

**VILLAGE OF GERMANTOWN**  
N112 W17001 MEQUON ROAD  
GERMANTOWN, WI 53022

|                |                                             |
|----------------|---------------------------------------------|
| MEETING:       | <b>PLAN COMMISSION</b>                      |
| DATE AND TIME: | <b>MONDAY, SEPTEMBER 11, 2017 6:30 p.m.</b> |
| LOCATION:      | <b>Germantown Village Hall Board Room</b>   |

- I. **CALL TO ORDER:** This meeting has been given public notice in accordance with Wisconsin Statutes, Section 19.83 and 19.84 in such form that will apprise the general public and news media of subject matter that is intended for discussion and action.
- II. **ROLL CALL**
- III. **PUBLIC INPUT/PUBLIC APPEARANCE:** Please be advised per §19.84(2) that information will be received from the public, however, no action will be taken at this time.
- IV. **APPROVAL OF MINUTES:** August 28, 2017
- V. **NEW BUSINESS:**
  - A. Germantown Historical Society, Agent for the Village of Germantown, Property Owner of Dheinsville Park – N128 W18780 Holy Hill Road. Site Plan Review for an 11,200 sqft pavilion.
  - B. pb2 Architecture + Engineering, Agent for Walmart Real Estate Business Trust, Property Owner – W190 N9855 Appleton Avenue. Site Plan Review (Exterior Renovations).
  - C. Lend Lease Construction Inc., Agent for H&K Partners LLC, Property Owner – N96 W17860 County Line Road. Site Plan Application (Exterior Renovations).
  - D. Baudhuin Surveying & Engineering, Agent for Top Leaf Development LLC and Alan & Lynda Luther, Property Owners – 107 acres South of Freistadt Road, North of Elm Lane and West of Wasaukee Road (including N120 W12851 Freistadt Road). Rezoning & Subdivision Consultation for a 43-Lot Residential Subdivision.
  - E. Community Development Department – Proposed Zoning Code Amendment: Section 17.30: B-3 General Business District (Residential Uses)
- VI. **ANNOUNCEMENTS:**
- VII. **ADJOURNMENT:**

The next Plan Commission Meeting will be on October 9, 2017 at 6:30 p.m.

*UPON REASONABLE NOTICE, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service please contact the Village Clerk at (262)250-4740 at least 2 days prior to the meeting. Notice is given that a majority of the Village Board may attend this meeting to gather information about an item over which they have decision making responsibility. This may constitute a meeting of the Village Board per State ex rel. Badke v. Greendale Village Board, even though the Village Board will not take formal action at this meeting.*

**PLAN COMMISSION MINUTES**  
**August 28, 2017**

**CALL TO ORDER:** Chairman Wolter called the meeting to order at 6:45 p.m.

**ROLL CALL:** Chairman Dean Wolter, Trustee Representative David Baum, Commissioners Bill Shadid, Bob Williams, Peter Nilles and Mary Ellen Gray were present. Commissioner Tony Laszewski was absent and excused. Also present were Community Development Director/Village Planner Jeff Retzlaff and Planning Assistant Lori Johnson.

**PUBLIC INPUT:** None

**APPROVAL OF MINUTES:** *MOTION Baum second Shadid to Approve the minutes from 8-14-17.*

*MOTION carried unanimously.*

Chairman Wolter welcomed new Plan Commissioner Robert Williams.

**Carity Land Corporation, Agent for Briscoe Development – 147 Acres North of Mequon Road, West of Country Aire Road, South of Freistadt Road.** The applicants are requesting a consultation to receive feedback on a residential development proposal with 141 single family lots and 52 multi-family condominium units. Planner Retzlaff summarized the proposal. Bill Carity, Carity Land Corporation and John Wahlen, Cornerstone Development, presented details on the development and addressed questions. Plan Commission members had the following comments and concerns:

- Comfortable with a wide variety of houses going up, but concerned with 13 of the same type building. Will they have deviation or any architectural interest? Mr. Wahlen said they would have differences in the design.
- Multi-family rezoning will get push back from the community; condo driven units may be more accepted. What did the community questionnaire results indicate? Planner Retzlaff said the results were not in favor of additional multi-family, apartment style developments versus ownership type condominium units. The LUP map includes an area for medium density development; this proposal is far less dense than what is called for in the plan.
- The plan shows streets going nowhere; a hammerhead will be required. Mr. Wahlen said they would propose a temporary cul-de-sac.
- There is no sewer next to the property. The Village is looking into an interceptor, possibly going up Country Aire Drive. Water is closer by and will be looped into the project.
- How is the quality of life different at this development than other developments? Mr. Wahlen said the setting is significant with proximity to the park. It will be interlaced with walking paths, and includes topography and natural beauty.
- It's exciting to talk about a single-family development; no problems with the location. Multi family is more accepted when it is privately owned.
- The desire for large 5 acre lots is not in demand. This is the right time and place and includes nice amenities with the inner park and walking paths.
- Land Use Plan amendments will be needed for additional changes and the sewer service area needs to be expanded. Given the new concept plan, staff supports removing the commercial area along Mequon Road from the LUP. Rezoning with PDD overlay will be required.
- Sewer service boundary expansion, wetland delineation, navigable stream, LUP amendment, overlay district, preliminary plat, development agreement, construction and utility plans will be needed.

No action was taken. This item was for discussion.

**Germantown School District – Site Plan Review of Revised Landscape Plans for the Germantown High School (W180 N11501 River Lane), County Line Elementary School (W159 N9939 Butternut Road) and Kennedy Middle School (W160 N11836 Crusader Court).** Planner Retzlaff summarized the proposed revisions.

Discussion started with the revised landscape plan for the High School. Commissioner Gray did not think the revised plan was adequate and commented that the existing landscaping at the High School was not being maintained. She said the landscape plan is a chance for the school district to make up for the woods that were lost by creating a strong landscape plan. She would like to see double the plantings and include viburnum and lilac with grouping of shrubs. She was also concerned with some of the tree choices failing and would like to see groupings of things.

Planner Retzlaff said the property owner to the north had some concerns and recommended the school district install some sort of a wire fence to preclude loitering on their industrial property along with some supplemental landscaping to enhance the border.

Chairman Wolter appreciated the additional trees in the revised plan. He said he thinks about safety first when talking about schools and not creating big walls that may create a safety concern or hamper emergency access.

Tim Garland, Garland Alliance Landscape Architects, said he was comfortable with the selection of trees proposed. He said his design approach was to maintain the open spaces that the schools currently provide. Commissioner Gray said the plan has no visual impact. Planner Retzlaff explained the landscape maintenance agreement would ensure the school district maintain and replace dead plantings.

**County Line Elementary School – W159 N9939 Butternut Road.**

***MOTION Baum second Shadid to Approve the revised landscape plan for County Line Elementary School.***

***MOTION carried unanimously.***

**Kennedy Middle School – W160 N11836 Crusader Court.**

***MOTION Baum second Shadid to Approve the revised landscape plan for Kennedy Middle School.***

***MOTION carried unanimously.***

Commissioner Nilles asked if the motion to approve included Condition #4 of the Planner's recommendations which requires additional trees be added to the plan. Planner Retzlaff explained a number of existing trees have been taken out to put in the new parking lot and there are no plans to replace those trees. Chairman Wolter said there wasn't a lot room to add the trees and the condition adds a significant amount of cost and maintenance.

Germantown High School – W180 N11501 River Lane.

***MOTION Baum second Shadid to Approve the revised landscape plan for the Germantown High School.***

Motion to Amend Gray that the 3 River Birch by the Performing Art Center be replaced with something ornamental like a Crab Apple or something stronger and add 10 ornamental or small trees in the plantings along the north parking lot.

Motion failed for lack of a second.

***MOTION carried 5-1 (Gray).***

***MOTION Baum second Shadid to Approve the Village Planner's recommendations for the school sites (in addition to those included in the original Plan Commission approval granted on May 22, 2017):***

- 1. This approval is subject to all of the conditions and requirements set forth herein and adopted by the Plan Commission. Approval is granted for the revised landscaping plans dated August 2, 2017, unless superseded by further revisions required by the Plan Commission as part of its approval.***
- 2. The District shall revise the proposed landscaping plan for Germantown High School to: (a) install a wire-woven or privacy fence along the north property line (or around the west, north and east sides of the parking lot to a point sufficient to prohibit/discourage trespass onto the adjoining properties to the north) along with the installation of additional trees and shrubs between the parking lot and north property line.***
- 3. The District shall enter into a Landscape Maintenance Agreement with the Village as required under 17.43(6a) of the Zoning Code. For the Germantown High School site, said agreement shall address the issue of installing landscaping in the River Lane right-of-way and include, but not be limited to, assigning the responsibility for maintaining and replacing all landscaping items installed in the right-of-way to the Germantown School District.***
- 4. The District shall revise the proposed landscaping plan for County Line Elementary to: (a) install eight (8) deciduous trees with a minimum 3" diameter on the site in the vicinity of the classroom and gymnasium additions as compensation for the trees being removed for parking lot construction; (b) install street trees along the Butternut Road and School Road frontages in an amount equal to one (1) tree per 50 feet of road frontage in the vicinity of the classroom addition; (c) install a minimum 3' wide landscaped buffer strip of deciduous and evergreen shrubs along the east and south perimeter of the new parking area; (d) install foundation plantings along the west elevation of the gymnasium addition and along the south elevation of the classroom addition.***
- 5. The District shall prepare revised landscape plans for the High School and County Line Elementary School sites and submit it to the Village Planner for review/approval prior to issuance of a building permit.***

Discussion followed regarding Condition #2 requiring the installation of a privacy fence along the north property line. Scott Kramer, Plunkett Raysich Architects, said this parking lot will be used by staff and have security.

***MOTION to Baum second Shadid to Amend Condition #2 that should the Police Department establish a problem in that area the school district will be required to put a fence in at a later date.***

Commissioner Williams asked why the business couldn't put the fence in. Jeff Holmes, Superintendent, Germantown School District, said the district has been in conversation with the land owner. He said once things are more finalized, he believes they will work it out to where it will be beneficial. Richard Ericksen, Business Manager, Germantown School District said the tree line is very thick in this area and that the wall on the building is a solid concrete wall.

***MOTION to Amend carried unanimously.***

***MOTION to Amend Baum second Shadid to make changes to Condition #4 (a) to install four (4) deciduous trees and Eliminate 4(c) and 4(d).***

***MOTION to Amend carried unanimously.***

***MOTION to Approve as Amended carried unanimously.***

**Community Development Department – Proposed Zoning Code Amendment: Section 17.30: B-3 General Business District (Residential Uses)**. The purpose for the amendment is to clarify the intent and permitted use sections of the B-3 District regulations regarding residential uses. Planner Retzlaff summarized the amendment. He explained that some of the older, original residential buildings on Main Street, that were converted to and operated as a business, now want to revert back to a residential use. The B-3 District regulations do not specifically provide for residential uses or provide for the reversion of a building once used for business purposes to go back to a residential use. The amendment language would make it clear that converting these uses would be allowed.

