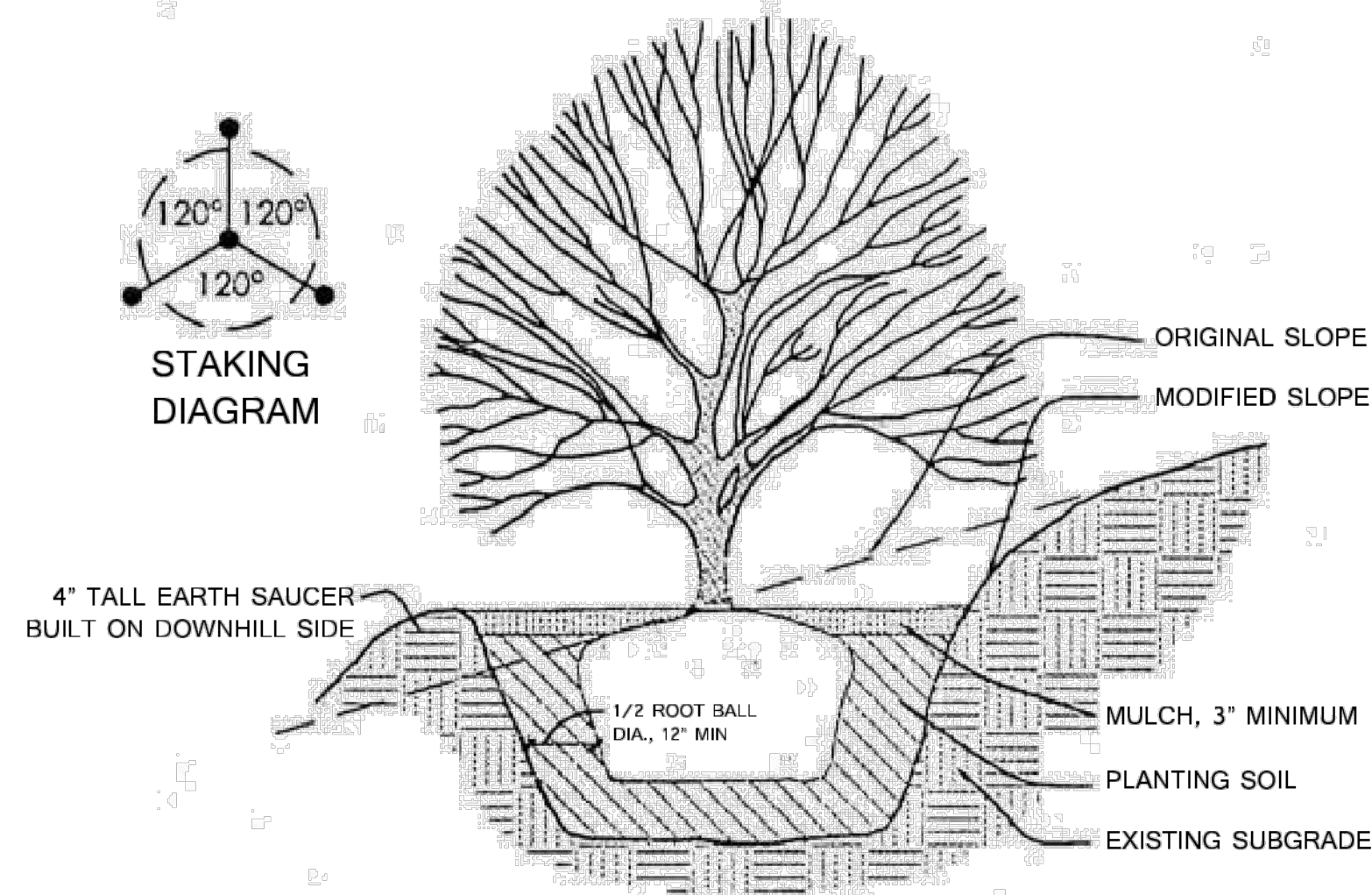
3 CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE



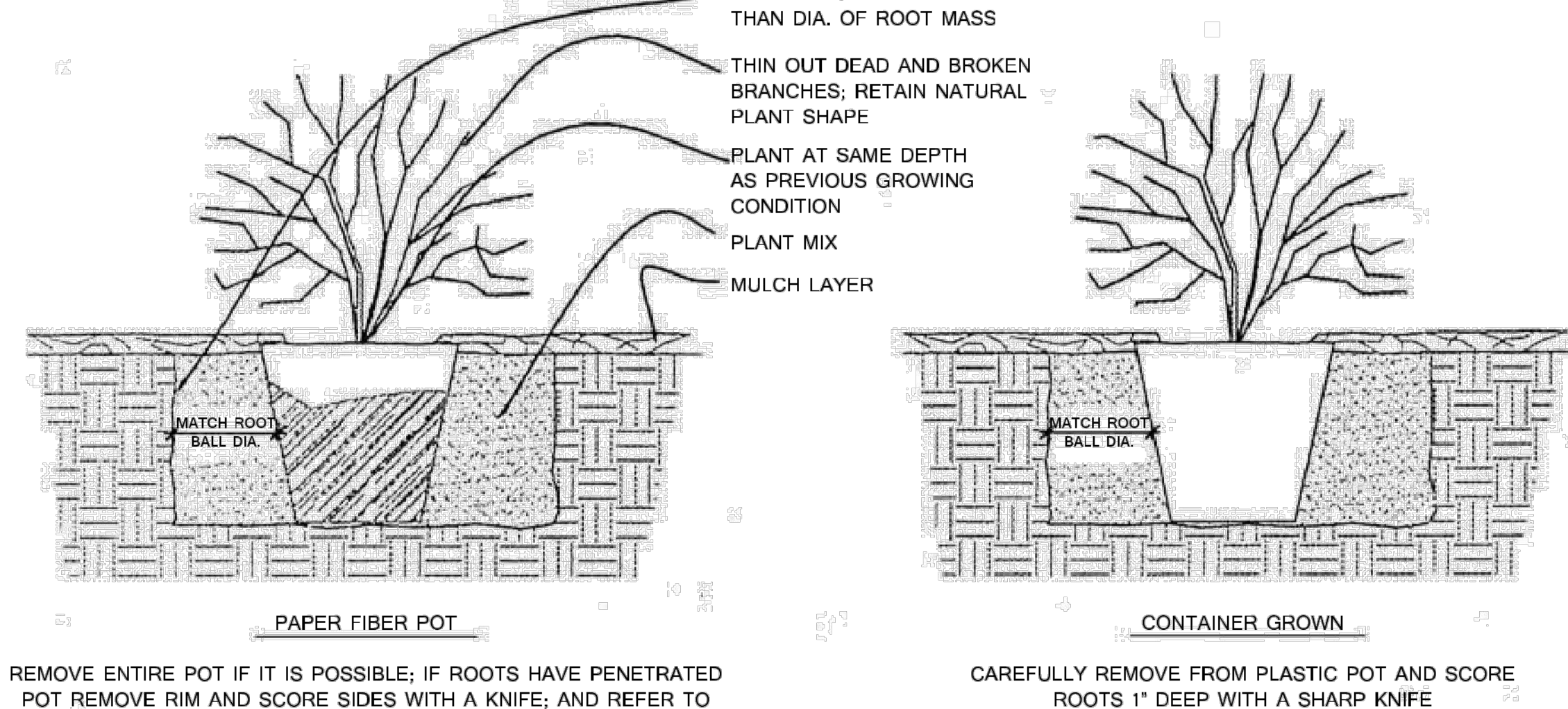
4 EXISTING TREE PROTECTION DETAIL

NOT TO SCALE



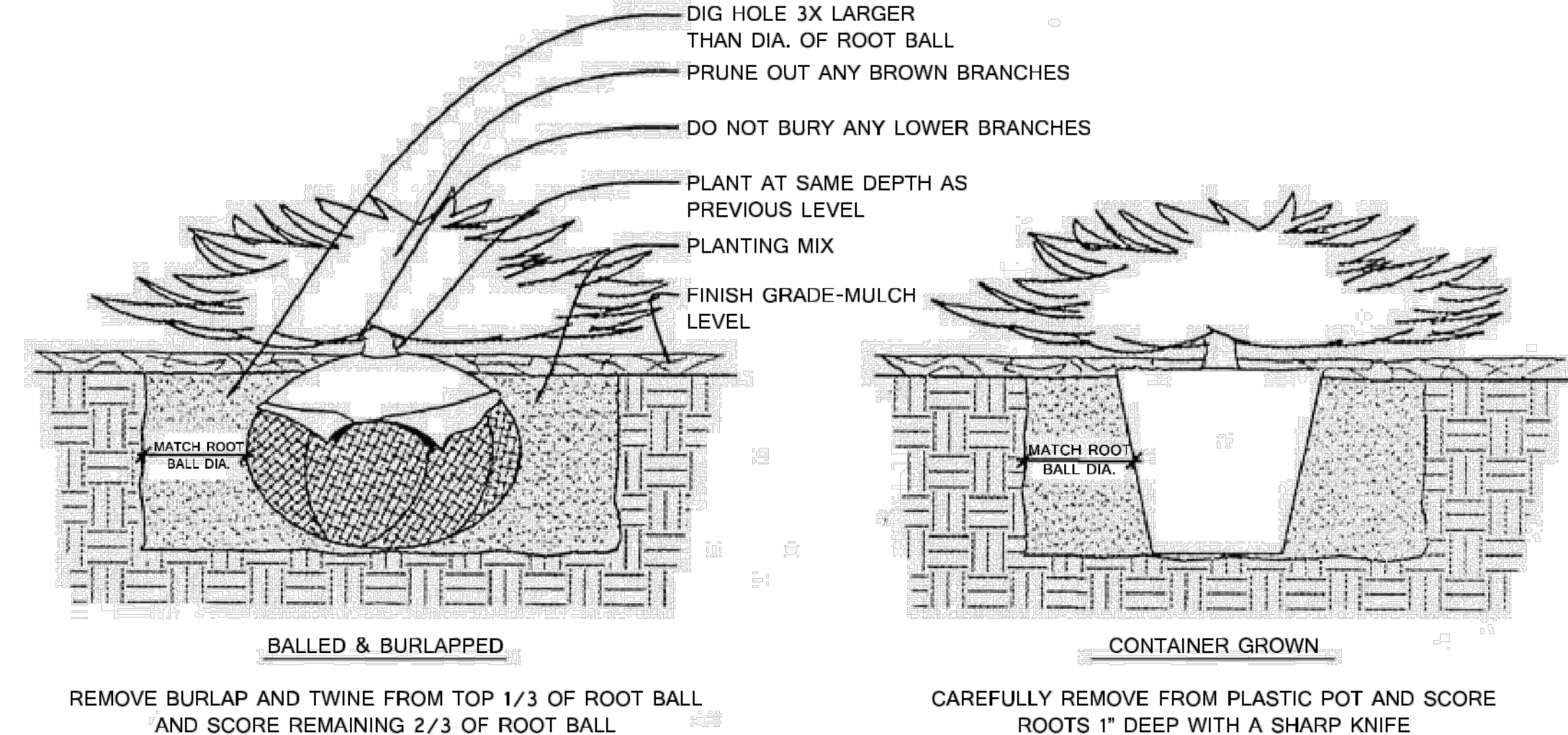
5 SLOPE PLANTING DETAIL

NOT TO SCALE



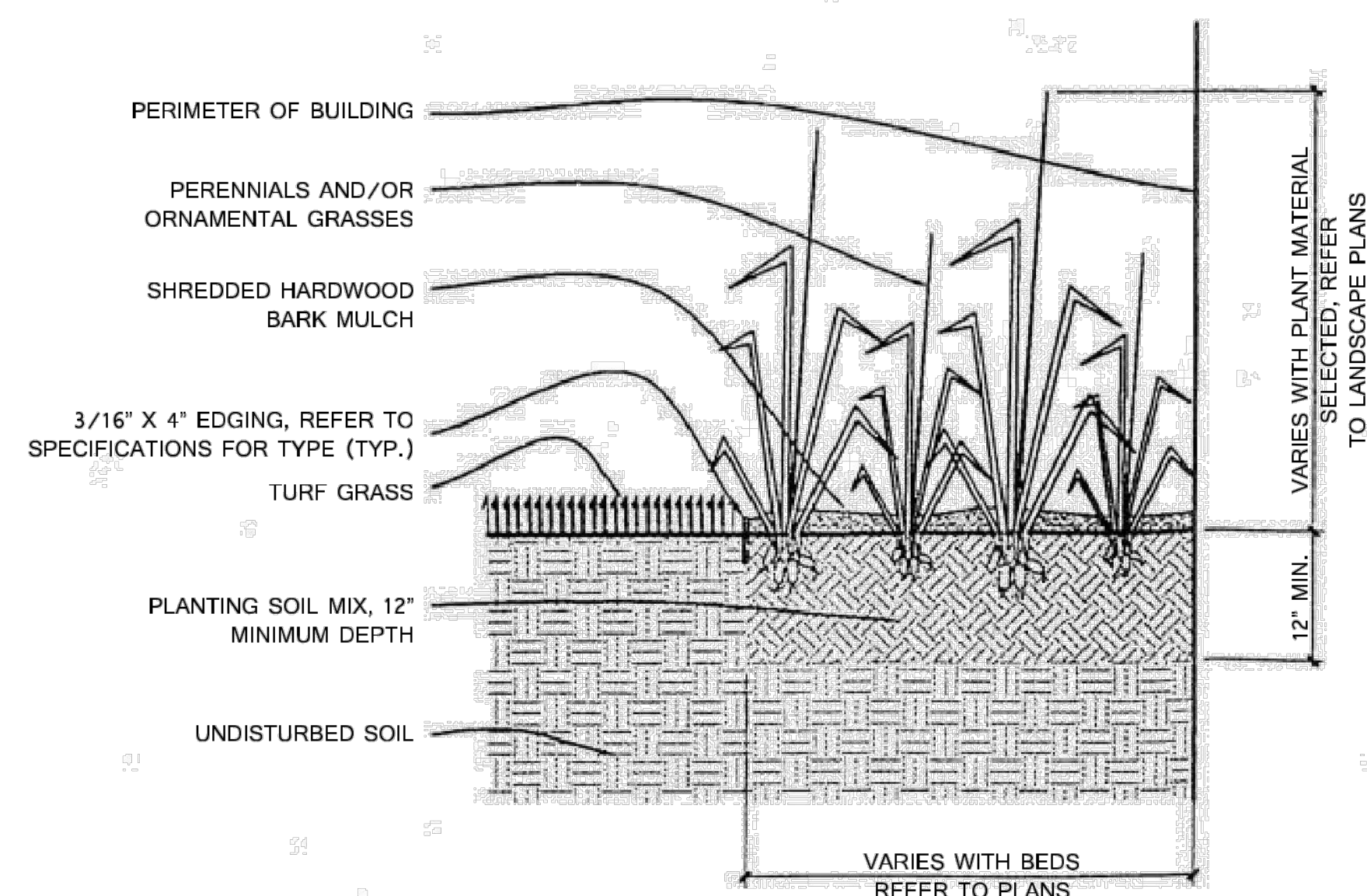
6 DECIDUOUS SHRUB PLANTING DETAIL

NOT TO SCALE



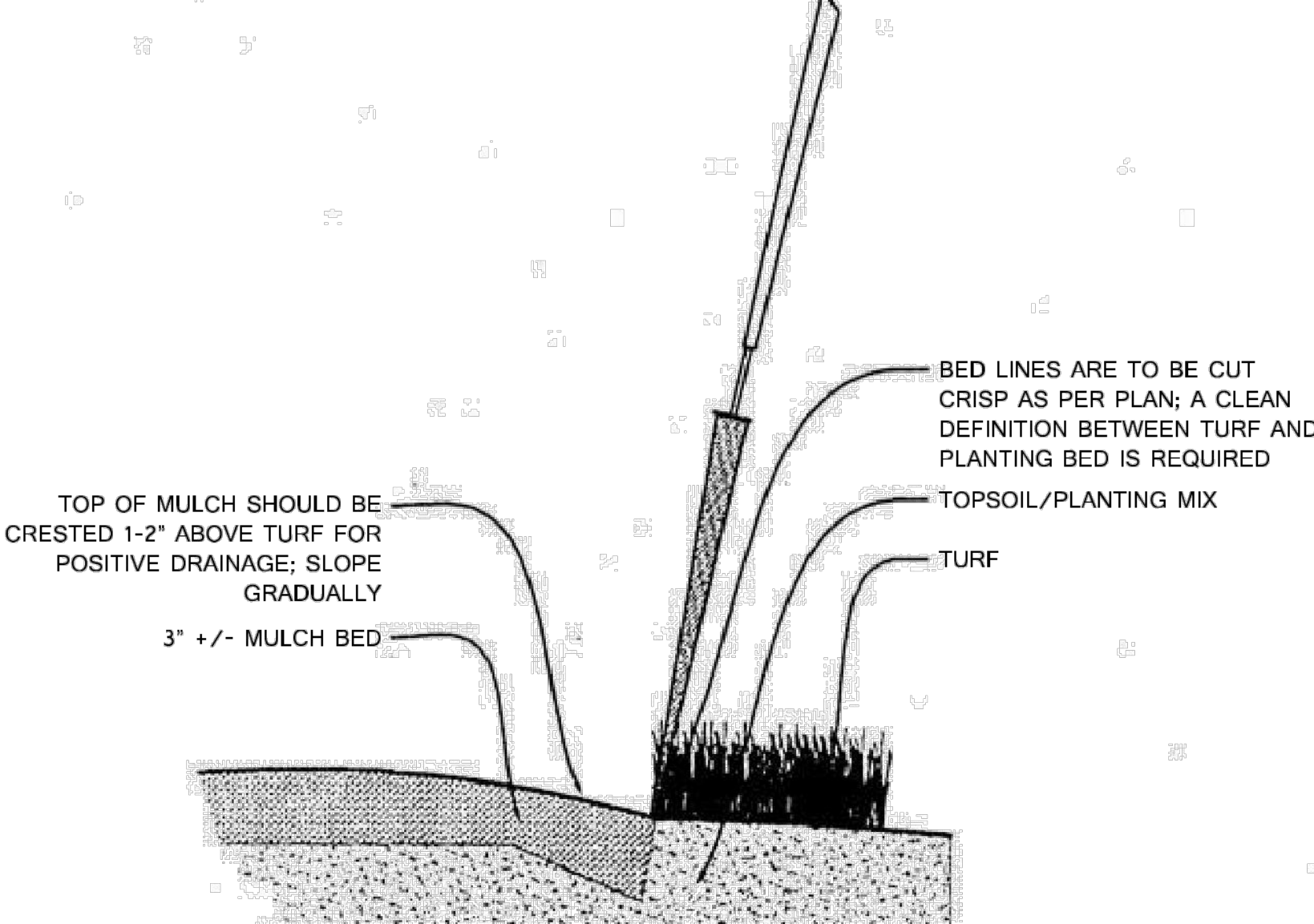
7 CONIFEROUS SHRUB PLANTING DETAIL

NOT TO SCALE



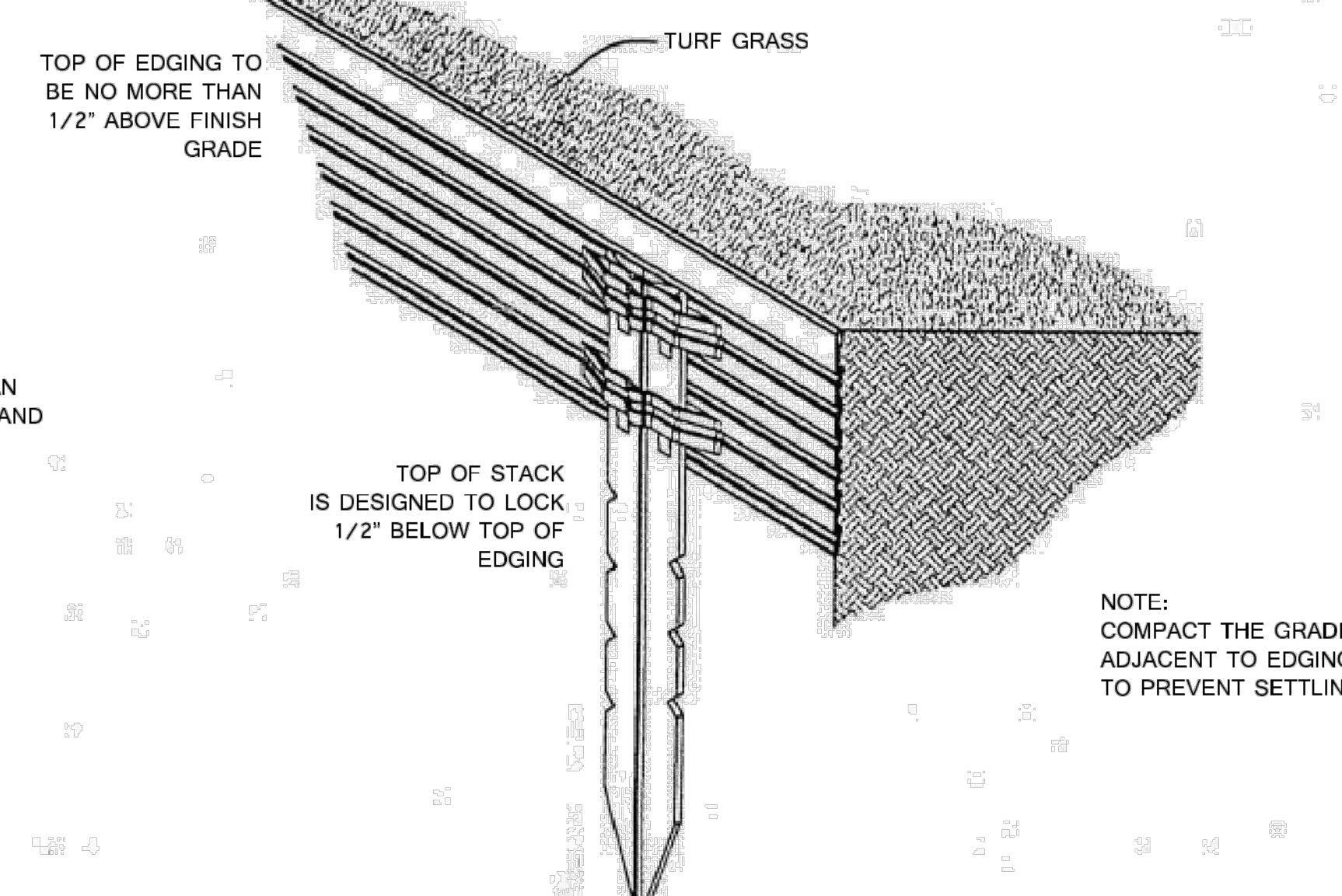
8 PERENNIAL BED PLANTING DETAIL

NOT TO SCALE



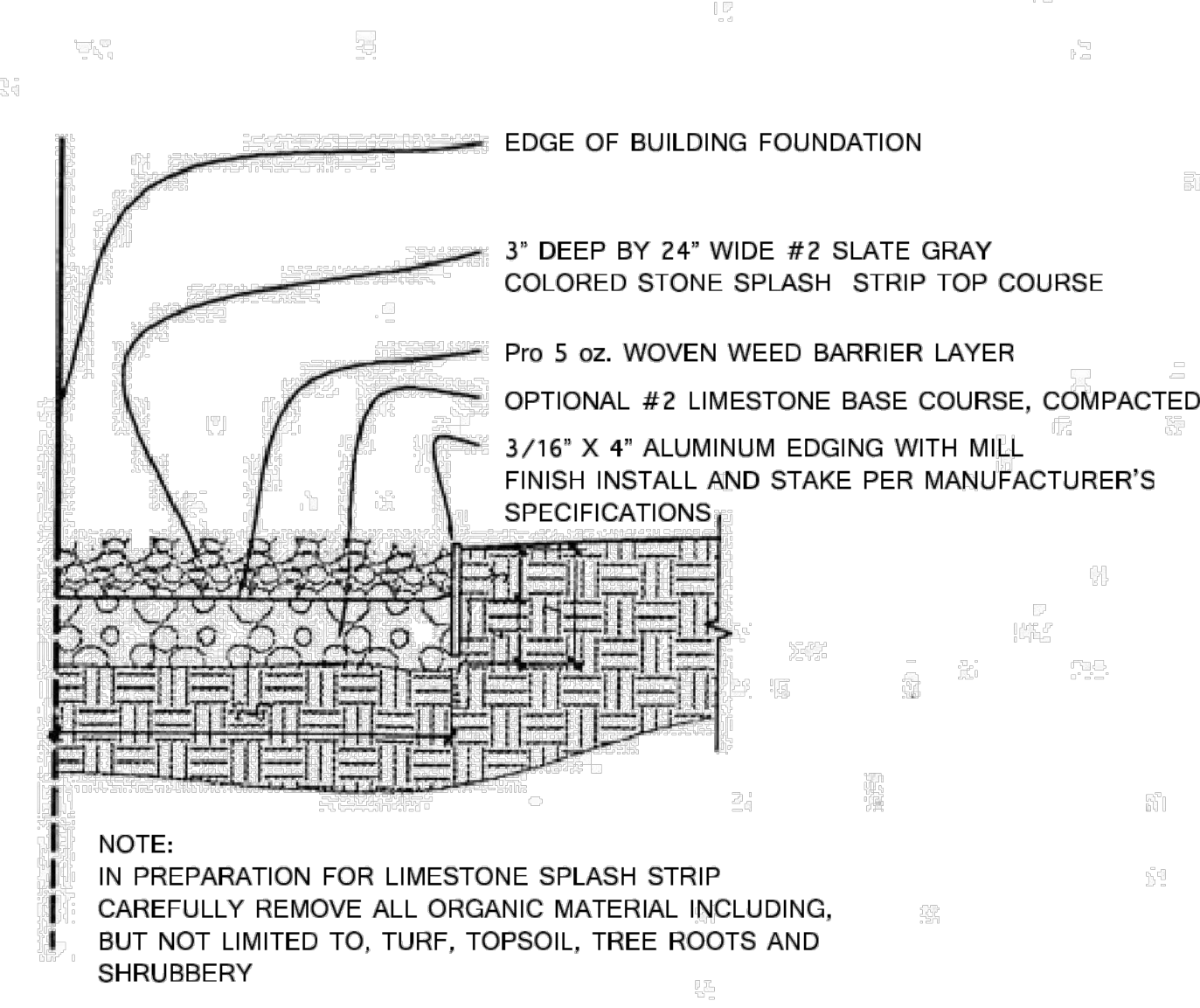
9 SPADE EDGE PLANTING BED EDGE DETAIL

NOT TO SCALE



10 METAL LANDSCAPE EDGING DETAIL

NOT TO SCALE



11 COMPACTED GRAVEL SPLASH STRIP

NOT TO SCALE

GENERAL LANDSCAPE NOTES

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATION AS WELL AS OTHER CONTRACTED WORK, WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO THE PLANTS, GRADE, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G., VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF CONTRACTOR.

ALL PLANT MATERIALS FURNISEHD BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE NO. 1 GRADE OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS AS DESCRIBED IN ANSI Z60.1 1996. LANDSCAPE ARCHITECT RESERVES ALL RIGHT TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL, AT THE PLANT, AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH 'EASY GROW' 3 YR. (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT. GRANULAR FERTILIZERS WILL BE ACCEPTED, BUT MUST BE APPROVED BY LANDSCAPE ARCHITECT. PLEASE SUBMIT SPECIFICATIONS.