Discussion followed. Trustee Baum did not have a problem with properties converting back and forth from commercial to residential as long as the residents understand they are moving into a retail and entertainment district. Planner Retzlaff suggested attaching a stipulation or record to a property so when it converts to residential, the property owner cannot complain about the business activities in the area. Chairman Wolter said the amendment is a good way to bring the issue to the forefront and when it goes to a public hearing the board can decide how they want it everyone that is involved can understand the process. Planner Retzlaff stated there are 9 properties on Fond du Lac Avenue and 10 or 11 on Main Street that could possibly go back forth between commercial and residential, so a policy should be made. He said an alternative would be the possibility of requiring a conditional use permit to convert to build in safeguards. Trustee Baum said a conditional use could make it clear the area is an entertainment district where there is noise, traffic and smells. He said he would like to see an amendment written up both ways before making a decision. Chairman Wolter agreed. The proposed language changes will be brought back to Plan Commission for review.

**ANNOUNCEMENTS:** None

The next Plan Commission meeting is September 11, 2017.

**ADJOURNMENT:** There being no further business, the meeting was adjourned at 8:55 p.m.

Respectfully submitted,

Lori Johnson, Planning Assistant

# SITE PLAN REVIEW

## 9/11/17 Plan Commission Meeting

### Germantown Historical Society / Village of Germantown

Village Planner Report

Germantown, Wisconsin

#### Summary

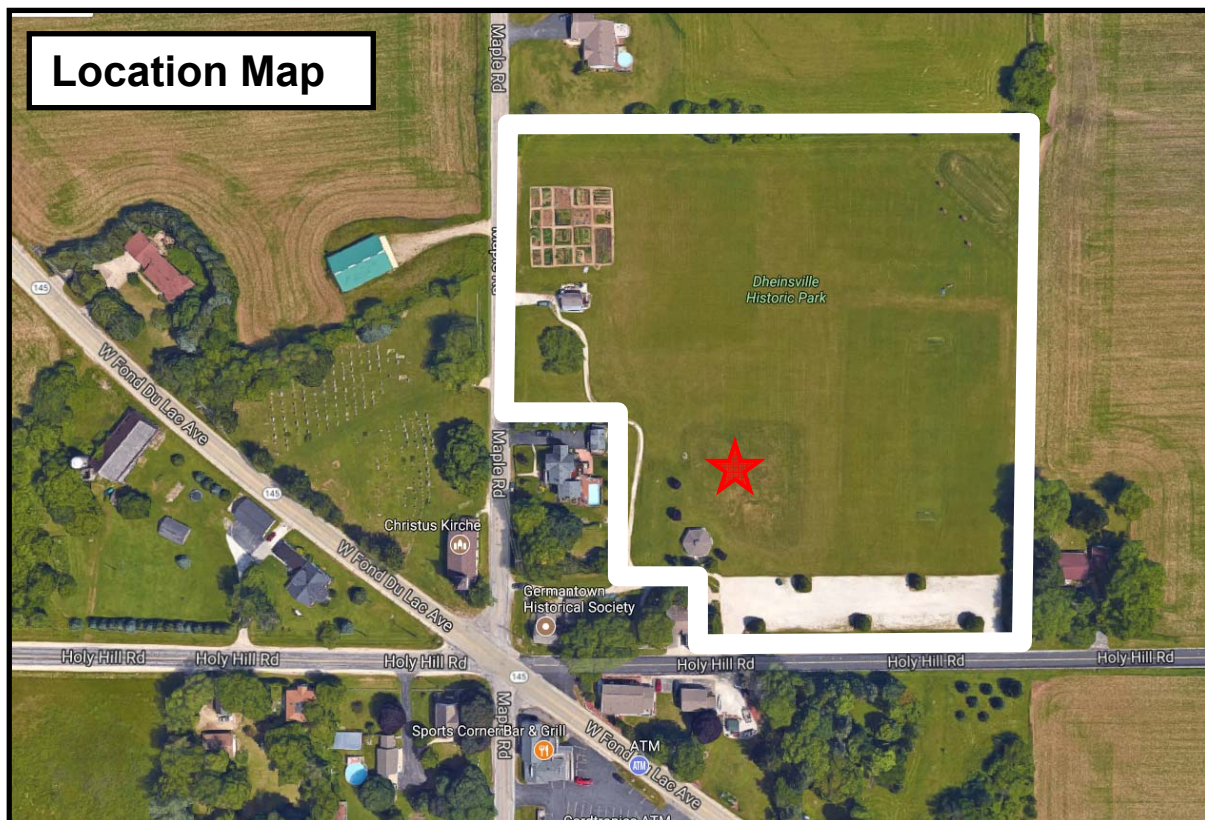
Jeff Dhein, President of the Germantown Historical Society (GHS), is requesting approval of site development and building plans for an 11,200 sqft open-air pavilion to be constructed within the Village's Dheinsville Park property on Holy Hill Road.

**Location:** Dheinsville Park – N128 W18780 Holy Hill Road

**Applicants:** Germantown Historical Society      Village of Germantown  
N128 W18780 Holy Hill Road      N112 W17001 Mequon Road  
Germantown, WI      Germantown, WI

**Current Zoning:** I: Institutional

| Adjacent Land Uses |               | Zoning    |
|--------------------|---------------|-----------|
| North              | Residential   | Rs-3      |
| South              | Commercial    | B-1       |
| East               | Institutional | I         |
| West               | Residential   | Rs-3/Rm-2 |



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**Background**

Dheinsville Park is a 9.5-acre historical park site located near the intersection of Fond du Lac Avenue, Holy Hill Road and Maple Road. This area is commonly referred to as the “Historic Dheinsville Settlement”. The land was purchased in 1994 with funds from both the Village of Germantown and the Germantown Historical Society (GHS). In 1997, the Historical Society received a matching grant from the Jeffris Family Foundation to begin improvements on the site. To date, the GHS has constructed a parking lot, walkways, as well as, refurbished several buildings on the property. The park is home to the Bast Bell Museum and the Society’s annual Oktoberfest celebration held the last weekend in September. Existing park amenities include:

- Archery Range
- Community Garden
- Gazebo (available for rent)
- Parking
- Picnic Tables
- Restrooms
- Soccer Field

In September, 2015, the GHS presented preliminary plans for a 80’ x 140’ pavilion to the Germantown Park & Recreation Commission. The Commission was receptive to the proposal given that it fit into the future plans for the park. The Commission recommended that the Village Board enter into a Memorandum of Understanding (MOU) with the GHS for the project (copy attached). The 2015 MOU assigns project management and construction responsibility to the GHS and ownership, maintenance and administration responsibility (once constructed) to the Village. In July, 2017, the GHS presented a revised building plan for the pavilion to the Commission and received a positive recommendation that has been forwarded to the Plan Commission for consideration (see enclosed September 7 e-mail from Park & Recreation Director Mark Schroeder for meeting minutes).

**Proposal**

Jeff Dhein, President of the GHS, is requesting approval of site development and building plans for an 11,200 sqft open-air pavilion to be constructed within the Village’s Dheinsville Park property on Holy Hill Road.

As presented in the enclosed site and building plans, the pavilion includes:

- 11,200 sqft under roof area (w/ handicapped accessibility)
- Standing seam metal hip roof w/ raised center section & 2 6-sided decorative cupolas
- Concrete slab floor w/ 3-ply 2”x6” treated wood column supports
- Removable “tent-style” side flaps (mainly for west elevation to serve as a buffer closest to adjacent residences)

The PAP will be located within the park north of the existing parking lot. Exterior lighting for the facility is limited to whatever fixtures are installed under roof.

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**Staff Comments**Inspection Services

The Building Inspector has indicated that the submission of state-approved plans will be required prior to issuing a building permit.

Public Works Department

No comment received.

Fire Department/Police Department

Approval is recommended subject to the following:

1. Building of undetermined construction type is 11,200 sqft and the building use is Assembly (A-3) per IBC. Therefore, the allowable capacity is up to 2240 persons;
2. An approved fire lane is recommended around the outside of the building connecting to the parking area or roadway for emergency vehicle access;
3. No Fire department water supply is available on site. GFD only has one water tender at this time. The FD needs a water supply of 1500 GPM.

**Village Planner Recommendation**

**APPROVE** the site development and building plans for the proposed 11,200 sqft pavilion to be constructed within the Village's Dheinsville Park property on Holy Hill Road subject to the following conditions:

1. Approval is for the site and building plan set dated March 13, 2017 unless otherwise revised by a subsequent plan set approved by the Village Planner pursuant to revisions required herein.
2. State approved plans are required by Inspection services as part of the building permit application.
3. A fire lane approved by the Germantown Fire Department is required around the perimeter of the building connecting to the parking area or roadway for emergency vehicle access.

**Fee must accompany application**

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☐ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID \_\_\_\_\_ DATE 8-4-17

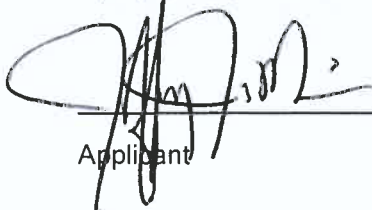
## SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

**1****APPLICANT OR AGENT**Germantown Historical SocietyJEFF DHEIN (PRESIDENT)Phone 262-689-0537  
E-Mail JEFFDHEIN@AOL**PROPERTY OWNER**VILLAGE OF GERMANTOWNDHEINSVILLE PARKPhone ( ) \_\_\_\_\_  
E-Mail \_\_\_\_\_**2****PROPERTY ADDRESS****3****NEIGHBORING USES** – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

| North            | South            | East             | West             |
|------------------|------------------|------------------|------------------|
| <u>RESIDENCE</u> | <u>RESIDENCE</u> | <u>RESIDENCE</u> | <u>RESIDENCE</u> |

**4****READ AND INITIAL THE FOLLOWING:**JD I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.JD I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.JD I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.**5****SIGNATURES** – ALL APPLICATION MUST BE SIGNED BY OWNER! 8-4-17  
Applicant Date

Owner

Date



Germantown Park and Recreation Department  
N112 W17001 Mequon Road  
P.O. Box 337  
Germantown, Wisconsin 53022-0337

(262) 250-4710 Fax (262) 255-2920  
Information Line (262) 250-4711

Meeting Date: July 19, 2017

To: Park & Recreation Commission

From: Mark Schroeder, Park & Recreation Director

Re: Dheinsville Park Pavilion – Update from the Germantown Historical Society

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Background Information - Dheinsville Park is a 10-acre historical park site located in northwest Germantown at the six corners intersection in the area that is known as the Historic Dheinsville Settlement. The land was purchased in 1994 with monies from the Village of Germantown and the Germantown Historical Society (GHS). In 1997 the GHS received a matching grant from the Jeffris Family Foundation to begin improvements to the site including the development of the Wolf Haus and later the Bast Bell Museum.