APPLICATION RATES SHALL BE AS FOLLOWS:

- TREES:**
- 1-1/2" TO 3" CAL.: 2 PACKETS, ONE EACH SIDE
 - GREATER THAN 3": ADD 1 PACKET PER 1" CAL. (I.E. 4"-4 PACKETS)

- SHRUBS:**
- 1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS REQUIRED)

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR INFERRABLE THERE FROM AND/OR SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEEDDED WITH A MECHANICAL SPREADER AT THE RATE AS RECOMMENDED FOR LOCAL CONDITIONS. AFTER SEEDING, ALL AREAS SHALL BE RAKED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHODS OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. HYDRO MULCH EMBANKMENTS THAT EXCEED 1:4 SLOPES.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN SACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINIAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATION. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HARD RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

LANDSCAPE/SITE NOTES

FIELD VERIFY ALL ELEVATIONS -- IF THERE IS ANY MAJOR DISCREPANCY, PLEASE NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.

- ALL BEDS SHALL BE SPADE EDGE UNLESS OTHERWISE NOTED PLAN.
- ALL PERRENIAL GROUNDCOVER BEDS SHALL BE AMENDED PRIOR TO PLANTING.
 - * WE WILL AMEND WITH PERMA MATRIX FOLLOWING DIRECTIONS ON BAG AND ADD WORM CASTINGS OR COMPOST TO THE DEPTH OF 2"
 - * WE WILL CULTIVATE ALL MATERIAL TO A DEPTH OF 8-10"
 - * IF THERE IS A SUBSTITUTE MEDIUM BY CONTRACTOR THOSE SPECIFICATIONS NEED TO BE SUBMITTED TO LANDSCAPE ARCHITECT.
- ALL BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH (DOUBLE PREFERRED) UNLESS OTHERWISE NOTED ON PLAN.
 - * TREES AND SHRUBS WILL HAVE 2" DEPTH -- MEDIUM
 - * GROUNDCOVER AND PERRENIALS 1" DEPTH -- MAXIMUM (OR DUSTING)
- IN PLANTING OF TREES
 - * TREES WILL ONLY BE STAKED IF WIND BECOMES A STEADY ISSUE
- ALL TREES AND LAWN AREAS SHALL HAVE A 4' DIAMETER HARDWOOD MULCH RING.
- ALL AREAS ALONG HARDSCAPE I.E., SIDEWALKS, PARKING LOTS, PATIOS, ETC. SHALL BE DOUBLE SEEDED TO ENSURE A HEALTHY ESTABLISHMENT OF SEEDED LAEN ALONG THESE AREAS.
- WHERE GRADES EXCEED 4:1 EROSION CONTROL FABRIC SHALL BE INSTALLED AND SECURED WITH LANDSCAPE STAPLES.
 - * EROSION CONTROL FABRIC SHALL BE OVERLAPPED 3-4" WITH SEAM FACING DOWNHILL
- ALL SEEDED LAWNS SHALL BE:
 - * MULCHED WITH MATERIAL AS SPECIFIED IN PLAN
 - * SEEDED WITH REINDERS PREMIUM 50 OR EQUIVALENT AT THE RATE OF 5# PER 1000SQFT
 - * MECHANICALLY SEEDED AND LIGHTLY RAKED IN BY HAND OR MACHINE
 - * STARTER FERTILIZER SHALL BE APPLIED AT THE RATE OF 10# PER 1000 SOFT
 - * PENN MULCH, STRAW OR HYDRO MULCH AREA AS SPECIFIED ON PLANS AND SPECIFICATIONS
- DURING THE PLANTING PROCESS ALL PLANFTS SHALL BE WATERED IN BY CONTRACTOR ONSITE AND THE PLANTS SHALL THEN BE THE RESPONSIBILITY OF THE CONTRACTOR ONLY DURING THE DURATION OF THE PLANTING.
 - * WATERING SHOULD OCCUR EVERY 3RD DAY TO ENSURE PROPER ESTABLISHMENT OF PLANTS
- ALL PLANTINGS SHALL BE DRENCHED WITH A ROOT STIMULANT OR EQUIVALENT UPON PLANTING TO ENSURE PROPER ESTABLISHMENT.
- WHEREVER THERE IS A DISCREPANCY BETWEEN QUANTITIES ON PLANT LIST AND QUANTITIES ON PLAN -- PLAN QUANTITIES WILL ALWAYS TAKE PRECEDENT.

GUARANTEE PERIOR FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

LAWNS (SEED & SOD)*	3 MONTHS
GROUND COVER	3 MONTHS
SHRUBS	12 MONTHS
TREES	12 MONTHS
PERENNIALS, ROSES, JAPANESE MAPLES	90 DAYS FROM INSTALLATION

*(IF LAWN IS INSTALLED IN FALL AND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIODS, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED)

ALL SHRUB PLANTING BEDS TO BE LINED WITH A MINIMUM OF 2"-3" SHREDDED BARK MULCH (NO PLASTIC LINERS). PLACE MULCH AT BASE OF ALL TREES (MINIMUM 4' DIAMETER).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000SF AND WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

RECOMMENDED SEED MIX:
PREMIUM 60 GRASS SEED MIX -- REINDER'S (262-786-3300) NO-MOW LOW GROW GRASS SEED MIX
20% AMERICAN KENTUCKY BLUE GRASS 45% SPARTAN HARD FESCUE
20% ALPINE KENTUCKY BLUE GRASS 40% AZAY SHEEP FESCUE
20% LANGARA KENTUCKY BLUE GRASS 15% TRANSIT ANNUAL RYE GRASS
20% VICTORY CHEWING FESCUE APPLY AT A RATE OF 175 POUNDS PER ACRE
10% FIESTA ILL PERENNIAL RYE GRASS REFER TO SUPPLIER SPECIFICATION AND INSTALLATION
APPLY AT A RATE OF 175 POUNDS PER ACRE CUT SHEETS FOR FURTHER INFORMATION.
REFER TO SUPPLIER SPECIFICATION AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.

PROPOSED TREES TO BE STAKED AS REQUIRED. VERIFY WITH LANDSCAPE ARCHITECT IF EXPOSURE AND WIND CONDITIONS PREVALENT.

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKE, WITH A COPY TO LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE ARE NOT COVERED BY TURF SHALL BE RESEEDED BY THE CONTRACTOR. ANY SEED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE AT THE LANDSCAPE CONTRACTOR'S EXPENSE.

ANY ALTERATION TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEEDED TO A WIDTH OF 5'.

PRE-EMERGENT HERBICIDE (TREFLAN OR EQUIV.) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATION AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.

****PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH****
AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATION AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES, OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNERS "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.

DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY THE LANDSCAPE ARCHITECT AND OWNER.

ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF THE PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN, THE PLANT SHALL BE REPLACED.

PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIER AND BARRICADES.

ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND ARE NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOP SOILED 4"-6" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATION AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.

CONTRACT IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES, AND MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.

WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWING (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.

ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.

GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.

ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.

FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS. UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO PANTING DETAILS FOR FURTHER INFORMATION.

ALL PERENNIAL, ANNUAL, AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITIONS OF EXISTING SOIL. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION:

- PER EVERY 100 SQUARE FEET ADD:
- ONE -- 2 CUBIC FOOT BALE OF PEAT MOSS
 - 2 POUNDS OF 5-10-5 GARDEN FERTILIZER
 - 1/4 CUBIC YARD OF COMPOSTED MANURE
 - PLANT STARTER OR OTHER COMPOSTED ORGANIC MATERIAL
- **PREMIXED SOILS WILL BE ACCEPTED, I.E. PURPLE COW, SOIL-LIFE, ETC. PLEASE NOTIFY LANDSCAPE ARCHITECT OF ALTERNATIVES USED.**

ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF PLANT STARTER AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

ALL TREES TO BE INSTALLED, STAKED, GUYED ACCORDING TO DETAILS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2"-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS (OR BROWN ENVIRO-MULCH) FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OF GERMINATION-INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

DURING THE INITIAL 30 DAY MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AN ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEED MUSH CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.

LANDSCAPE/SITE DEMOLITION CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

LANDSCAPE/SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIALS TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE MOVED BEFORE AND SITE DEMOLITION IS TO BEGIN.

DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAD SYSTEM IN ALL LAWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

CONTRACTOR NOTE:
BEFORE SITE GRADING AND DEMOLITION IS TO BEGIN FOR PROPOSED NEW PAVEMENT, THE AREA IS TO BE STAKED AND ALL TREE AND SHRUBS THAT ARE TO BE PRESERVED ARE TO BE TAGGED BY LANDSCAPE ARCHITECT AND RELOCATED BY LANDSCAPE CONTRACTOR. IF REQUIRED A TREE PRESERVATION PLAN WILL BE PRODUCED AND COORDINATED WITH CITY STAFF. DEMOLITION CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT, OWNER AND LANDSCAPE CONTRACTOR.

PLANT SCHEDULE

REVISED:20.JUNE.2017					
Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Platanus x acerifolia	Planetree	2.5"	B&B	'Exclamation!'
5	Populus tremuloides	Quaking Aspen	10'	B&B	Multi-trunk
1	Quercus bicolor	Swamp White Oak	2.5"	B&B	
3	Tilia tomentosa	Silver Linden	2.5"	B&B	
1	Picea abies	Norway spruce	6'	B&B	
20	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	24"	Cont.	
1	Viburnum x juddii	Judd Viburnum	24"	Cont.	Compact form
6	Perovskia atriplicifolia	Russian Sage	1 gal	Cont.	
ADDITIONAL PLANTINGS PER PLANNING COMMISSION RECOMMENDATIONS					
3	Populous tremuloides	quaking aspen	10'	B&B	Multi-trunk

NOTES & PLANT SCHEDULE

Plunkett Royich Architects, LLP -- June 23, 2017 -- 3:59pm
D:\Hopkins, Robin\Documents\GARLAND ALLIANCE\GERMANTOWN SCHOOL DISTRICT\17010 COUNTYLINE ES\LANDSCAPE-COUNTYLINE ELEM SCHOOL-30X42.dwg [L1.0 LANDSCAPE PLAN] RobinH

NOTE:
FOR ALL DISTURBED AREAS, RAKE OUT
CONSTRUCTION DEBRIS & DISPOSE OF
OFFSITE. CULTIVATE LAWN AREAS TO
ELIMINATE "HARD PAN" CONDITIONS. ADD
2-3" SCREENED TOPSOIL, GRADE OUT BY
HAND. DOUBLE SEED #4/1000 S.F. AND
APPLY STARTER FERTILIZER AT
RECOMMENDED RATIOS. LIGHTLY RAKE IN,
AND HYDROMULCH. (ALTER BID: SOD)

EXISTING RESIDENCE

1-SARGENT CHERRY

4-NORWAY SPRUCE

MOW STRIP

7-BLACKHAW
VIBURNUM

PROPOSED ADDITION

BED LINE

EXISTING FENCE

EXISTING SCHOOL BUILDING

1-CHINKAPIN OAK

2-BLACK HILLS
SPRUCE

1-RED SUNSET
MAPLE

PROPOSED ADDITION
OVER DEMOLISHED
EXISTING BUILDING

36-ALERT FALL ASTER

PROPOSED
PARKING LOT

5-BLUE MUFFIN-
VIBURNUM

5-BLACK CHOKEBERRY

120-CHEYENNE SKY
SWITCH GRASS
1' O.C., STAGGER ROWS

0 10 20 40

LANDSCAPE RESTORATION PLAN
1" = 20'

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Date:
04-03-17

Job No.:
160024-02

Sheet No.:
L1.0

COUNTY LINE E.S. RENOVATIONS AND ADDITIONS
W159 N 9939 BUTTERNUT RD
GERMANTOWN, WI 53022

GARLAND ALLIANCE
LANDSCAPE ARCHITECTS

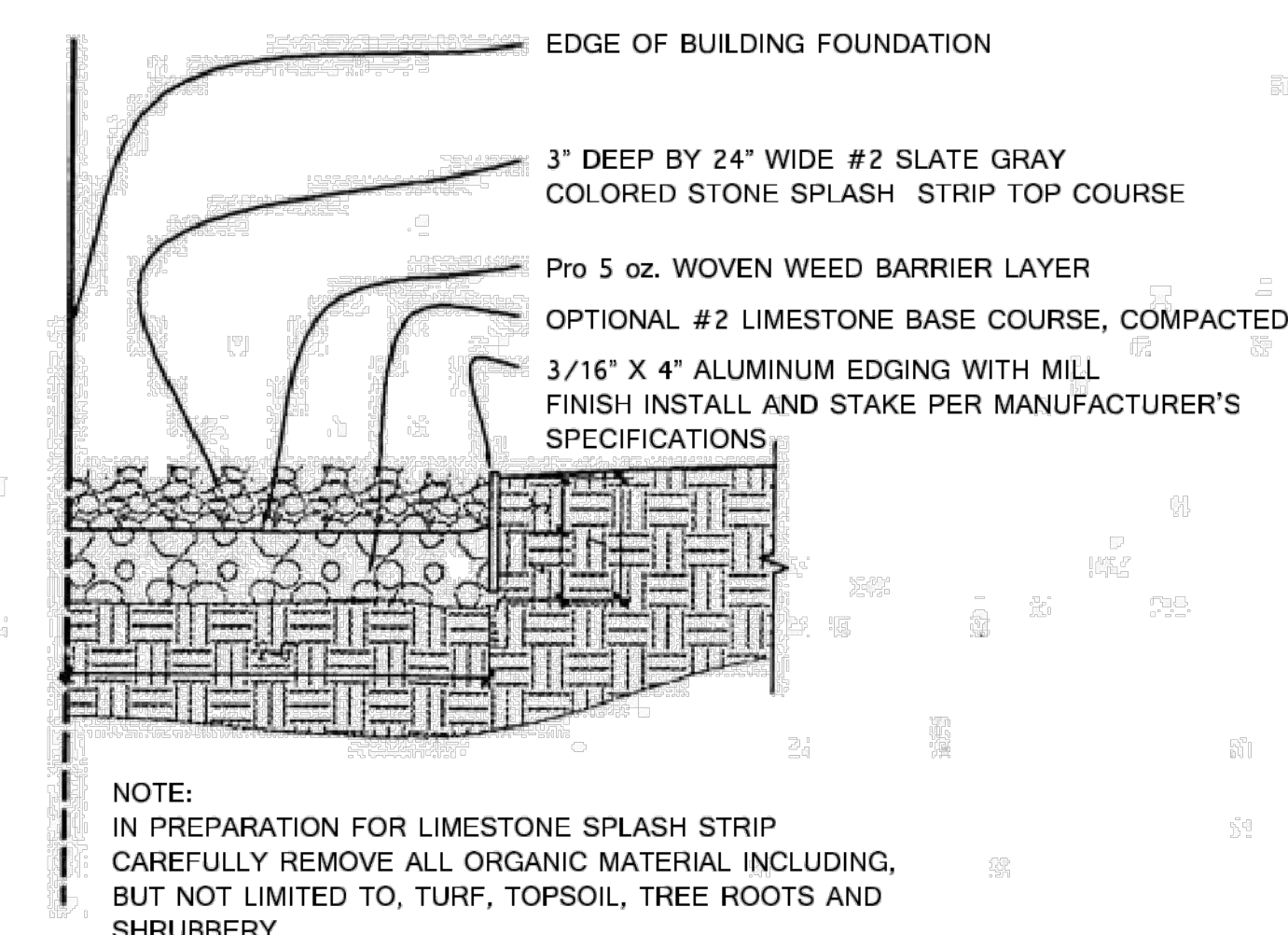
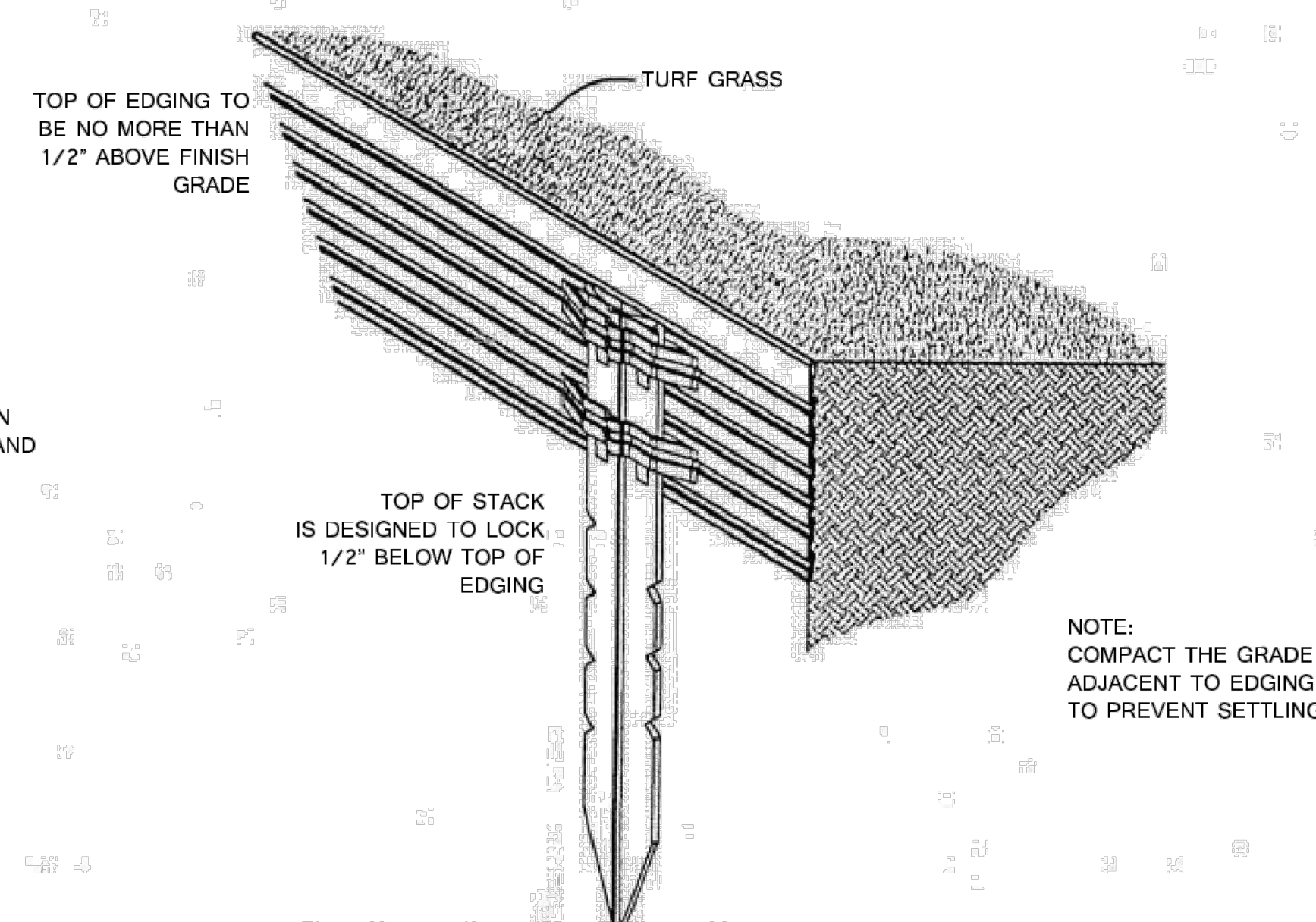
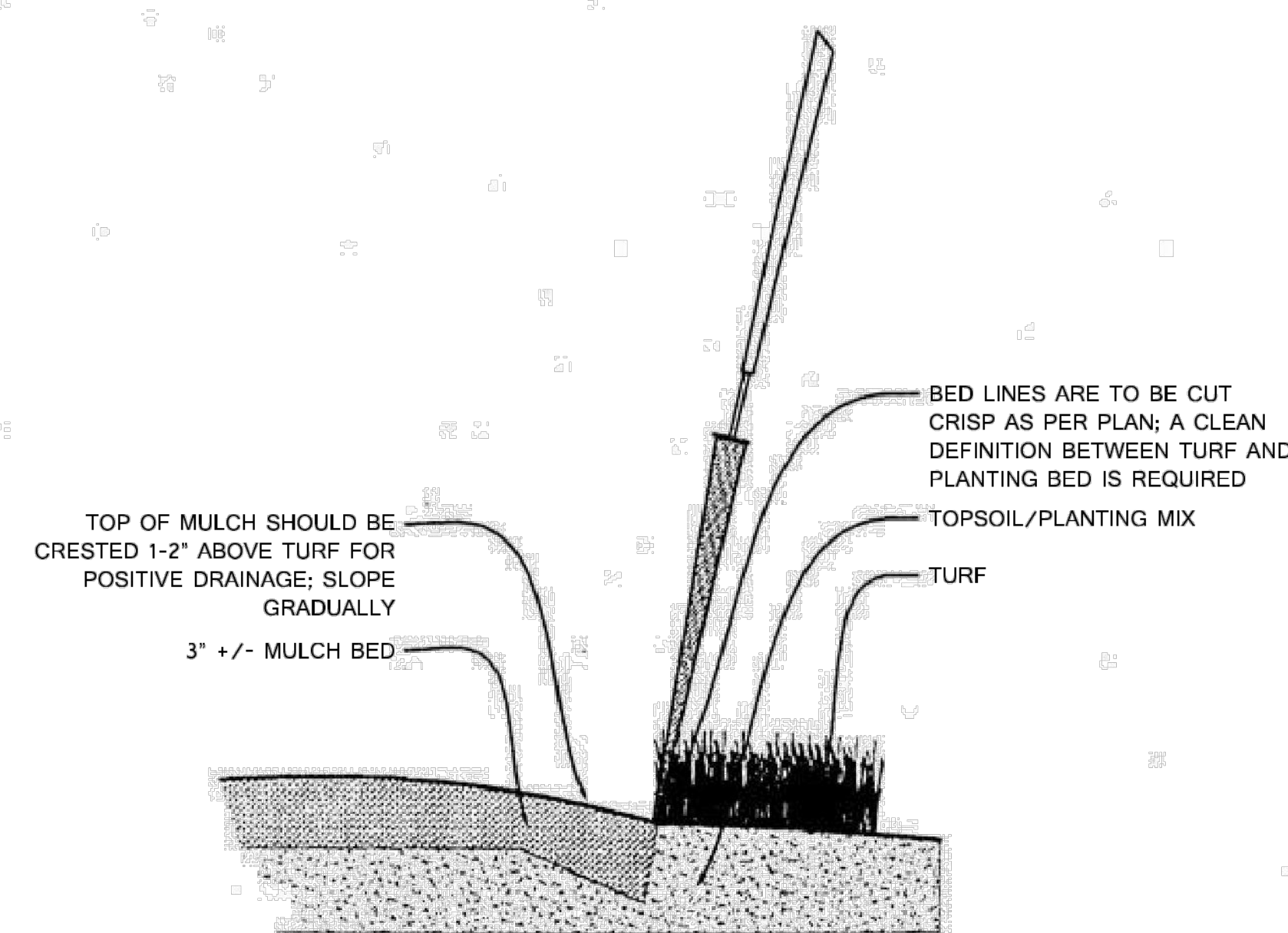