Throughout the years, the Village and GHS have collaborated to construct the parking lot, pathways, and gazebo shelter. Most recently, the village has added the Archery Range (2012) and Community Gardens (2013). Future projects that have been discussed in recent years include paving the parking lot, pathway improvements, playground structure, and park shelter/pavilion.

At the September 2015 Park & Recreation Commission Meeting, the Germantown Historical Society presented preliminary conceptual plans for an approximately 80'x140' open air park pavilion. The estimated cost projections for this project, including concrete slab and electrical exceeded \$500,000. The pavilion would host future Oktoberfest celebrations, as well as be available for community rentals. The Park & Recreation Commission gave positive feedback to the GHS indicating this facility would fit with the future plans for the park, as well as positive support for the group's fundraising efforts.

At the November 11<sup>th</sup>, 2015 Park & Recreation Commission Meeting, a recommendation was made to the Village Board to enter into a Memorandum of Understanding (MOU) with the GHS for the Dheinsville Park Pavilion Project. The Village Board approved this MOU at the December 7, 2015 meeting.

The Germantown Historical Society will be presenting updated pavilion design plans and cost estimates for review and discussion at the July 19<sup>th</sup> meeting.

*Attachment: Memorandum of Understanding*

## MEMORANDUM OF UNDERSTANDING

This memorandum of understanding is entered into by and between the Village of Germantown, Wisconsin hereinafter referred to as the "Village," and the Germantown Historical Society hereinafter referred to as "Society."

It is the understanding of the Village and the Society that any money raised for the Dheinsville Park Pavilion shall be used solely for the construction and related costs of the pavilion.

The Village and Society will have the final approval of the design of the pavilion.

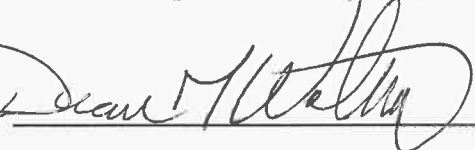
Society will be responsible for project management and construction of the pavilion with the oversight and approval from the Village.

The pavilion will be the property of the Village and the Village will be responsible for all maintenance to the pavilion. The Village will insure the pavilion while the pavilion is in construction and after construction is completed.

The Village of Germantown Park and Recreation Department will be responsible for the scheduling and administration of the pavilion.

The pavilion shall be named the \_\_\_\_\_.

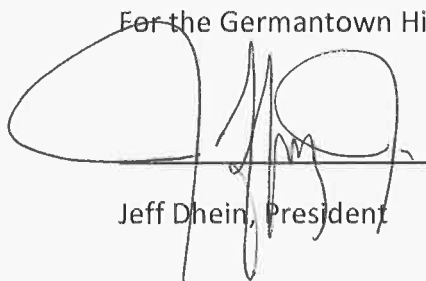
For the Village of Germantown, Wisconsin

 12-10-15

President Dean Wolter

Date

For the Germantown Historical Society

 12-11-15

Jeff Dhein, President

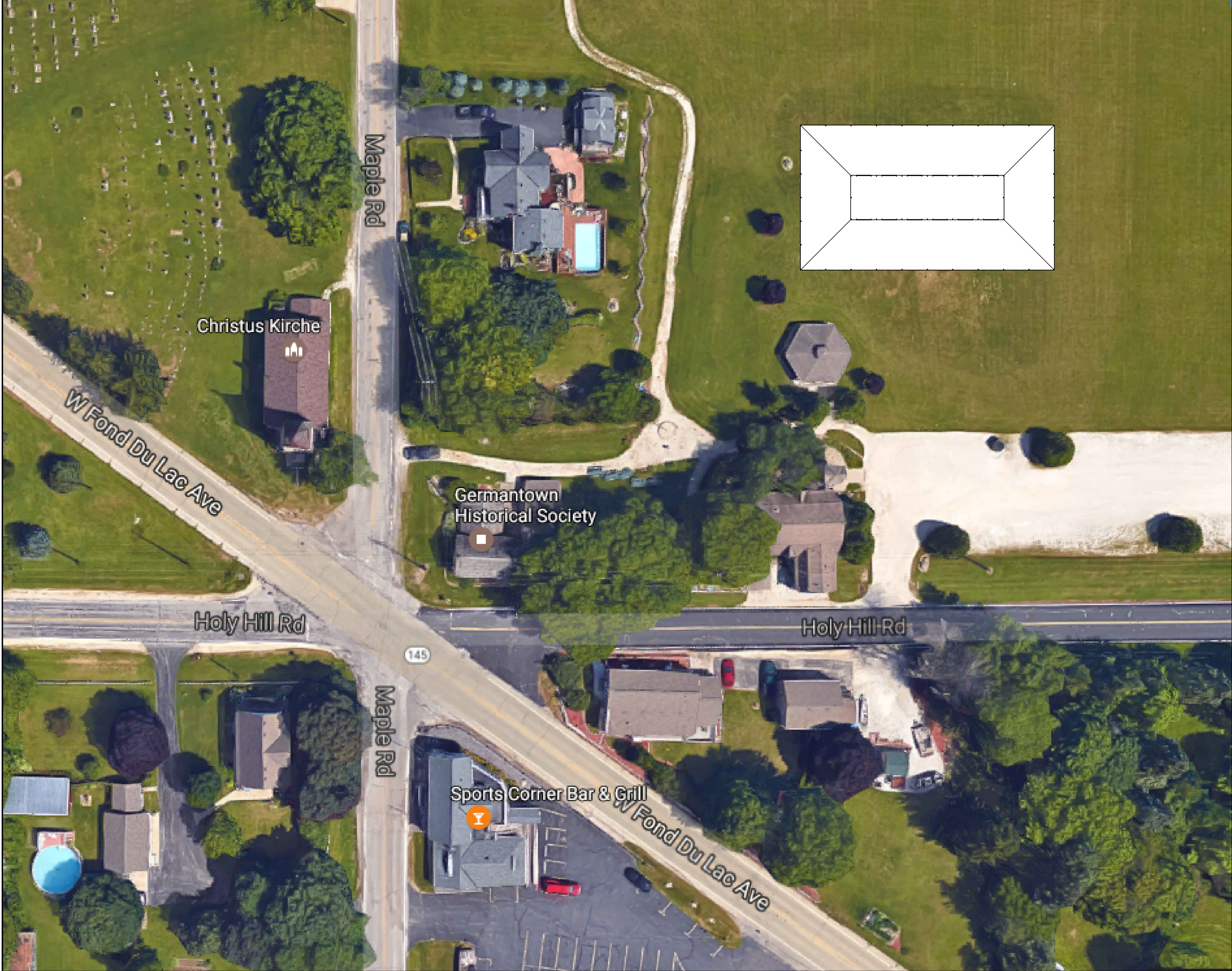
Date

The Germantown Historical Society wants to build a park structure at Dheinsville Park. This structure will be 80 x 140 feet and would be home to our annual Oktoberfest. It can also be used for weddings, reunions, craft fairs and be available to the public to rent through the Parks Department.

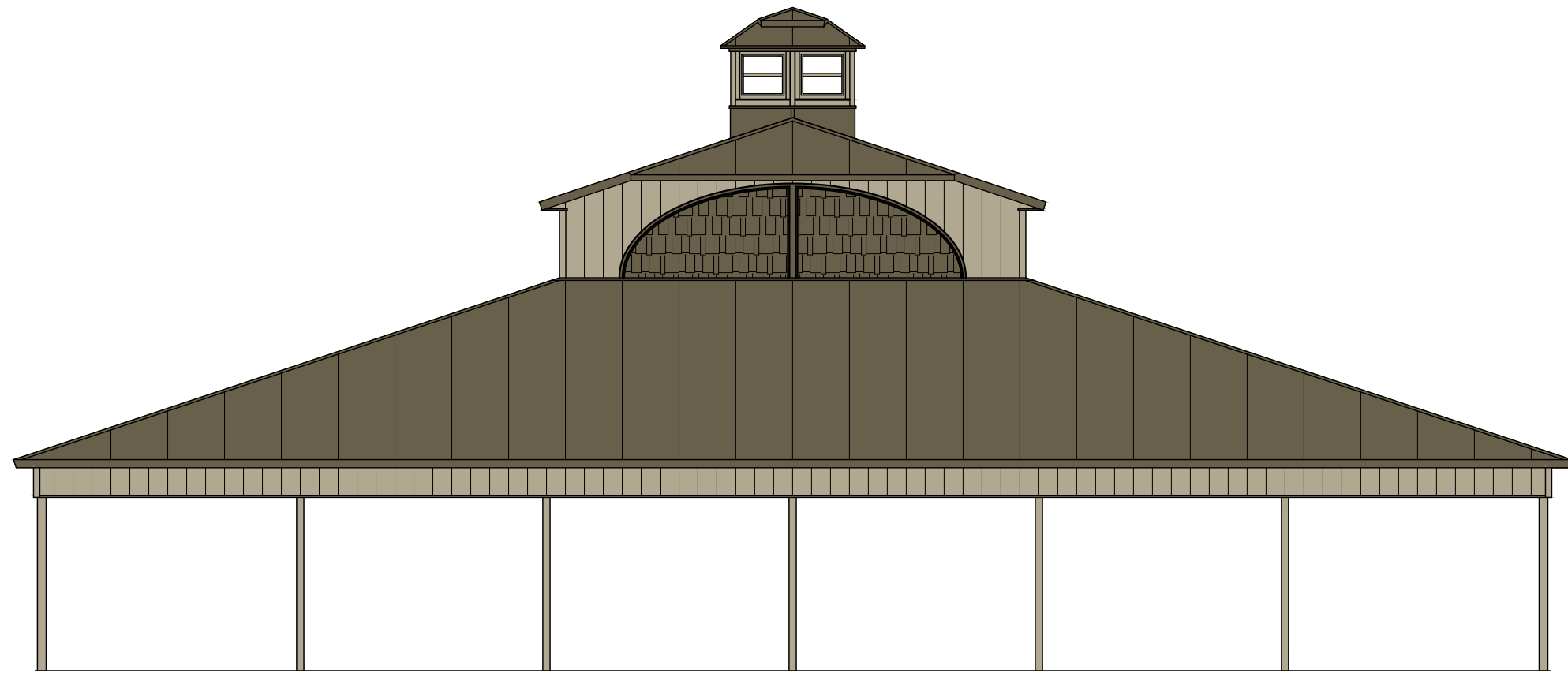
Sincerely,

Jeff Dhein

President (GHS)

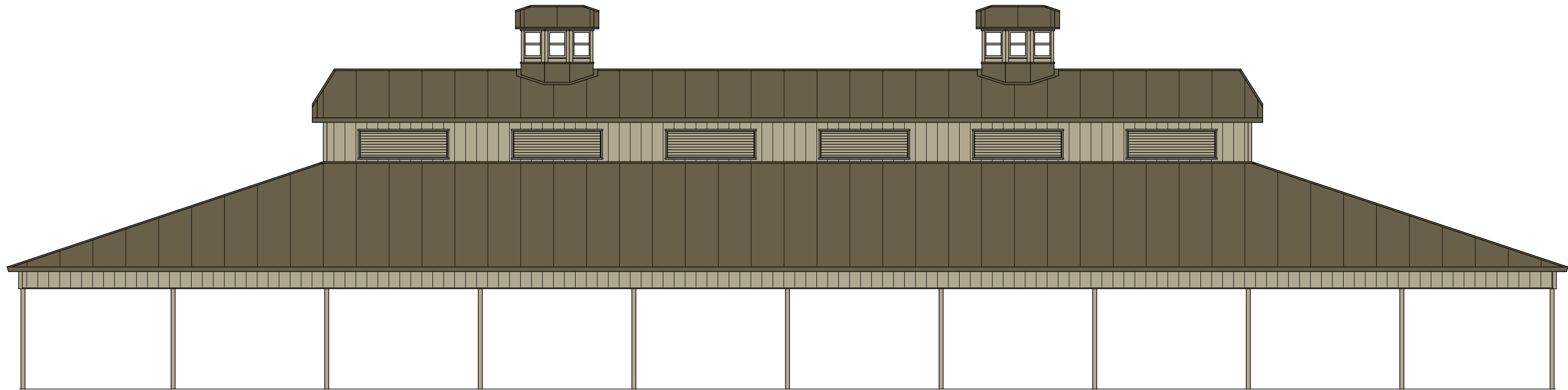


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|------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
| <p>Job No: P95-1456<br/>Checked By:<br/>Approved By:<br/>Sheet No:</p> | <p><b>Walters Buildings</b><br/>Jack Walters &amp; Sons, Corp.<br/>P.O. Box 388, 6600 Midland Ct.<br/>Allenton, WI 53002<br/>1-800-558-7800<br/>www.waltersbuildings.com</p> | <p>Drawn By: AAS<br/>Date: 3/13/17<br/>Revised By:<br/>Revised Date:</p> | <p>Owner:<br/>Project: DHEINSVILLE HISTORICAL SOCIETY<br/>Location:<br/>Dealer/Salesman: SCOTT WALTERS</p> |
|------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|



END ELEVATIONS

SCALE: 1/8" = 1'-0"

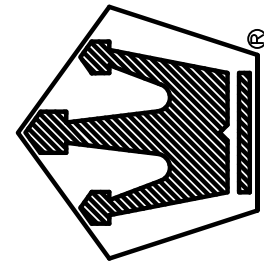


SIDE ELEVATIONS

SCALE: 1/8" = 1'-0"

PRELIMINARY

|                                                                                           |       |
|-------------------------------------------------------------------------------------------|-------|
| I HAVE REVIEWED THE PRELIMINARY DRAWINGS.                                                 |       |
| CUSTOMER SIGNATURE:                                                                       | DATE: |
| WALTERS REPRESENTATIVE:                                                                   | DATE: |
| COMMENTS: _____                                                                           |       |
| _____                                                                                     |       |
| _____                                                                                     |       |
| I UNDERSTAND THAT CHANGES MAY BE NECESSARY<br>DUE TO CODE AND/OR STRUCTURAL REQUIREMENTS. |       |

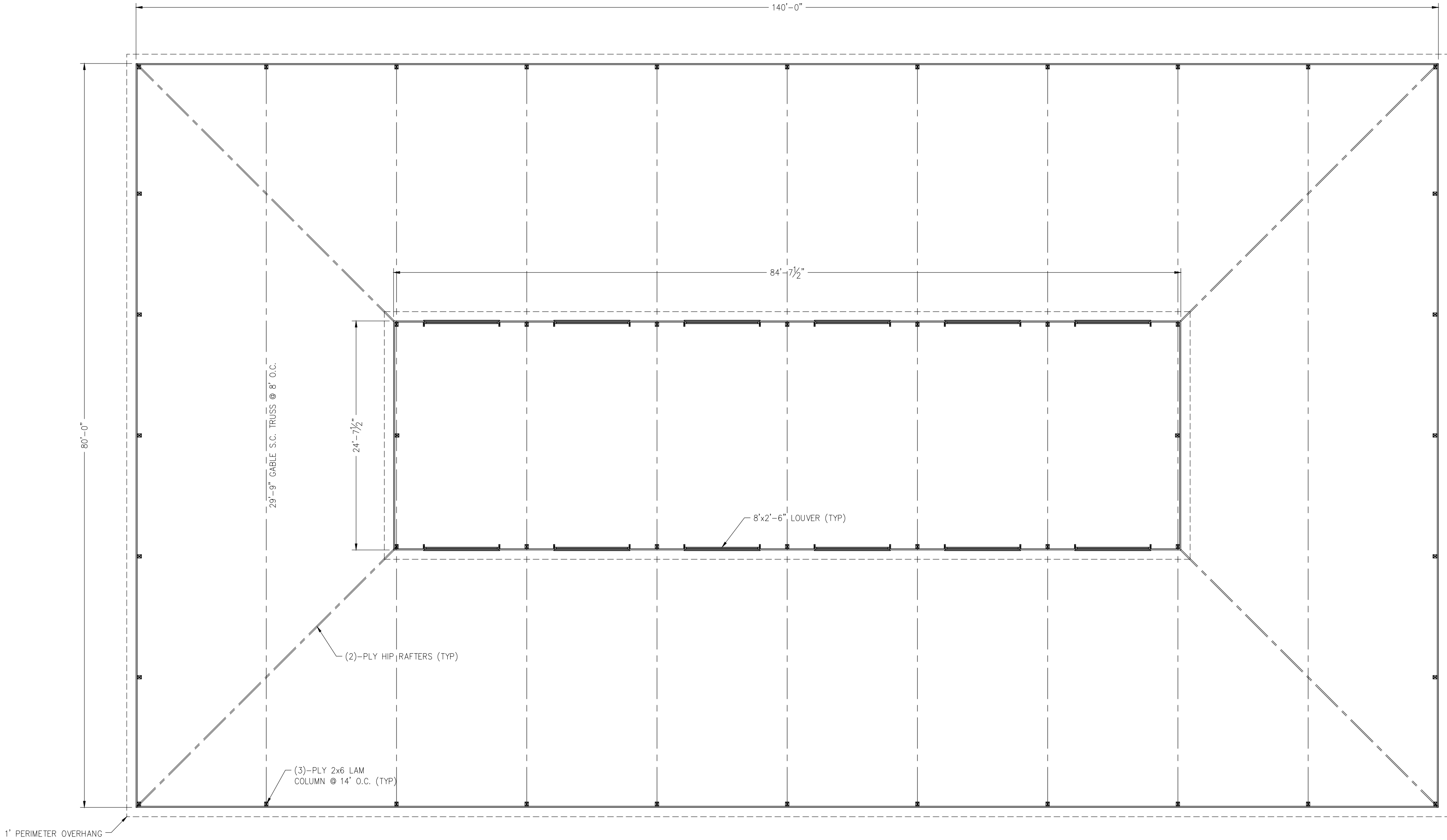


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Job No: P95-1456  
Checked By:  
Approved By:  
Sheet No:

Drawn By: AAS  
Date: 3/13/17  
Revised By:  
Revised Date:

Owner:  
Project: DHEINSVILLE HISTORICAL SOCIETY  
Location:  
Dealer/Salesman: SCOTT WALTERS



FRAMING PLAN

SCALE: 1/8" = 1'-0"

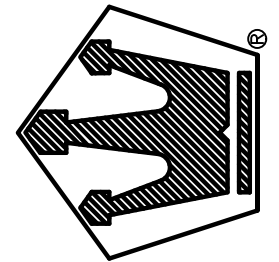
PRELIMINARY

|                                                                                           |       |
|-------------------------------------------------------------------------------------------|-------|
| I HAVE REVIEWED THE PRELIMINARY DRAWINGS.                                                 |       |
| CUSTOMER SIGNATURE:                                                                       | DATE: |
| WALTERS REPRESENTATIVE:                                                                   | DATE: |
| COMMENTS: _____                                                                           |       |
| _____                                                                                     |       |
| _____                                                                                     |       |
| I UNDERSTAND THAT CHANGES MAY BE NECESSARY<br>DUE TO CODE AND/OR STRUCTURAL REQUIREMENTS. |       |

Owner:  
Project: DHEINSVILLE HISTORICAL SOCIETY  
Location:  
Dealer/Salesman: SCOTT WALTERS

Drawn By: AAS  
Date: 3/13/17  
Revised By:  
Revised Date:

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Job No: P95-1456  
Checked By:  
Approved By:  
Sheet No:

# SITE PLAN REVIEW

## 9/11/17 Plan Commission Meeting

### Walmart

Village Planner Report

Germantown, Wisconsin

#### Summary

Pb2 Architecture & Engineering, agent for Walmart Real Estate Trust, property owner has submitted building plans for exterior remodeling of the existing Walmart retail store located at W190 N9855 Appleton Avenue.

**Property Location:** W190 N9855 Appleton Avenue

**Applicant/**

**Property Owners:**

Heather Edmiston Walmart Real Estate Trust  
Pb2 Arch & Eng 2001 SE Tenth St  
28098 Ajax Ave Bentonville, AR  
Rogers, AR

**Current Zoning:** B-2: Community Business District

| Adjacent Land Uses |                        | Zoning   |
|--------------------|------------------------|----------|
| North              | Residential/Commercial | Rs-1/B-1 |
| South              | Commercial             | B-1      |
| East               | Residential            | Rs-4     |
| West               | Institutional          | I        |



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**Proposal**

Pb2 Architecture & Engineering, agent for Walmart Real Estate Trust, property owner has submitted building plans for exterior remodeling (re-painting) of the existing Walmart retail store located at W190 N9855 Appleton Avenue.

As shown in the enclosed elevation renderings the proposed remodeling is limited to exterior re-painting from the existing tans and browns to Walmart's current branding standards that include shades of gray and blue accent colors.

The agent has confirmed that all existing and unpainted integrally colored CMU block, brick, or other unpainted masonry materials will NOT be painted. Also, the existing brown colored shingles on the slope roof sections of the front façade will NOT be replaced. Finally, no changes to signage are proposed; all existing wall-mounted signs will be re-installed in the same locations.

**Staff Comments**

The proposed façade improvements meet the B-2 Zoning District regulations.

Pursuant to Section 17.49 of the Zoning Code, the PC serves as the Village's Architectural Review Board and responsible for enforcing the principles set forth under 17.49(3) concerning design and exterior appearance (copy of 17.49 enclosed).