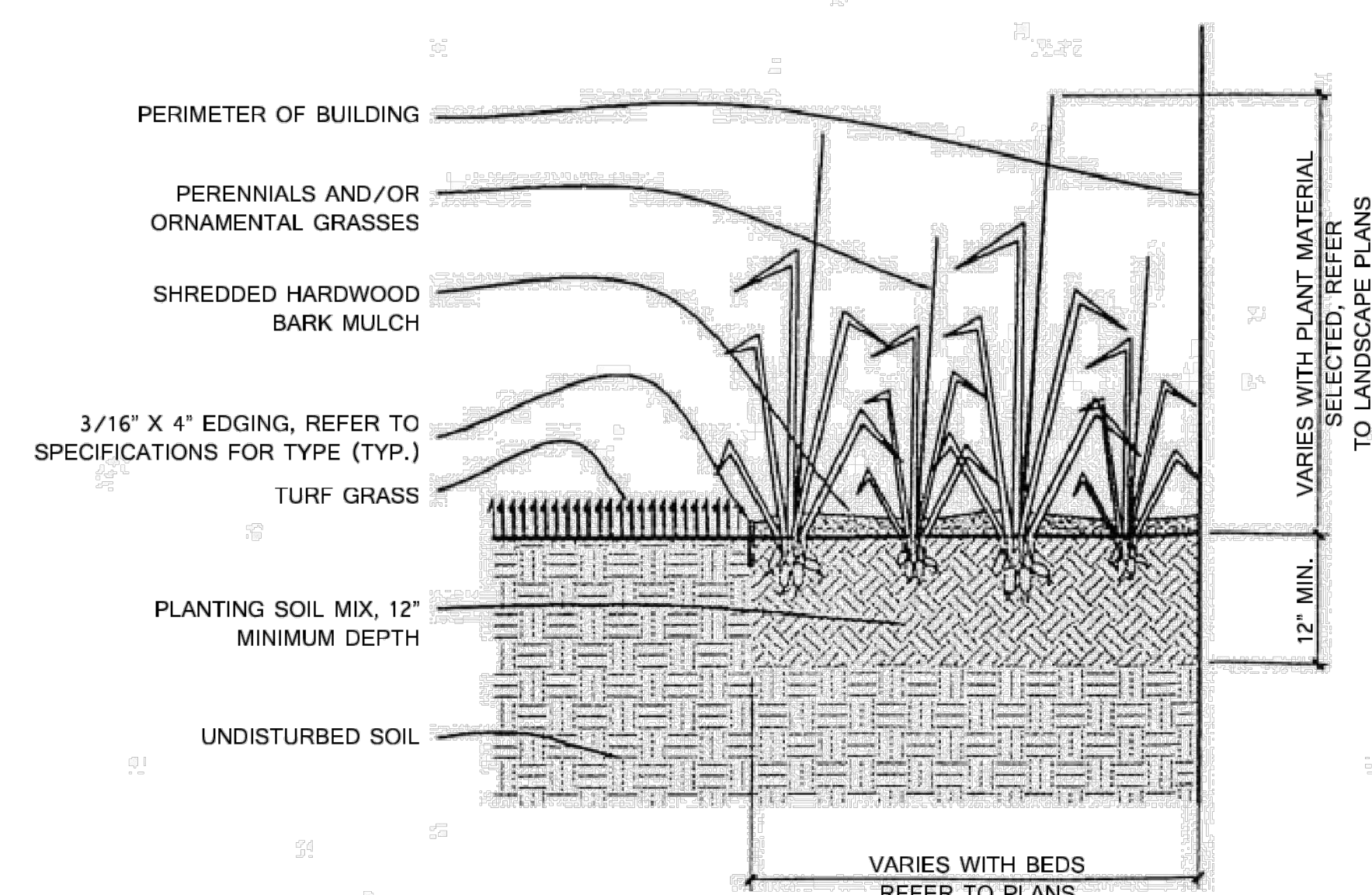
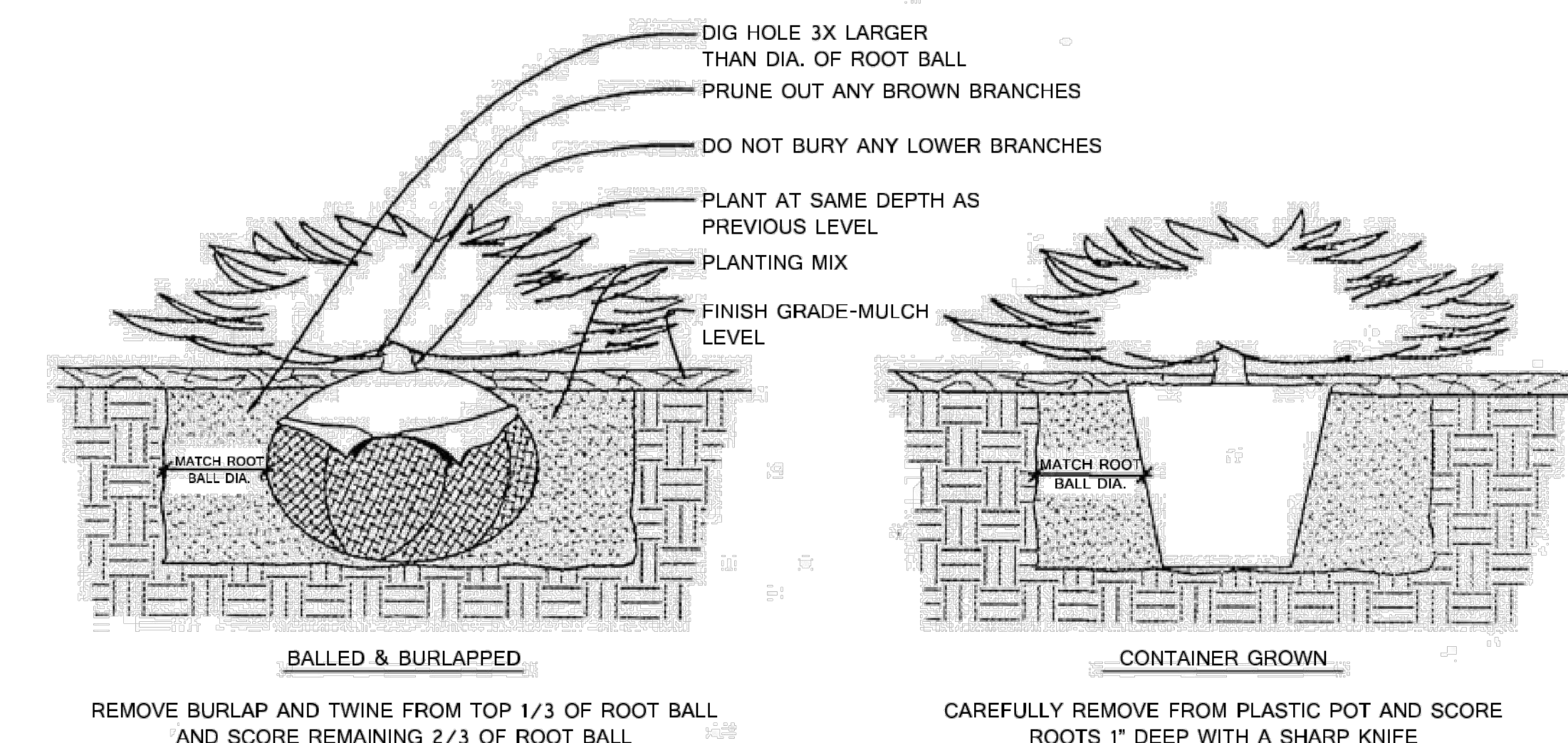
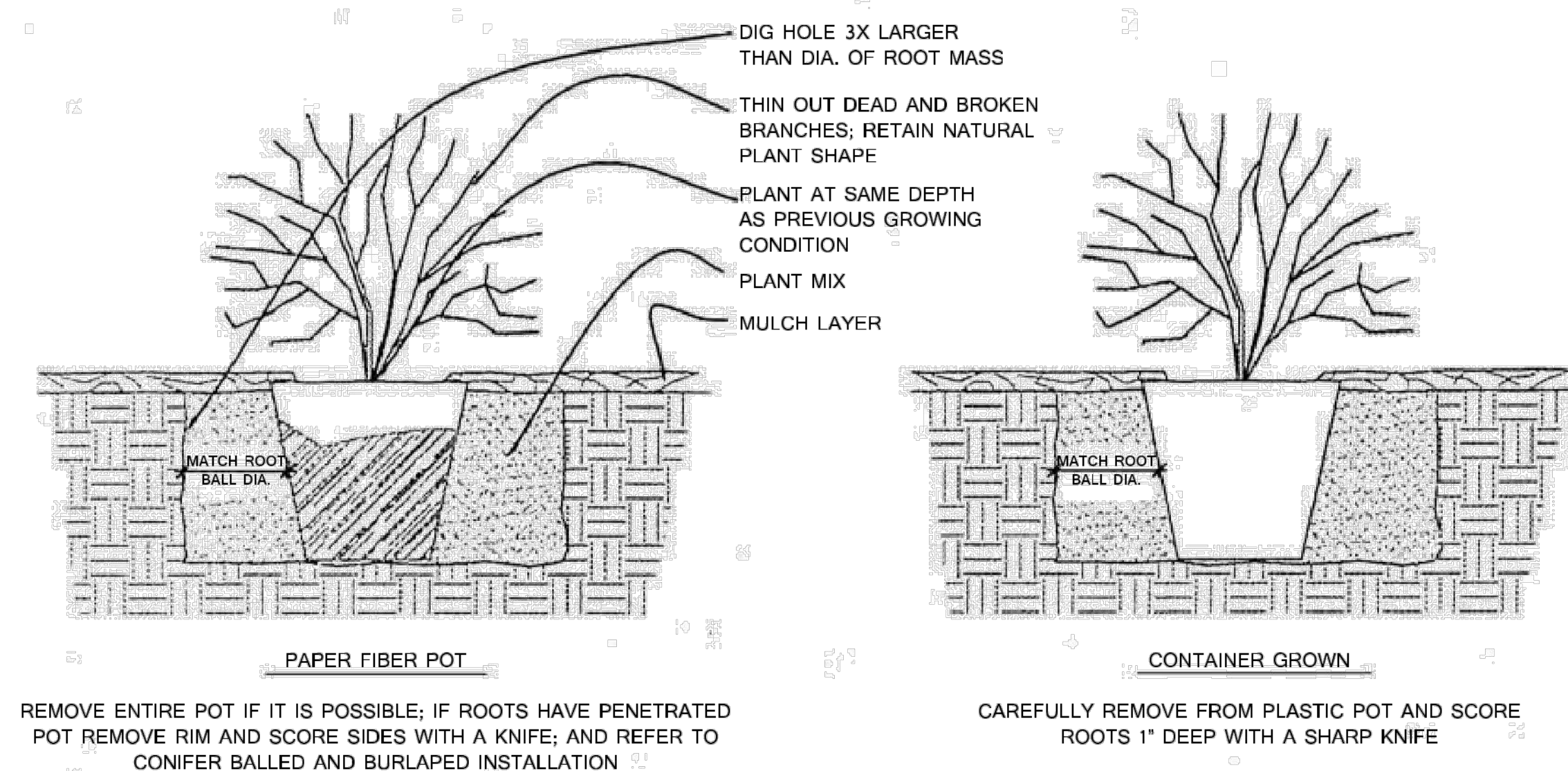
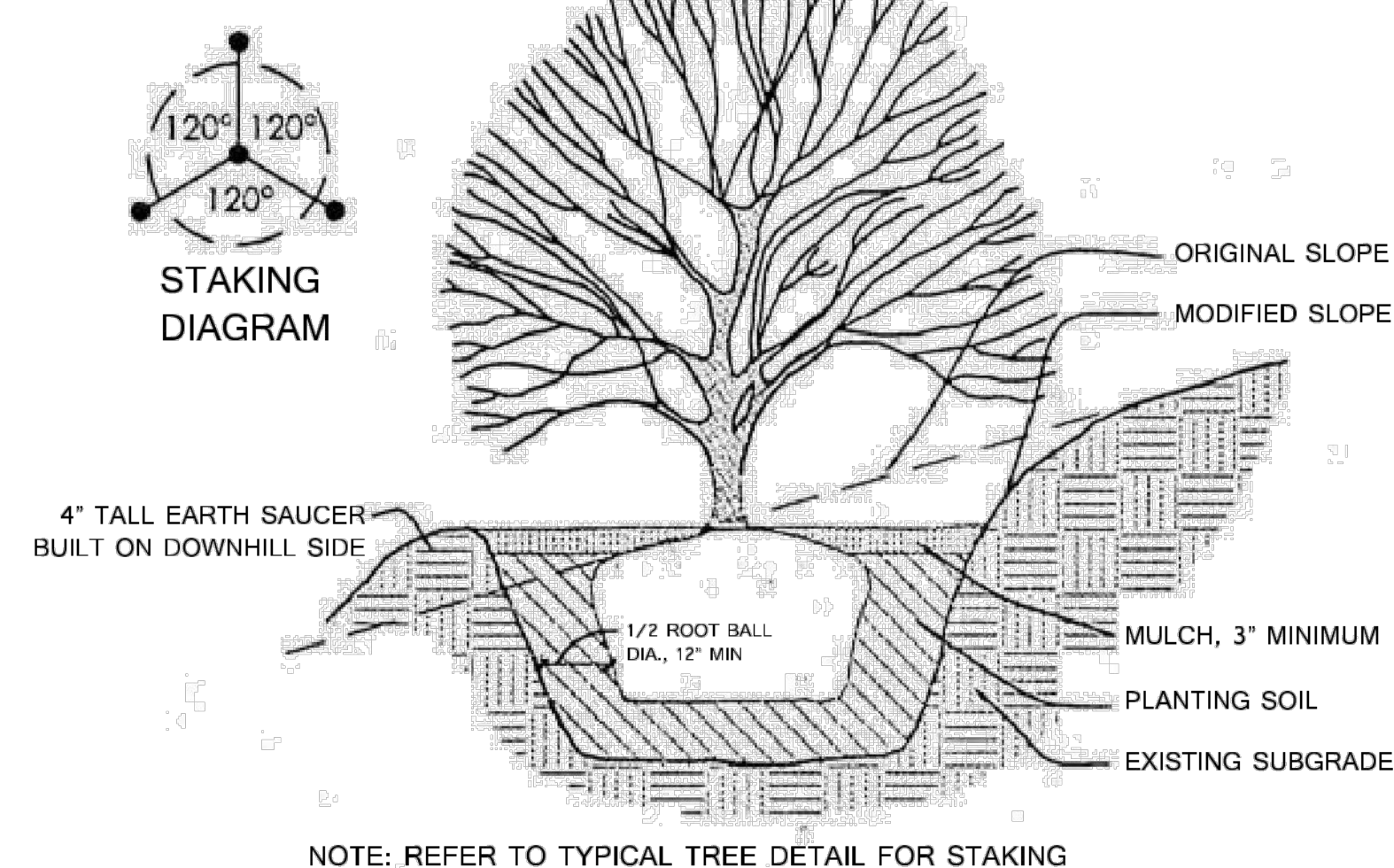
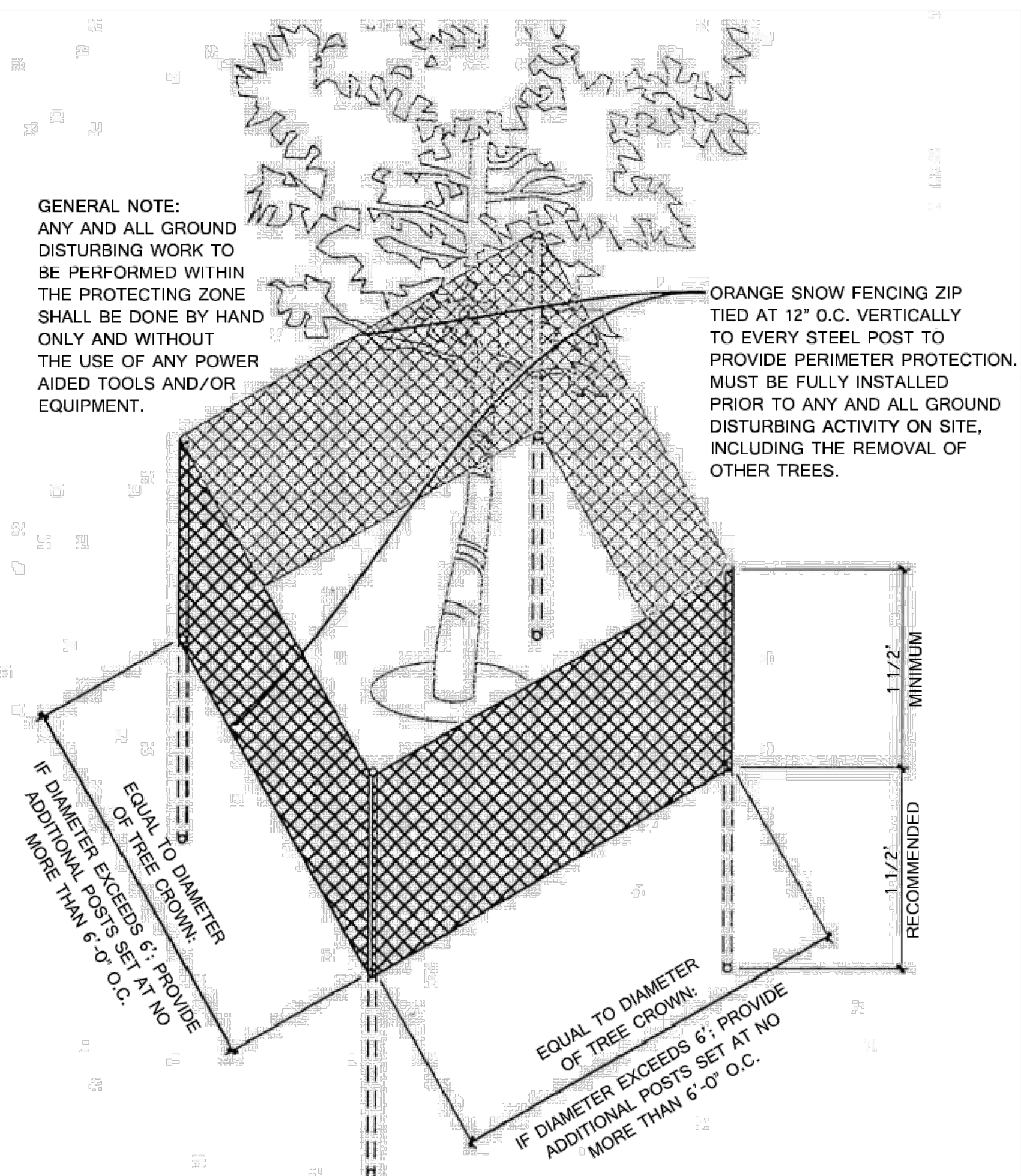
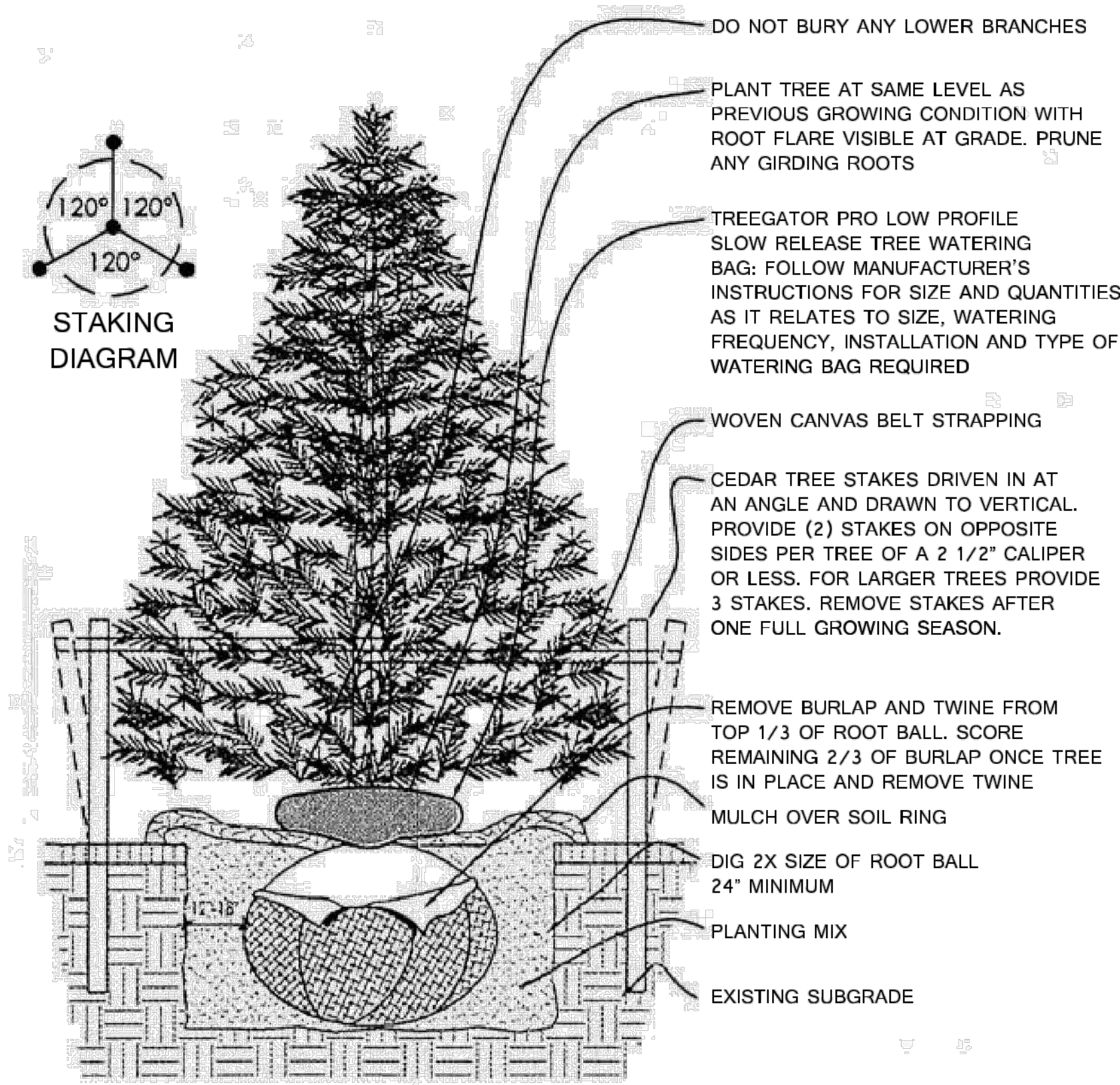
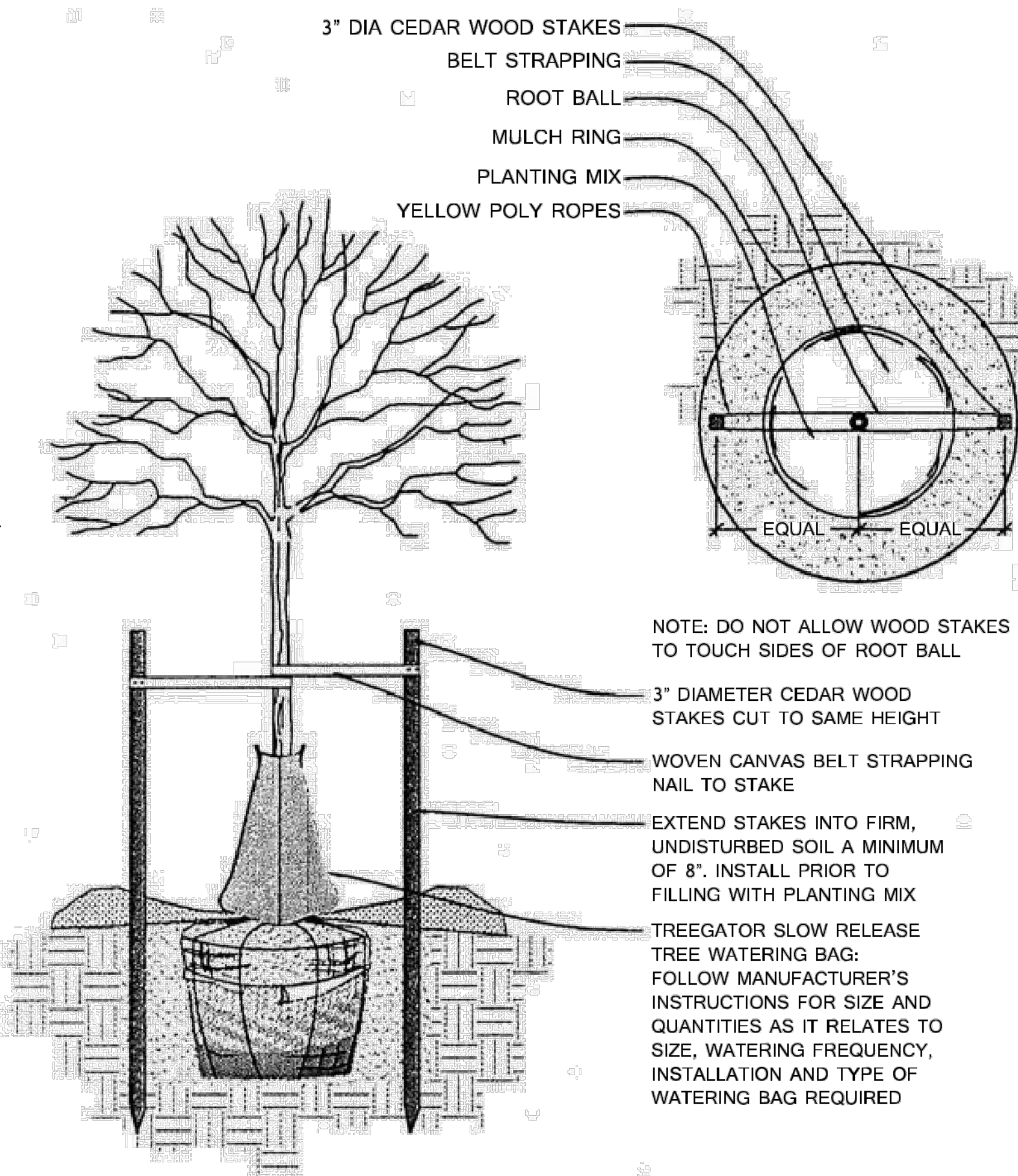
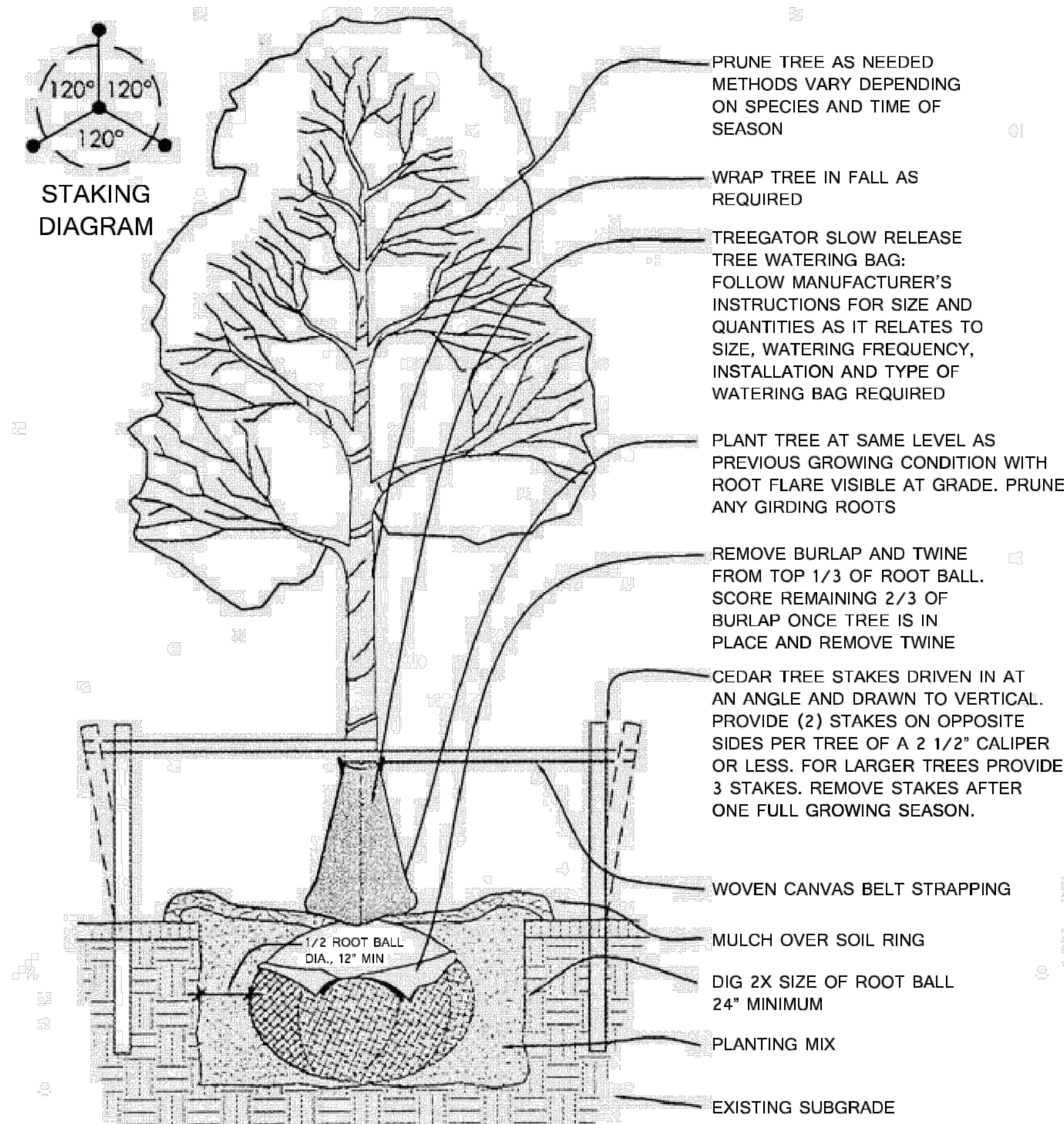


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TRIO
LANDSCAPE ARCHITECTS

Project No.: 160024-02
Drawing No.: L1.0
Date: 04-03-17
Scale: 1" = 20'



GENERAL LANDSCAPE NOTES

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COORDINATION OF PLANTING OPERATION AS WELL AS OTHER CONTRACTED WORK, WITH THE OTHER CONTRACTORS ON THE JOB. REPAIR OF DAMAGE TO THE PLANTS, GRADE, LAWNS, ETC., DURING INSTALLATION SHALL NOT BE CONSIDERED AS AN EXTRA, AND NOT CHARGEABLE TO THE OWNER. DAMAGE CAUSED BY OTHER CONTRACTORS SHALL BE THE RESPONSIBILITY OF SAID CONTRACTOR.

THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, SOIL AND/OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. CONTRACTOR SHALL CLEAN BEHIND HIS WORK IMMEDIATELY AND SHALL TAKE NECESSARY PRECAUTIONS TO KEEP CONCRETE, BRICK AND OTHER PAVING MATERIAL CLEAN OF SOIL.

MATERIALS PLANTED AND DAMAGED OR DESTROYED BY ANY PHENOMENA CONSIDERED AS AN ACT OF GOD, E.G., VANDALISM, WIND, FIRE, FLOOD, FREEZE, THEFT, RAIN, HAIL, ETC., SHALL BELONG TO THE OWNER AND SHALL BE HIS RESPONSIBILITY. MATERIALS STORED ON-SITE AS YET NOT PLANTED ARE NOT COVERED BY THIS CLAUSE AND ARE THE SOLE RESPONSIBILITY OF CONTRACTOR.

ALL PLANT MATERIALS FURNISEHD BY THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE NO. 1 GRADE OR BETTER IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS AS DESCRIBED IN ANSI Z60.1 1996. LANDSCAPE ARCHITECT RESERVES ALL RIGHT TO DETERMINE ACCEPTABILITY OF PLANT MATERIAL SUBMITTED FOR PLANTING.