**Village Planner Recommendation**

**APPROVE** the site and building plans for the proposed remodeling of the Walmart retail store located at W190 N9855 Appleton Avenue.

## 17.49 - ARCHITECTURAL CONTROL.

- (1) **ARCHITECTURAL REVIEW BOARD.** The Plan Commission shall act as the Architectural Review Board for the purposes of this chapter.
- (2) **RESERVED.** (Rep. Ord. #8-96)
- (3) **PRINCIPLES.** To implement and define criteria for the purpose set forth in this chapter, the following principles are established:
  - (a) No building shall be permitted, the design or exterior appearance of which is of unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
  - (b) No building shall be permitted, the design or exterior appearance of which is so identical with those adjoining as to create excessive monotony or drabness.
  - (c) No building shall be permitted where any exposed facade is constructed or faced with a finished material which is aesthetically incompatible with the other facades and which presents an unattractive appearance to the public and to surrounding properties.
  - (d) No building or sign shall be permitted to be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area, particularly insofar as it would adversely affect values incident to ownership of land in that area; or which would unnecessarily have an adverse effect on the beauty and general enjoyment of existing structures on adjoining properties.
  - (e) Accessory structures for single-family and 2-family buildings, which exceed 200 square feet in footprint shall be of a similar architectural appearance and material as the primary building on the property. For those buildings greater than 200 square feet the Plan Commission may, in circumstances which it deems appropriate, grant a variance to the requirements to structures up to 400 square feet in size. (Cr. Ord. #8-96; Am. Ord. #34-05)
- (4) **ADMINISTRATION.** The Building Inspector shall require that each building permit application be accompanied by plans and a plat or survey showing the exterior elevations of all existing and proposed structures on the property, a description of the proposed materials to be used, and proposed floor elevations of the structures. The Building Inspector shall review the application together with the plans and plat or survey. In the event the Building Inspector determines that the structure, as planned, will not conflict with the principles set forth in subsection (3) above, he shall approve the plans. However, if the Building Inspector finds that the proposed structure may not comply with said principles, he shall transmit the application and accompanying plans, together with his comments and recommendations, to the Plan Commission for its review.
- (5) **REVIEW AND FINDINGS.** The Plan Commission shall review the referred plans and the comments and recommendations of the Building Inspector and approve or disapprove the plans not more than 40 days from the date the original application for a building permit was submitted. In the event the Plan Commission does not act within said 40 days, the plans shall be automatically approved. The Plan

Commission shall not approve any building plans unless it finds, by a preponderance of the evidence after viewing the application, that the structure, as planned, will not violate the principles set forth in subsection (3) above.

- (6) **APPEALS.** Any person aggrieved by any decision of the Plan Commission related to architectural control may appeal the decision to the Board of Zoning Appeals. Such appeal shall be filed with the Village Clerk within 30 days after filing of the decision with the Building Inspector.



**Fee must accompany application**

- ☒ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☐ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID \_\_\_\_\_ DATE \_\_\_\_\_

## SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

1

**APPLICANT OR AGENT**

Heather Edmiston  
pb2 architecture + engineering  
2809 Ajax Ave, Ste 100  
Rogers, AR 72756

Phone (479) 878-3530  
E-Mail [heather.edmiston@pb2ae.com](mailto:heather.edmiston@pb2ae.com)

**PROPERTY OWNER**

Walmart Real Estate Business Trust  
2001 SE Tenth St  
Bentonville, AR 72712

Phone (479) 273-4000  
E-Mail [waylon.chaney@walmart.com](mailto:waylon.chaney@walmart.com)

2

**PROPERTY ADDRESS**

W190 N9855 Appleton Ave

3

**NEIGHBORING USES** – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

|       |       |      |      |
|-------|-------|------|------|
| North | South | East | West |
|-------|-------|------|------|

4

**READ AND INITIAL THE FOLLOWING:**

- \_\_\_\_\_ I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.
- \_\_\_\_\_ I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.
- \_\_\_\_\_ I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5

**SIGNATURES** – ALL APPLICATION MUST BE SIGNED BY OWNER!

 7-28-17  
Applicant Date

 7-28-17  
Owner Date

**Lori Johnson**

---

**To:** Heather Edmiston  
**Subject:** RE: Wal-Mart Store #1515; W190 N9855 Appleton Ave; Repaint Proposal

**From:** Heather Edmiston [mailto:Heather.Edmiston@PB2AE.COM]  
**Sent:** Tuesday, August 15, 2017 9:56 AM  
**To:** Lori Johnson <ljohnson@village.germantown.wi.us>  
**Subject:** RE: Wal-Mart Store #1515; W190 N9855 Appleton Ave; Repaint Proposal

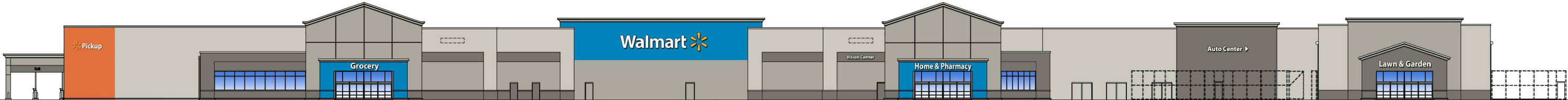
Walmart proposes to update the exterior building colors from tans and browns to current branding standards, which include various shades of gray and a blue accent color.

Thank you,

heather edmiston  
pb2 architecture + engineering  
2809 ojax avenue suite 100 | rogers arkansas 72758  
d: 479.878.3530 | o: 479.636.3545 | f: 479.636.1209  
[heather.edmiston@pb2ae.com](mailto:heather.edmiston@pb2ae.com)

This e-mail (including any attachments) is covered by the Electronic Communications Privacy Act, 18 U.S.C. 2510-2521. It is confidential and may be legally privileged. If you are not the intended recipient, you are hereby notified that any retention, dissemination, distribution or copying of this communication is strictly prohibited. Please reply to the sender that you have received this message in error, and then delete it.

| Exceptions                                                    |         | Revision History |          |
|---------------------------------------------------------------|---------|------------------|----------|
| BRAND BLUE                                                    | ALLOWED | BRC SUBMITTAL    | 06.12.17 |
| BRAND ORANGE                                                  | ALLOWED |                  |          |
| BRAND GRAYS                                                   | ALLOWED |                  |          |
| ACTIVE SPECIAL PROJECTS                                       | NO      |                  |          |
| LANDLORD                                                      | NO      |                  |          |
| <b>Paint Disclosures:</b>                                     |         |                  |          |
| AHJ REQUIRES REVIEW AND APPROVAL OF COLORS BY VILLAGE PLANNER |         |                  |          |
| <b>Additional Notes:</b>                                      |         |                  |          |
| SIGNAGE REQUIRES REVIEW AND PERMIT                            |         |                  |          |



195 (143 & 176)

Proto Reference

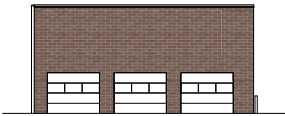


Front Elevation

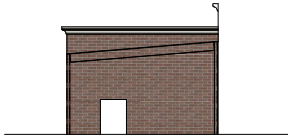
| Color Legend |      |                                         |
|--------------|------|-----------------------------------------|
|              | P#   | COLOR NAME                              |
|              | P49  | SW#7019 "GAUNTLET GRAY"                 |
|              | P76U | SW#076 "MEDIUM WALMART BLUE (URETHANE)" |
|              | P134 | SW#7015 "REPOSE GRAY"                   |
|              | P135 | SW#7017 "DORIAN GRAY"                   |
|              | P140 | SW#7005 "SNOWBOUND"                     |



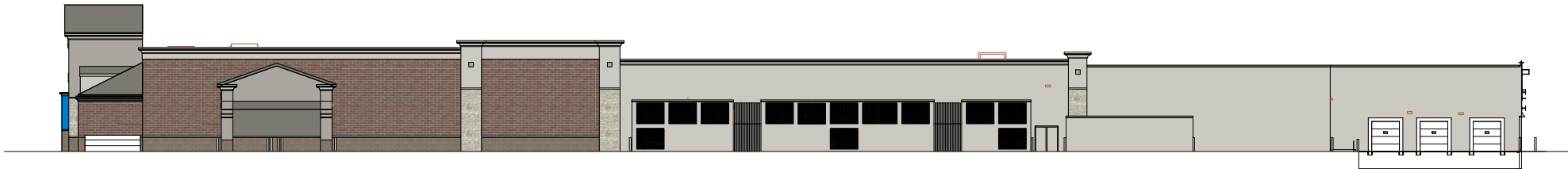
Receiving Elevation



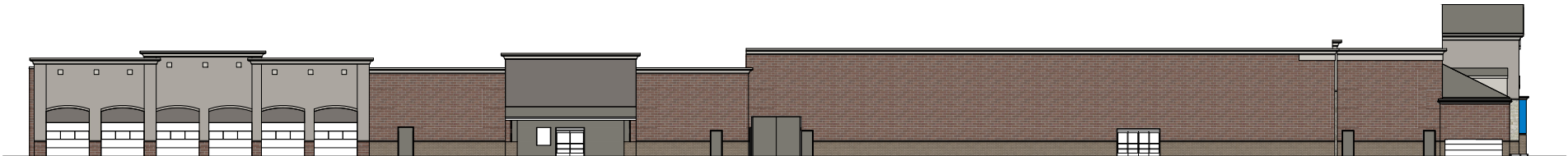
Auto Center Elevation



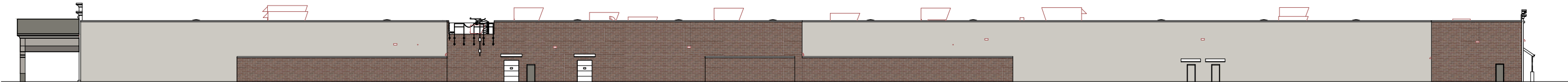
Auto Center Storage



Right Elevation



Left Elevation



Rear Elevation



Front Elevation

# SITE PLAN REVIEW

9/11/17 Plan Commission Meeting

## KFC Restaurant / H&K Partners

Village Planner Report

Germantown, Wisconsin

### Summary

Lend Lease Construction Inc., agent for H&K Partners, property owner has submitted building plans for exterior remodeling of the existing KFC restaurant located at N96 W17860 County Line Road.

**Property Location:** N96 W17860 County Line Road

**Applicant/**

**Property Owners:**

Irwing Gamma

Lend Lease Const Inc.