ALL PLANTS SHALL BE PLANTED IN PITS, CENTERED AND SET ON SIX-INCHES OF COMPACTED TOPSOIL TO SUCH A DEPTH THAT THE FINISH GRADE LEVEL, AT THE PLANT, AFTER SETTLEMENT WILL BE THE SAME AS THAT AT WHICH THE PLANT WAS GROWN. ALL PLANTING AREAS SHALL RECEIVE ADEQUATE FERTILIZATION WITH 'EASY GROW' 3 YR. (1 OZ.) FERTILIZER PACKETS OR EQUIVALENT. GRANULAR FERTILIZERS WILL BE ACCEPTED, BUT MUST BE APPROVED BY LANDSCAPE ARCHITECT. PLEASE SUBMIT SPECIFICATIONS.

APPLICATION RATES SHALL BE AS FOLLOWS:

- TREES:
- 1-1/2" TO 3" CAL.: 2 PACKETS, ONE EACH SIDE
 - GREATER THAN 3": ADD 1 PACKET PER 1" CAL. (I.E. 4"-4 PACKETS)

- SHRUBS:
- 1 PACKET FOR EVERY 12" HEIGHT OR SPREAD. (SPACE EVENLY IF 2 OR MORE PACKETS REQUIRED)

PERFORM ALL WORK NECESSARY FOR INSTALLING SOD AND/OR SEED AS SHOWN ON THE DRAWINGS OR INFERRABLE THERE FROM AND/OR SPECIFIED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

IMMEDIATELY PRIOR TO SEEDING, THE GROUND SHALL BE SCARIFIED AND RAKED TO A FRIABLE FINE TEXTURE. LAWN AREAS SHALL BE SEEDDED WITH A MECHANICAL SPREADER AT THE RATE AS RECOMMENDED FOR LOCAL CONDITIONS. AFTER SEEDING, ALL AREAS SHALL BE RAKED TO SATISFACTORILY COVER SEED, AND THEN THOROUGHLY WATERED AND COVERED WITH TREATED SHREDDED PAPER MULCH OR STRAW MULCH. THE METHODS OF SEEDING MAY BE VARIED BY THE CONTRACTOR BY HIS OWN RESPONSIBILITY TO ESTABLISH A SMOOTH UNIFORM TURF. HYDRO MULCH EMBANKMENTS THAT EXCEED 1:4 SLOPES.

SEED SHALL BE TRUE TO SPECIE AS CALLED FOR ON THE SEEDING PLAN. ALL SEED SHALL BE DELIVERED TO THE JOB SITE IN SACKS PLAINLY MARKED AND CERTIFIED AS TO CONTENT.

SOD SHALL BE PLACED WHEN THE GROUND IS IN WORKABLE CONDITION AND TEMPERATURES ARE LESS THAN 90 DEGREES FAHRENHEIT.

LANDSCAPE CONTRACTOR SHALL WATER SOD IMMEDIATELY AFTER INSTALLATION TO PREVENT EXCESSIVE DRYING DURING PROGRESS OF THE WORK. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED. IT SHALL THEN BE THOROUGHLY IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE NEW SOD PAD AND SOIL IMMEDIATELY BELOW THE SOD ARE THOROUGHLY WET.

THE LANDSCAPE CONTRACTOR SHALL VERIFY GRADES ESTABLISHED DURING FINIAL SOIL PREPARATION AS BEING TRUE TO FINISH CONTOURS SHOWN, AND SHALL MAINTAIN SUCH AREAS UNTIL THE EFFECTIVE DATE TO BEGIN SODDING AND/OR SEEDING OPERATION. IN SUCH INSTANCES WHERE A SPLIT RESPONSIBILITY EXISTS BETWEEN GRADING AND GRASSING CONTRACTORS, IT SHALL BE THE RESPONSIBILITY OF THE GRASSING CONTRACTOR TO MAINTAIN A SUITABLE GRADE FOR GRASSING ONCE HE HAS ACCEPTED THE GRADE PROVIDED TO HIM. IN ALL CASES, THE GROUND SHALL BE HARD RAKED IMMEDIATELY PRIOR TO BEING SODDED TO REMOVE ANY IRREGULARITIES IN THE GRADE.

LANDSCAPE/SITE NOTES

FIELD VERIFY ALL ELEVATIONS - IF THERE IS ANY MAJOR DISCREPANCY, PLEASE NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.

- ALL BEDS SHALL BE SPADE EDGE UNLESS OTHERWISE NOTED PLAN.
- ALL PERRENIAL GROUNDCOVER BEDS SHALL BE AMENDED PRIOR TO PLANTING.
 - * WE WILL AMEND WITH PERMA MATRIX FOLLOWING DIRECTIONS ON BAG AND ADD WORM CASTINGS OR COMPOST TO THE DEPTH OF 2"
 - * WE WILL CULTIVATE ALL MATERIAL TO A DEPTH OF 8-10"
 - * IF THERE IS A SUBSTITUTE MEDIUM BY CONTRACTOR THOSE SPECIFICATIONS NEED TO BE SUBMITTED TO LANDSCAPE ARCHITECT.
- ALL BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH (DOUBLE PREFERRED) UNLESS OTHERWISE NOTED ON PLAN.
 - * TREES AND SHRUBS WILL HAVE 2" DEPTH - MEDIUM
 - * GROUNDCOVER AND PERRENIALS 1" DEPTH - MAXIMUM (OR DUSTING)
- IN PLANTING OF TREES
 - * TREES WILL ONLY BE STAKED IF WIND BECOMES A STEADY ISSUE
- ALL TREES AND LAWN AREAS SHALL HAVE A 4' DIAMETER HARDWOOD MULCH RING.
- ALL AREAS ALONG HARDSCAPE I.E., SIDEWALKS, PARKING LOTS, PATIOS, ETC. SHALL BE DOUBLE SEEDED TO ENSURE A HEALTHY ESTABLISHMENT OF SEEDED LAEN ALONG THESE AREAS.
- WHERE GRADES EXCEED 4:1 EROSION CONTROL FABRIC SHALL BE INSTALLED AND SECURED WITH LANDSCAPE STAPLES.
 - * EROSION CONTROL FABRIC SHALL BE OVERLAPPED 3-4" WITH SEAM FACING DOWNHILL
- ALL SEEDED LAWNS SHALL BE:
 - * MULCHED WITH MATERIAL AS SPECIFIED IN PLAN
 - * SEEDED WITH REINDERS PREMIUM SO OR EQUIVALENT AT THE RATE OF 5# PER 1000SQFT
 - * MECHANICALLY SEEDED AND LIGHTLY RAKED IN BY HAND OR MACHINE
 - * STARTER FERTILIZER SHALL BE APPLIED AT THE RATE OF 10# PER 1000 SOFT
 - * PENN MULCH, STRAW OR HYDRO MULCH AREA AS SPECIFIED ON PLANS AND SPECIFICATIONS
- DURING THE PLANTING PROCESS ALL PLANFTS SHALL BE WATERED IN BY CONTRACTOR ONSITE AND THE PLANTS SHALL THEN BE THE RESPONSIBILITY OF THE CONTRACTOR ONLY DURING THE DURATION OF THE PLANTING.
 - * WATERING SHOULD OCCUR EVERY 3RD DAY TO ENSURE PROPER ESTABLISHMENT OF PLANTS
- ALL PLANTINGS SHALL BE DRENCHED WITH A ROOT STIMULANT OR EQUIVALENT UPON PLANTING TO ENSURE PROPER ESTABLISHMENT.
- WHEREVER THERE IS A DISCREPANCY BETWEEN QUANTITIES ON PLANT LIST AND QUANTITIES ON PLAN - PLAN QUANTITIES WILL ALWAYS TAKE PRECEDENT.

GUARANTEE PERIOR FOR PLANT MATERIALS SHALL BE AS FOLLOWS:

LAWNS (SEED & SOD)*	3 MONTHS
GROUND COVER	3 MONTHS
SHRUBS	12 MONTHS
TREES	12 MONTHS
PERENNIALS, ROSES, JAPANESE MAPLES	90 DAYS FROM INSTALLATION

*(IF LAWN IS INSTALLED IN FALL AND NOT GIVEN FULL 90 DAYS OF GUARANTEE PERIODS, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE GUARANTEE THE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED)

ALL SHRUB PLANTING BEDS TO BE LINED WITH A MINIMUM OF 2"-3" SHREDDED BARK MULCH (NO PLASTIC LINERS). PLACE MULCH AT BASE OF ALL TREES (MINIMUM 4' DIAMETER).

A 10/10/10 FERTILIZER MIXTURE SHALL BE APPLIED AT 20#/1000SF AND WORKED INTO THE LAWN BED BEFORE SEEDING OR SODDING.

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PREMIUM 60 GRASS SEED MIX - REINDER'S (262-786-3300) NO-MOW LOW GROW GRASS SEED MIX
20% AMERICAN KENTUCKY BLUE GRASS 45% SPARTAN HARD FESCUE
20% ALPINE KENTUCKY BLUE GRASS 40% AZAY SHEEP FESCUE
20% LANGARA KENTUCKY BLUE GRASS 15% TRANSIT ANNUAL RYE GRASS
20% VICTORY CHEWING FESCUE APPLY AT A RATE OF 175 POUNDS PER ACRE
10% FIESTA ILL PERENNIAL RYE GRASS REFER TO SUPPLIER SPECIFICATION AND INSTALLATION
APPLY AT A RATE OF 175 POUNDS PER ACRE CUT SHEETS FOR FURTHER INFORMATION.
REFER TO SUPPLIER SPECIFICATION AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.

PROPOSED TREES TO BE STAKED AS REQUIRED. VERIFY WITH LANDSCAPE ARCHITECT IF EXPOSURE AND WIND CONDITIONS PREVALENT.

ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. TREES OF SAME SPECIES TO BE MATCHED IN GROWTH CHARACTER AND UNIFORMITY. ANY TREES MISPLACED WILL BE SUBJECT TO REJECTION.

UPON ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUPPLY THE LANDSCAPE ARCHITECT WITH A COMPLETE AND ADEQUATE MAINTENANCE PROGRAM TO BE FOLLOWED DURING AND AFTER THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE JOB DURING THE GUARANTEE PERIOD TO DETERMINE IF PROPER MAINTENANCE IS BEING GIVEN.

IT SHALL BE UNDERSTOOD THAT IN ACCORDANCE WITH THE TERMS OF THE GUARANTEE THAT THE LANDSCAPE CONTRACTOR MUST PROMPTLY INFORM THE OWNER IF PROPER MAINTENANCE IS NOT BEING GIVEN TO THE INSTALLATION. SUCH NOTICE SHALL BE IN WRITING, OUTLINING CORRECTIVE MEASURES TO BE TAKE, WITH A COPY TO LANDSCAPE ARCHITECT. AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO REPLACE ALL PLANTS THAT ARE DEAD OR IN UNSATISFACTORY CONDITION OF GROWTH. ALL REPLACEMENT PLANTS SHALL BE OF LIKE SIZE AND KIND OF THE PLANTS REMOVED. ANY SEED AREAS OVER ONE FOOT SQUARE ARE NOT COVERED BY TURF SHALL BE RESEEDD BY THE CONTRACTOR. ANY SEED AREAS OVER ONE FOOT SQUARE THAT ARE DEAD OR DYING SHALL BE REPLACEMENTS INCLUDED WITHIN THE GUARANTEE SHALL BE AT THE LANDSCAPE CONTRACTOR'S EXPENSE.

ANY ALTERATION TO THE LANDSCAPE PLAN WILL BE SUBMITTED TO THE PROJECT MANAGER FOR APPROVAL BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTORS ARE RESPONSIBLE FOR MAKING SURE ALL TREE BALLS ARE MOIST AT THE CORE, WHEN TREES ARE INSTALLED.

LAWN EDGES THAT ABUT PARKING LOTS WITH NO CURBING SHALL BE DOUBLE SEEDED TO A WIDTH OF 5'.

PRE-EMERGENT HERBICIDE (TREFLAN OR EQUIV.) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.

THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATION AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH
AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATION AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES, OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNERS "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.

DEVIATIONS FROM THESE PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY THE LANDSCAPE ARCHITECT AND OWNER.

ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF THE PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN, THE PLANT SHALL BE REPLACED.

PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIER AND BARRICADES.

ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND ARES NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOP SOILED 4"-6" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATION AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.

CONTRACT IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES, AND MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.

WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWING (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.

ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.

GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.

ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.

FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS. UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO PANTING DETAILS FOR FURTHER INFORMATION.

ALL PERENNIAL, ANNUAL, AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITIONS OF EXISTING SOIL. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION:
PER EVERY 100 SQUARE FEET ADD:
- ONE - 2 CUBIC FOOT BALE OF PEAT MOSS
- 2 POUNDS OF 5-10-5 GARDEN FERTILIZER
- 1/4 CUBIC YARD OF COMPOSTED MANURE

- PLANT STARTER OR OTHER COMPOSTED ORGANIC MATERIAL
**PREMIXED SOILS WILL BE ACCEPTED, I.E. PURPLE COW, SOIL-LIFE, ETC. PLEASE NOTIFY LANDSCAPE ARCHITECT OF ALTERNATIVES USED.

ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF PLANT STARTER AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

ALL TREES TO BE INSTALLED, STAKED, GUYED ACCORDING TO DETAILS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2"-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS (OR BROWN ENVIRO-MULCH) FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OF GERMINATION-INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

DURING THE INITIAL 30 DAY MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AN ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEED MUSH CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.

LANDSCAPE/SITE DEMOLITION CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

LANDSCAPE/SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIALS TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE MOVED BEFORE AND SITE DEMOLITION IS TO BEGIN.

DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAD SYSTEM IN ALL LAWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

CONTRACTOR NOTE:
BEFORE SITE GRADING AND DEMOLITION IS TO BEGIN FOR PROPOSED NEW PAVEMENT, THE AREA IS TO BE STAKED AND ALL TREE AND SHRUBS THAT ARE TO BE PRESERVED ARE TO BE TAGGED BY LANDSCAPE ARCHITECT AND RELOCATED BY LANDSCAPE CONTRACTOR. IF REQUIRED A TREE PRESERVATION PLAN WILL BE PRODUCED AND COORDINATED WITH CITY STAFF. DEMOLITION CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT, OWNER AND LANDSCAPE CONTRACTOR.

PLANT SCHEDULE

REVISED:20.JUNE.2017

Qty	Botanical Name	Common Name	Size	Root Cnd	Comments
1	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5'	B&B	
1	Quercus muehlenbergii	Chinkapin Oak	2.5'	B&B	
1	Picea abies	Norway spruce	6'	B&B	
2	Picea glauca var. densataa	Black Hills Spruce	6'	B&B	
5	Aronia melanocarpa	Black Chokeberry	24"	Cont.	
5	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	24"	Cont.	
36	Aster 'Alert'	Alert Fall Aster	4.5"	Cont.	Compact form
120	Panicum virgatum 'Cheyenne'	Cheyenne Swich Grass	4.5"	Cont.	
ADDITIONAL PLANTINGS PER PLANNING COMMISSION RECOMMENDATIONS					
1	Prunus sargentii	Sargent cherry	2"	B&B	
3	Picea abies	Norway spruce	6'	B&B	
7	viburnum prunifolium	Blackhaw Viburnum	6'	B&B	

NOTES & PLANT SCHEDULE

ZONING CODE AMENDMENTS

8/28/17 Plan Commission Meeting

Germantown Community Development Department

Village Planner Report

Germantown, Wisconsin

Summary

The Community Development Department is proposing an amendment to the B-3: General Business Zoning District regulations (Zoning Code Section 17.30). The purpose for the amendment is to clarify the intent and permitted use sections of the B-3 District regulations regarding residential uses.

The area along the Main Street corridor, from Western Avenue east to STH 145/Fond du Lac Avenue, is shown on the Village's Land Use Plan map as "Village Mixed Use". The intent of this category of generalized land uses is very specific as paraphrased below (the full intent statement is presented in Exhibit 1):

"The Village Mixed Use category is focused on the land uses on and surrounding the historic Main Street area...is already being transformed into a compact pedestrian-oriented specialty retail and entertainment district...with continued growth and improvement the Village Mixed Use area can be completely transformed into a destination entertainment district and pedestrian-oriented neighborhood. Improvements to Main Street should emphasize conversion of existing buildings to entertainment and retail uses...historic and architecturally significant buildings should be preserved..."

Implementation of this policy statement to further the continued "transformation" and redevelopment of the historic Main Street area is to be accomplished, in part, through administration and enforcement of the Village's Zoning Code.

As shown on Exhibit 2, much of the Main Street area from STH 145 west to the railroad tracks is located in a B-3: General Business Zoning District. The following is the "intent" section of the B-3 District that speaks directly to the intended transformation of the Main Street area:

*"The B-3 District is intended to provide for the orderly continuation and revitalization of the older established "central business district" area of the Village where uses are not exclusively of one type but, rather, mixed and include retail sales shops, wholesale and warehousing outlets, and institutional, recreational and residential uses. Many of the existing businesses in this district may not meet the requirements of the B-1 or B-2 Districts. It is the intent of this district to provide minimum requirements for all new uses of land within the district **and a guide for the redevelopment or revitalization of existing uses of land within the district.**"*

What's the issue? The issue is... what to do about the older, original residential buildings that were converted to and have operated as a business, in whole or in part, that the owners of those buildings now want to "revert" back to a residential use.

Why is this an issue? Simply stated, the B-3 District regulations do NOT specifically provide for ANY residential uses in the B-3 District (other than a conditional use permit allowance for a residential "caretaker quarters" on the 2nd floor of a dwelling with a business on the 1st floor). There's nothing in the B-3 District regulations that provides for the reversion of a building once used for business purposes back to a building to be used for residential purposes even though that building was originally constructed as (and may still look like) a residential building.

The only zoning regulations that address residential uses in the B-3 District are the non-conforming use regulations...which allow for the continued use of a building for residential purposes if such use was in place at the time the B-3 District regulations were adopted in the Zoning Code (November, 1978), and, more importantly, that residential use has continued uninterrupted ever since. If a residential use of a building in a B-3 District has either ceased for a period of 12 consecutive months, or, if the building was converted (in whole or in part) to a business or other non-residential use, such as a dog grooming service business or a specialty retail shop, the non-conforming use regulations don't allow the owner of that building to revert the use of that building back to a residential use.

While the Plan Commission and Village Board have discussed issues affecting the preservation and protection of the original residential buildings along Main Street, it might be surprising to know that our B-3 District regulations and our "Village Mixed Use" land use policy really only address the notion of preserving historic and architecturally significant buildings and not necessarily the residential use of such buildings.

The issue has come up now because it has been brought to our attention that three (3) properties along Main Street are in the process of being sold (or already have been) with the expressed purpose of reverting the use of the buildings from a previous business use to an exclusive residential use by the new owners.

The building located at N116 W15909 Main Street (formerly the "Sinter Klausen" Christmas shop), owned by Iren Blau is going to be sold to a relative who wants to use the building exclusively as a residence. The second property is the property located at N116 W16009 Main Street that is currently occupied by the Labor Union Association office with a separate rental apartment upstairs. Inquiries from a prospective purchaser for this property have asked asking if the building can be reverted back for exclusive use as a residence (with the downstairs reverted back to a residential dwelling and the upstairs for continued use as a separate apartment). The third property is located at N116 W15925 Main Street (formerly "Nancy's Groom Room" dog grooming business). That property was recently sold and is currently being using exclusively for residential uses.

Arguably, if the Village enforces the B-3 District regulations and non-conforming use regulations as written, none of these three buildings should be allowed to revert back to a residential use. However, to not allow them to revert back to what was their intended use from the time they were constructed might contradict what some would argue is and has been the Village's position all along, i.e. to provide for and accommodate the preservation and continuation of the older residential buildings on Main Street for residential purposes. The counter argument to that, however, is that the Village's policy statement through the "Village Mixed Use" concept is that the Village wants to preserve the appearance and character of the historic Main Street area (and existing historic and architecturally significant buildings) but not necessarily the use of said buildings for exclusively residential purposes. To do otherwise, one might argue, would only perpetuate the ongoing conflicts between residential and non-residential uses and property owners along Main Street, as well as, delay or impede the intended transformation of the area into a pedestrian-oriented retail and entertainment area. If the Village wants to hasten the process of *"... redevelopment or revitalization of existing uses of land within the district..."* as is the stated intent of B-3 District, then the business-back to-residential reversion process of the remaining residential buildings along Main Street should not be allowed to continue and the Zoning Code enforced.

In order to initiate discussion about how best to resolve the issue in a manner that clarifies the Village's policy perspective and to give guidance to staff with regard to the administration and enforcement of the Zoning Code, Staff is recommending the following amendments to Section 17.30 in the Municipal Code:

SECTION 1. That Section 17.30 (B-3: General Business District) is revised as follows where words that are ~~stricken~~ are deleted and words that are underlined are to be added:

17.30

GENERAL BUSINESS DISTRICT.

The B-3 District is intended to provide for the orderly continuation and revitalization of the older established Main Street "central business district" area of the Village where uses are not exclusively of one type but, rather, mixed and include retail sales shops, wholesale and warehousing outlets, and institutional, recreational and residential uses. Many of the existing businesses in this district may not meet the requirements of the B-1 or B-2 Districts. It is the intent of this district to provide minimum requirements for all new uses of land within the district and a guide for the redevelopment or revitalization of existing uses of land within the district. Further, it is intended that the conversion of buildings located in the historic Main Street area and categorized as "Village Mixed Use" on the Village's Land Use Plan map from a residential use to a business use or from a business use to a residential use can occur provided that such conversion does not create conflicts with other nearby land uses, or, that impede the intended transformation of the Main Street area into a pedestrian-oriented retail and entertainment area.

SECTION 2. That Section 17.30(1) (Permitted Principal Uses) is revised as follows where words that are ~~stricken~~ are deleted and words that are underlined are to be added:

17.30(1)(iii) Single-family residential uses in a building originally constructed for residential use that was subsequently converted into a business use, in whole or in part, that the owner wants to revert back to a residential use, in whole or in part, subject to all applicable restrictions and allowances of the Village's Zoning and Building Codes.

EXHIBIT 1

(Excerpt from Village of Germantown 2020 Smart Growth Plan; Element 8: Land Use)

Future Land Use Categories

The Future Land Use Plan is comprised of fifteen land use categories which delineate areas of the Villages for particular types of land uses. The following section describes the characteristics and examples of development expected within the future land use categories of Germantown:

Village Mixed Use

For the year 2010, the Village Mixed Use category is focused on the land uses on and surrounding the historic Main Street area, west of Pilgrim Road. Main Street is already being transformed into a compact, pedestrian-oriented specialty retail and entertainment district with restaurants, bars, antique stores, etc. Surrounding Main Street are neighborhoods with gridded streets and compact development including well-maintained single-family structures, parks, and institutions such as a schools, a fire station and senior center. To the west and south is higher density, more contemporary multi-family housing.

With continued growth and improvement, the Village Mixed Use area can be completely transformed into a destination entertainment district and pedestrian oriented neighborhood. Improvements to Main Street and a small portion of Pilgrim Road should continue to emphasize conversion of existing buildings to entertainment and retail uses that would serve existing residents as well as draw people from the region. Historic and architecturally significant buildings should be preserved and curb cuts and off-street parking areas minimized and placed in the rear of properties.

Larger vacant and underutilized properties should be redeveloped with high quality, higher density housing that would lend further support to the commercial district. Buildings should be designed to be consistent with the architectural context of the neighborhood and sited close to the streets to enhance the pedestrian orientation of the area.

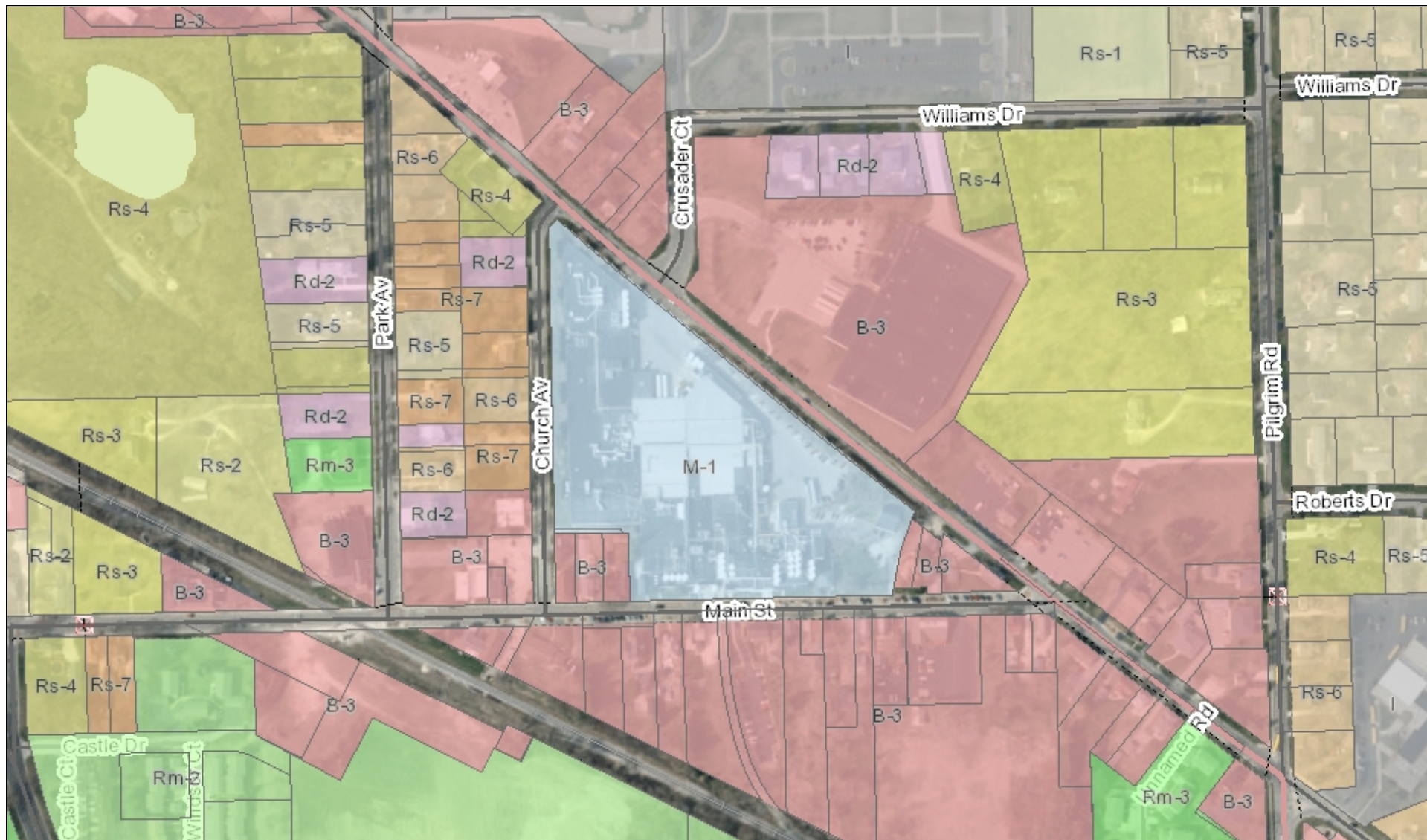


EXHIBIT 2 - MAIN STREET ZONING

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Germantown Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



Village Of Germantown
N112 W17001 Mequon Road
Germantown, WI 53022
262-250-4700



SCALE: 1 = 315'

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