One North Wacker Drive

Chicago, IL

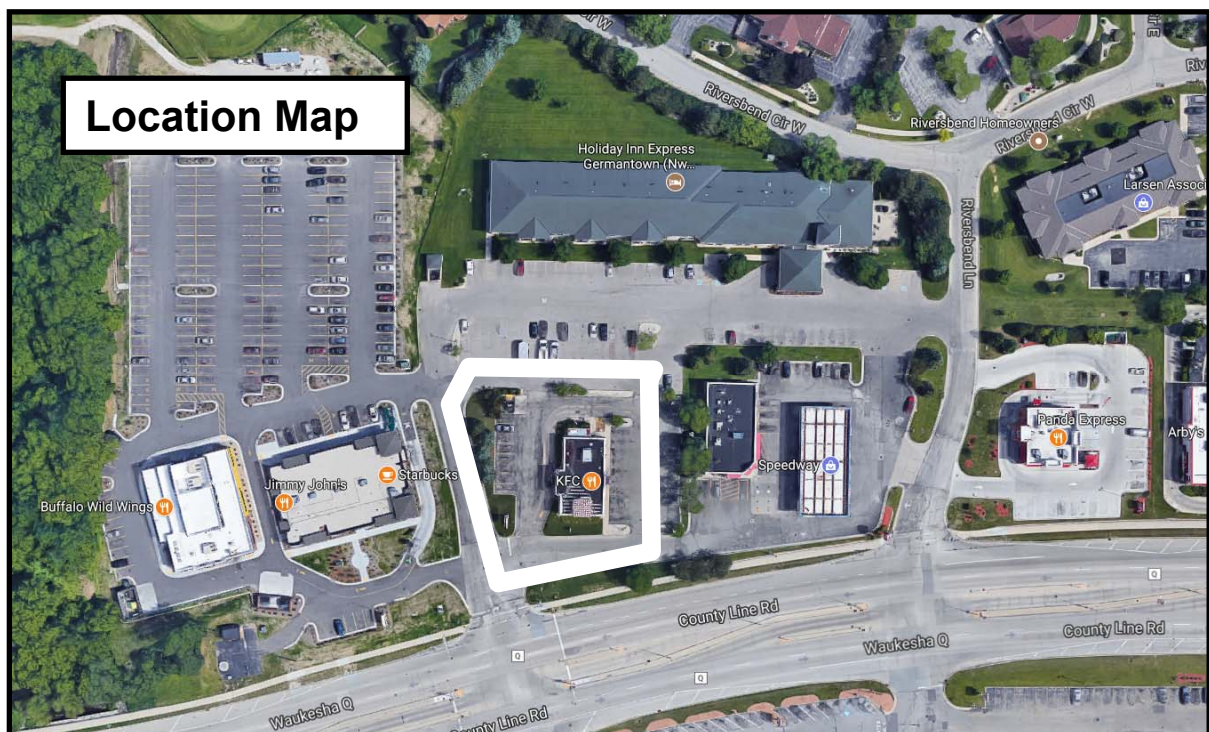
H&K Partners

7840 W. Hicks Street

Milwaukee, WI 53219

**Current Zoning:** B-1: Neighborhood Commercial

| Adjacent Land Uses |                      | Zoning  |
|--------------------|----------------------|---------|
| North              | Commercial/Hotel     | B-5     |
| South              | Commercial/Taco Bell | B-5     |
| East               | Commercial/Speedway  | B-1     |
| West               | Commercial           | B-1/PDD |



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**Proposal**

Lend Lease Construction Inc., agent for H&K Partners, property owner has submitted building plans for exterior and interior remodeling of the existing KFC restaurant located at N96 W17860 County Line Road. During construction the dining room will be closed but the drive-thru window will be open during regular business hours.

The exterior remodeling includes:

- Repaint the building exterior w/ a red, white and black palette (see enclosed)
- Replacement of the existing red-striped coated vinyl awnings w/ pre-finished metal louvered awnings
- Replacement of building-mounted “goose neck” light fixtures & wall sconces
- Repaint the building exterior w/ a red, white and black palette (see enclosed)

Interior remodeling will be extensive and include:

- new counter and cabinet finishes;
- new décor w/ tables, chairs, tile and wall paint;
- seating layout changes in dining room;
- new light fixtures, ceiling tiles and grids

Minor site improvements include:

- Repaint dumpster enclosure

**Staff Comments**

The proposed exterior remodeling meets the B-1 Zoning District regulations. Staff supports the proposed improvements provided the following additional items are addressed:

- The exterior light fixtures need to have the lamp entirely shielded and not projecting beyond the shield or otherwise be directly visible, i.e. no tilting or aiming that would direct light away from the building and expose the lamp.

Pursuant to Section 17.49 of the Zoning Code, the PC serves as the Village's Architectural Review Board and responsible for enforcing the principles set forth under 17.49(3) concerning design and exterior appearance (copy of 17.49 enclosed).

**Village Planner Recommendation**

**APPROVE** the site and building plans for the proposed exterior remodeling of the KFC restaurant located at N96 W17860 County Line Road subject to the following conditions:

1. The proposed exterior light fixtures shall provide a complete “cut-off” fixture and not be tilted such that light is directed away from the building.

## 17.49 - ARCHITECTURAL CONTROL.

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- (6) **APPEALS.** Any person aggrieved by any decision of the Plan Commission related to architectural control may appeal the decision to the Board of Zoning Appeals. Such appeal shall be filed with the Village Clerk within 30 days after filing of the decision with the Building Inspector.



Village of

**Germantown**

*Willkommen*

Fee must accompany application

- ☐ \$700 Minor Addition
- ☐ \$1,240 Construction <10,000 SF
- ☐ \$2,095 Construction 10,000 SF to 50,000
- ☐ \$3,460 Industrial Construction >50,000 SF
- ☐ \$3,460 Commercial Construction >50,000
- ☐ \$200 Plan Commission Consultation
- ☐ \$125 Fire Department Plan Review

PAID \_\_\_\_\_ DATE \_\_\_\_\_

## SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. All applications must be signed and dated.

### 1 APPLICANT OR AGENT

Irwing Gama  
\_\_\_\_\_  
125 S Clark St - 17th Floor  
\_\_\_\_\_  
Chicago, IL 60603  
\_\_\_\_\_  
Phone ( 312 ) 801-4877  
\_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
\_\_\_\_\_  
E-Mail Irwing.Gama  
\_\_\_\_\_

#### PROPERTY OWNER

H&K Partners, LLC  
7840 W Hicks St  
Milwaukee, WI 53219  
\_\_\_\_\_  
Phone ( 414 ) 431-4532  
\_\_\_\_\_  
Fax ( ) \_\_\_\_\_  
\_\_\_\_\_  
E-Mail \_\_\_\_\_

### 2 PROPERTY ADDRESS

N96W17860 COUNTY LINE RD., GERMANTOWN, WI 53022

### 3 NEIGHBORING USES - Specify name and type of use, e.g. Enviro Tech - Industrial, Smith - Residential, etc.

| North | South                  | East                     | West              |
|-------|------------------------|--------------------------|-------------------|
| Hotel | Commercial - Taco Bell | Commercial - Gas Station | Commercial - AT&T |

### 4 READ AND INITIAL THE FOLLOWING:

- IG I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.
- IG I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.
- IG I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

### 5 SIGNATURES - ALL APPLICATION MUST BE SIGNED BY OWNER!

 7-27-17  
Applicant Date

 7-27-17  
Owner Date



# Site Activity Statement

## KFC REMODEL

N96W 17860 County Line Rd  
Germantown, WI 53022

KFC is an existing business who continuously provides prompt, professional and friendly service to Germantown residents.

Their current site includes a one-story, wood framed building with a total area of 2,881 square feet with a total planned renovation area of 1,293 square feet.

The scope of the project involves the following items:

- Exterior:
  - o Update building paint color, new awning and canopy types to replace existing structures, replacement and addition of exterior light fixtures - arm lights and wall sconces.
- Interior:
  - o Dining room refresh: Upgrade of existing counter and cabinet finishes – no new cabinetry or movement of existing cabinetry proposed.
  - o New décor package with tables, chairs, faux beams, floor tiling and wall paint, décor & graphics.
  - o Dining seat layout to change. Existing seat count: 57 | Proposed seat count: 57
  - o New light fixtures and lamps including addition of large focal fixture in dining room – no re-wiring scheduled.
  - o Removal and replacement of existing ceiling grid and tiles.
  - o Current soda dispenser will be unplugged, protected and re-plugged in by vendor to upgrade counter finish.
  - o Dining room will close to the public during remodel, but Drive Thru will remain open.
- Signage:
  - o Replace and reface existing signage.
  - o \*To be researched and permitted separately by our sign contractor. \*

**The KFC remodel does not constitute a building expansion and will not involve any site work (landscaping and parking).**

No new uses are proposed for the site.



INTERIOR RENOVATION: DINING AREA

NOT IN SCOPE: KITCHEN / BOH / RESTROOM

|    |                                                                    |    |                                                                                   |
|----|--------------------------------------------------------------------|----|-----------------------------------------------------------------------------------|
| 1  | EXISTING REMOTE DUMPSTER ENCLOSURE TO REMAIN                       | 13 | EXISTING SPEAKER POST                                                             |
| 2  | EXISTING WHEELSTOP                                                 | 14 | EXISTING PREVIEW BOARD                                                            |
| 3  | EXISTING A.D.A. SIGNAGE                                            | 15 | EXISTING MENU BOARD                                                               |
| 4  | EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION | 16 | EXISTING CLEARANCE BAR                                                            |
| 5  | EXISTING PARKING LOT DIRECTIONAL SIGNAGE (POST TO BE PAINTED)      | 17 | EXISTING REMOTE DUMPSTER ENCLOSURE TO BE REPAIRED AND PAINTED                     |
| 6  | EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION     | 18 | EXISTING REMOTE DUMPSTER ENCLOSURE TO BE PAINTED (Gate Only or Include CMU/Brick) |
| 7  | EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION              | 19 | EXISTING LANDSCAPING TO BE UPGRADED (if required by City or under SOW)            |
| 8  | EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION          | 20 | EXISTING DOLLARDS TO BE PAINTED or INSTALL SLEEVES                                |
| 9  | EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION  |    |                                                                                   |
| 10 | EXISTING LANDSCAPING TO REMAIN                                     |    |                                                                                   |
| 11 | EXISTING BUCKET SIGN                                               |    |                                                                                   |
| 12 | EXISTING PYLON SIGN                                                |    |                                                                                   |

|                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| PROJECT NAME:                                                                                                                                                                                                                                                                                                                | KFC                                                                                                                                             |
| PROJECT ADDRESS:                                                                                                                                                                                                                                                                                                             | N96W17860 COUNTY LINE RD., GERMANTOWN, WI 53022                                                                                                 |
| LEGAL JURISDICTION:                                                                                                                                                                                                                                                                                                          | VILLAGE OF GERMANTOWN                                                                                                                           |
| BUILDING CODE:                                                                                                                                                                                                                                                                                                               | BUILDING CODE OF THE VILLAGE OF GERMANTOWN<br>WISCONSIN ADMINISTRATIVE CODE<br>WISCONSIN STATE PLUMBING CODE<br>WISCONSIN STATE ELECTRICAL CODE |
| BUILDING FOOTPRINT AREA:                                                                                                                                                                                                                                                                                                     | MAX. AREA 6,000 SF; ACTUAL 2,881 SF                                                                                                             |
| RENOVATION AREA:                                                                                                                                                                                                                                                                                                             | 1,293 SF                                                                                                                                        |
| SEATING:                                                                                                                                                                                                                                                                                                                     | EXISTING: 57<br>PROPOSED: 57                                                                                                                    |
| TYPE OF CONSTRUCTION:                                                                                                                                                                                                                                                                                                        | VB                                                                                                                                              |
| OCCUPANCY TYPE:                                                                                                                                                                                                                                                                                                              | A2-ASSEMBLY                                                                                                                                     |
| NUMBER OF OCCUPANTS:                                                                                                                                                                                                                                                                                                         | 92                                                                                                                                              |
| NUMBER OF EXITS:                                                                                                                                                                                                                                                                                                             | 2 REQUIRED; 3 ACTUAL                                                                                                                            |
| NUMBER OF STORIES:                                                                                                                                                                                                                                                                                                           | ALLOWABLE: 1, ACTUAL: 1                                                                                                                         |
| BUILDING HEIGHT:                                                                                                                                                                                                                                                                                                             | ALLOWABLE: 40'-0"; ACTUAL: 20'-0"                                                                                                               |
| PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION DURING THE REMODELING PROCESS. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS WITH NEW PAINT FINISHES. |                                                                                                                                                 |

| Scope Type               | Incentive |
|--------------------------|-----------|
| New Ceiling and Lighting | NO        |
| New Restroom Refresh     | NO        |
| Dining Room Floor Tile   | NO        |
| Drive Thru Package       | NO        |
| Multibrand               | KFC only  |
| Existing Image           | Y04       |
| Store Type               | K38       |

A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED

B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC CM PRIOR TO STARTING WORK

|                           |              |                                    |                    |
|---------------------------|--------------|------------------------------------|--------------------|
| <b>CORPORATE</b>          |              | <b>ARCHITECT</b>                   |                    |
| KFC Corporation           | Contact:     | Corporate Design+Development Group | Contact:           |
| 1900 Colonel Sanders Lane | Will Nash    | 2675 Pratum Avenue                 | Chris Kalischetski |
| Louisville, KY 40213      | 502-874-6229 | Hoffman Estates, IL , 60192        | 224-293-6960       |

[illegible]

|                               |     |
|-------------------------------|-----|
| DESIGN DEVELOPMENT REVIEW SET |     |
| 10/13/16                      | SC  |
| DATE                          | BY  |
| PERMIT SET SUBMITTAL          |     |
| 10/21/16                      | AMG |
| DATE                          | BY  |

|                                                                                       |                              |                             |
|---------------------------------------------------------------------------------------|------------------------------|-----------------------------|
| <b>Mar</b>                                                                            | <b>Date</b>                  | <b>B</b>                    |
|                                                                                       | <u>04/27/2016</u>            | <u>SC</u>                   |
|  | <u>DESIGN SCOPE REVISION</u> |                             |
|                                                                                       | <u>04/28/2016</u>            | <u>SC</u>                   |
|  | <u>REVISION PER COMMENTS</u> |                             |
|                                                                                       | <u>                    </u>  | <u>                    </u> |
|                                                                                       | <u>                    </u>  | <u>                    </u> |

"K-38 Y04  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 JAN. 2016  
INCENTIVE SCOPE  
N96W17860 COUNTY LINE RD.  
GERMANTOWN, WI 53022  
COMMISSION NO. H653079  
SHEET TITLE

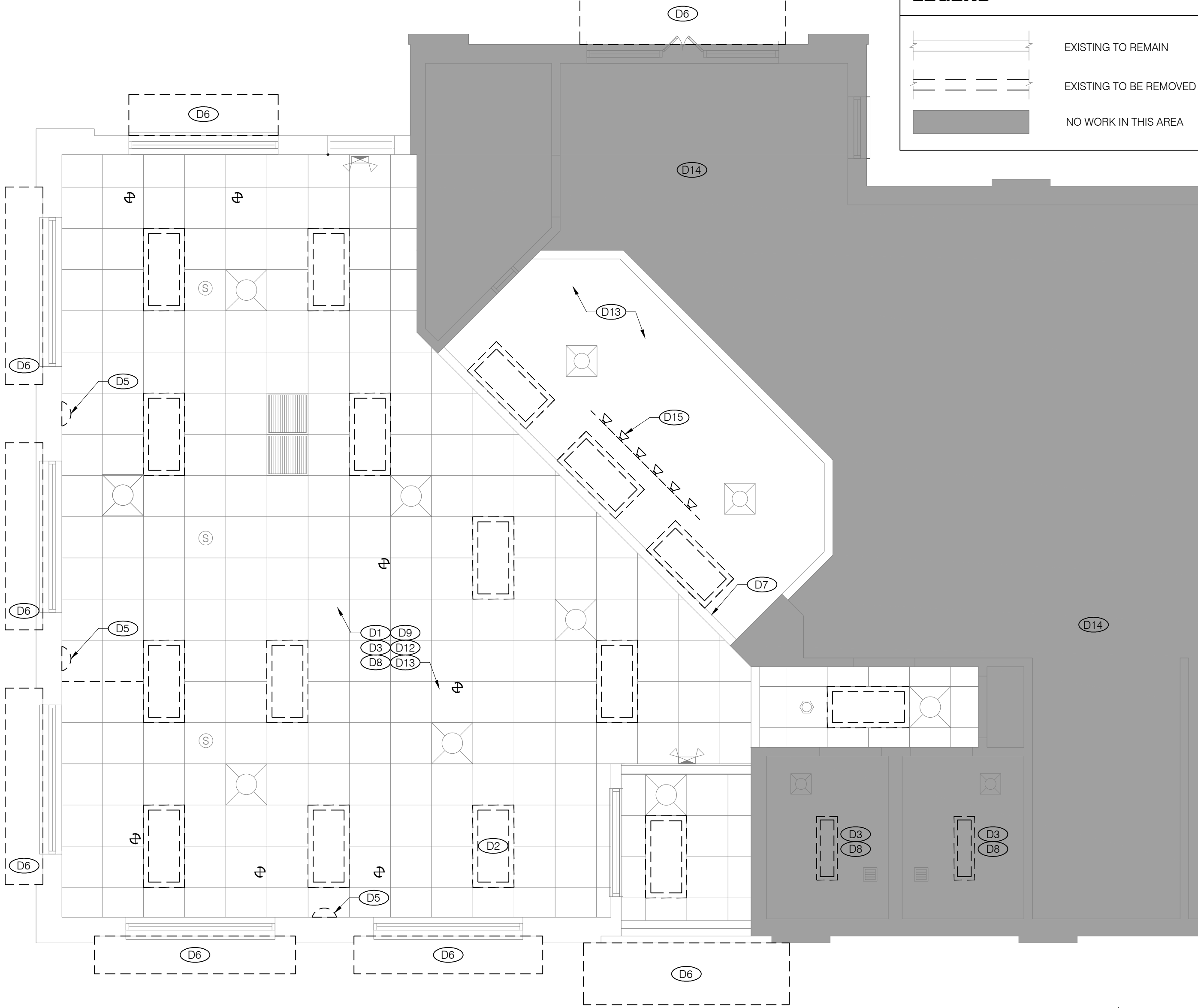
## SHEET NO.

# G-1.0

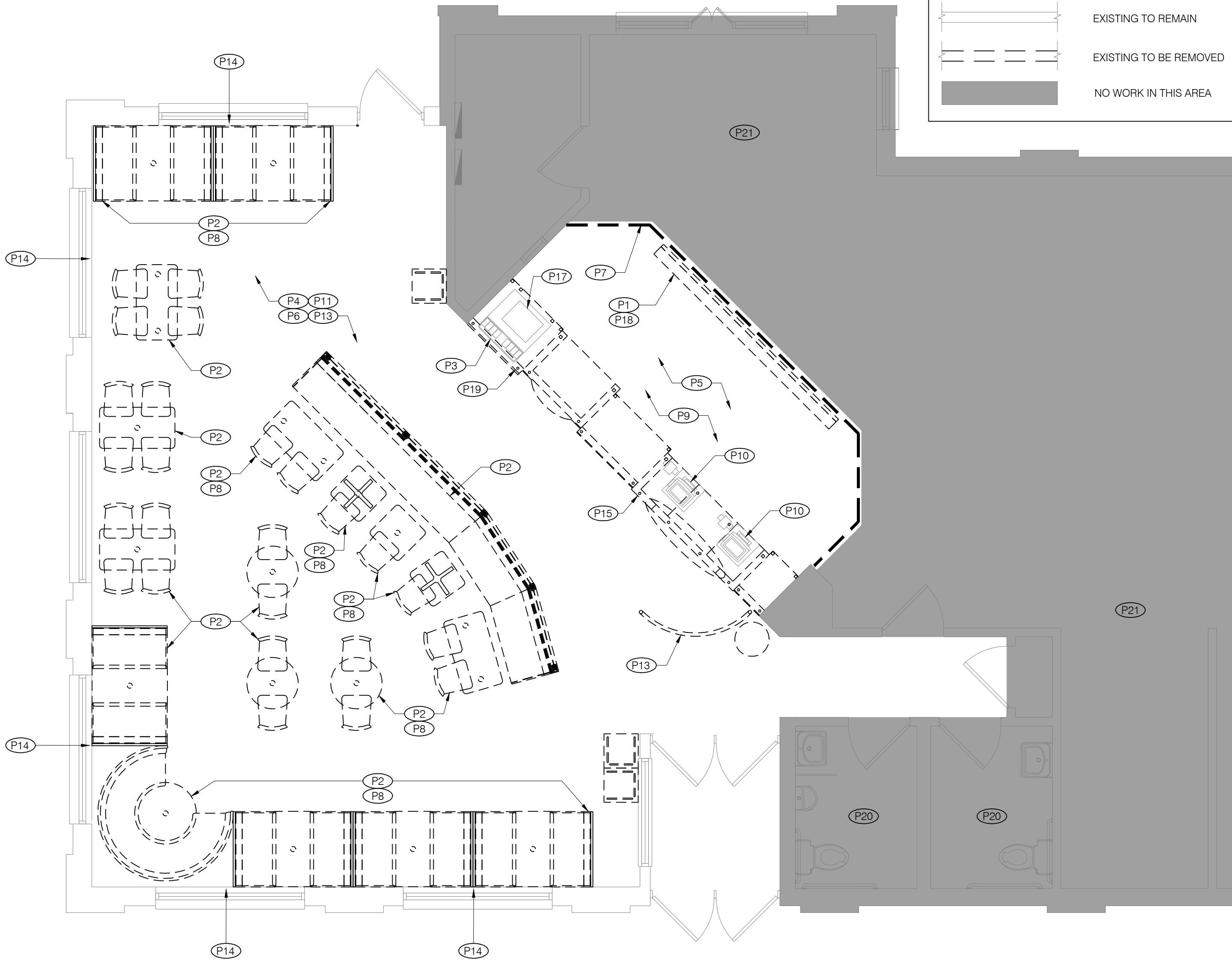
THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF 3FC. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED FOR OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF 3FC.

PLOTTED: Fids □ April 2, 2017 11:34:22 AM

THIS DOCUMENT IS THE PROPERTY OF KFC. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED FOR  
OTHER THAN THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED WITHOUT THE EXPRESS WRITTEN CONSENT OF KFC.  
POSTED FROM: April 2, 2017 11:32:24 AM



**DEMOLITION CEILING PLAN**  
Scale: 1/4" = 1'-0"



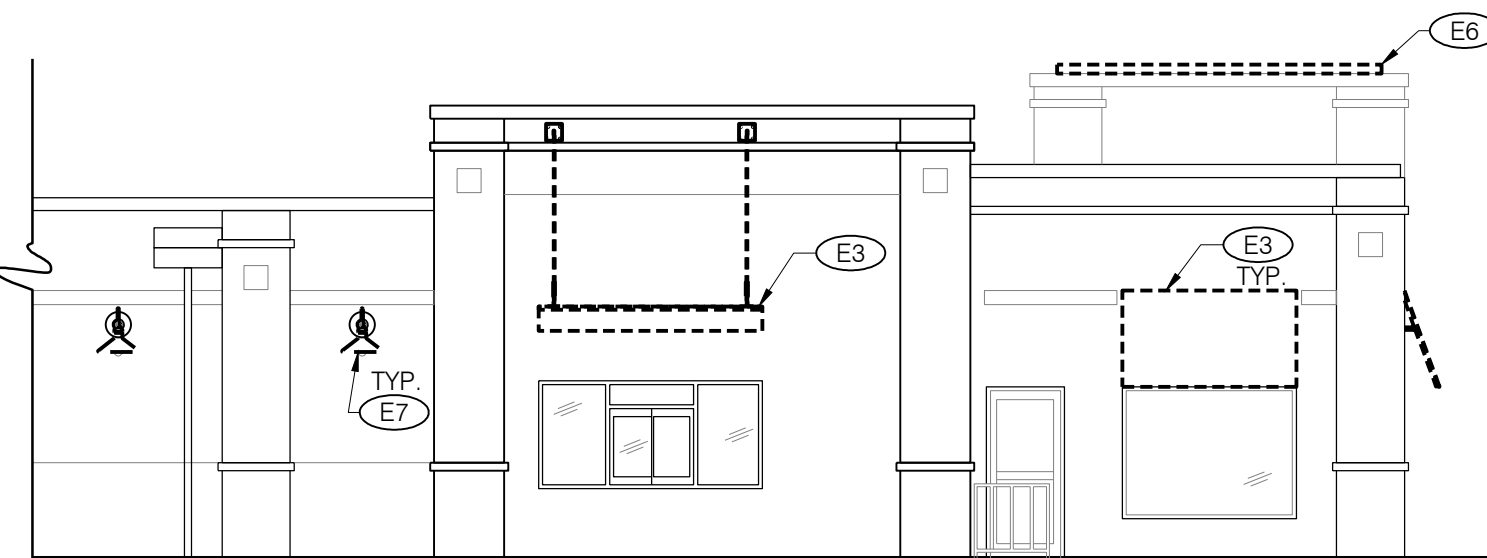
**DEMOLITION FLOOR PLAN**  
Scale: 1/4" = 1'-0"

#### CEILING PLAN KEY NOTES

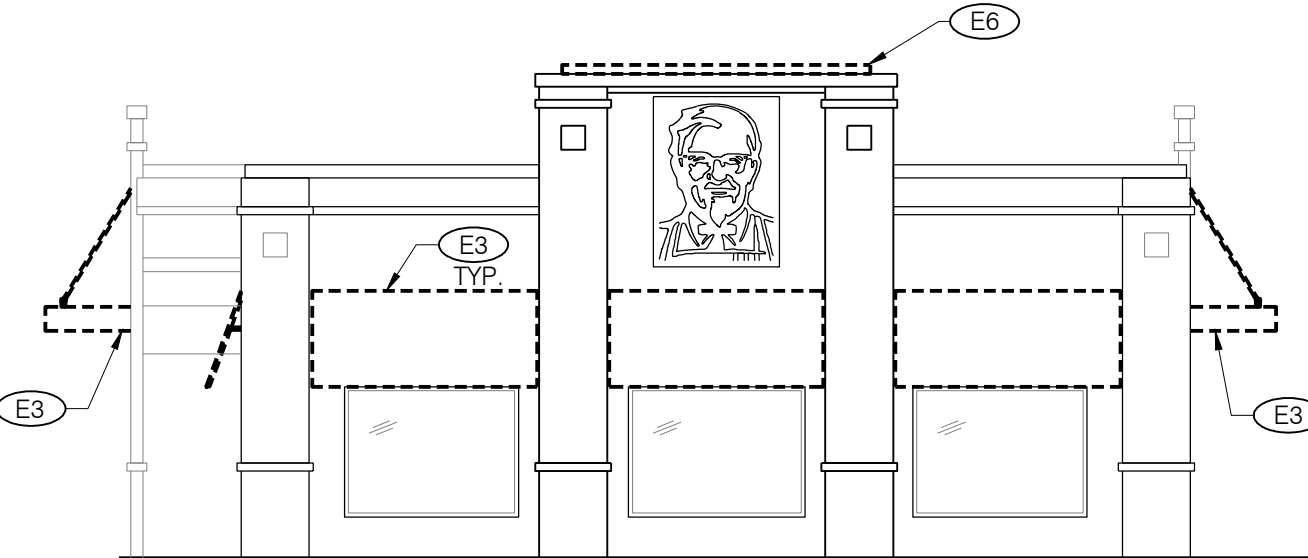
- (D1) EXISTING CEILING GRID TO REMAIN - REMOVE DAMAGED AS REQUIRED - REFER TO CEILING POLICY
- (D2) LIGHT FIXTURES TO BE RELOCATED - SEE CEILING PLAN SHEET A-1.0 FOR NEW LOCATION
- (D3) EXISTING LIGHT FIXTURES TO BE REMOVED AND CIRCUITS - RETAINED FOR RE-USE
- (D4) EXISTING TRACK LIGHTING AND TRACKS TO BE REMOVED
- (D5) EXISTING LIGHT SCONCES TO BE REMOVED (CIRCUITS TO BE RE-USED FOR NEW LIGHTING)
- (D6) EXISTING EXTERIOR AWNINGS / CANOPIES TO BE REMOVED - SEE DEMO ELEVATIONS
- (D7) EXISTING SOFFIT TO REMAIN
- (D8) EXISTING CEILING DIFFUSERS/HVAC GRILLS TO REMAIN
- (D9) EXISTING CEILING MOUNTED SPEAKERS TO REMAIN
- (D10) EXISTING WINDOW VALANCES / COVERINGS TO BE REMOVED
- (D11) EXISTING CEILING DIFFUSERS/HVAC GRILLS TO BE RELOCATED FOR NEW TRACK LIGHTS - SEE CEILING PLAN FOR DETAILS
- (D12) EXISTING WI-FI ROUTER TO REMAIN
- (D13) EXISTING CCTV'S/CAMERAS/SMOKE DETECTORS TO BE RELOCATED BY OWNER'S SUB AS NEEDED
- (D14) NO WORK IN THIS AREA
- (D15) TRACK REPLACED BY FRANCHISEE PRIOR TO CONSTRUCTION

#### ELEVATION KEY NOTES

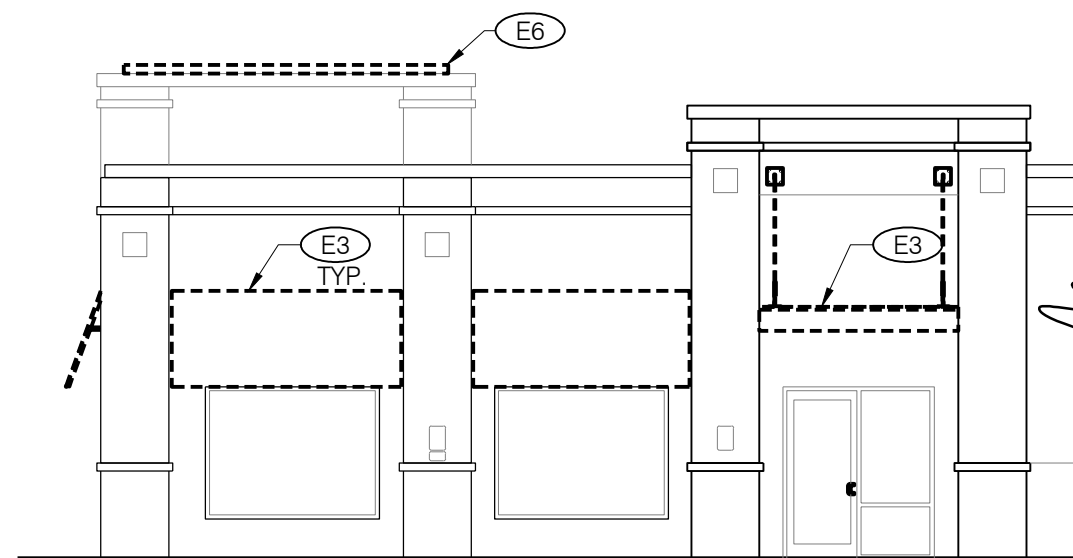
- (E1) REMOVE STRIPED PYRAMID ROOF, FRAMING, SKIRT, AND EXISTING LIGHT FIXTURE - RETAIN CIRCUIT FOR RE-USE
- (E2) REMOVE 'COLONEL' SIGN CABINET - DISCONNECT POWER & RETAIN CIRCUIT FOR RE-USE
- (E3) EXISTING EXTERIOR AWNINGS / CANOPIES TO BE REMOVED
- (E4) REMOVE EXISTING 'KFC' LETTER SET SIGN FACE AND CABINET
- (E5) REMOVE EXISTING WALL PACK LIGHTING OVER DINING ROOM DOORS
- (E6) REMOVE THE TOP OF TOWER WALL METAL COPING CAP
- (E7) REMOVE WALL SCONCE FIXTURE, CAP POWER AND PAINT COVER
- (E8) EXISTING LIGHT BOX TO REMAIN



**EXISTING DRIVE-THRU ELEVATION**  
Scale: 1/8" = 1'-0"



**EXISTING FRONT ELEVATION**  
Scale: 1/8" = 1'-0"



**EXISTING ENTRY ELEVATION**  
Scale: 1/8" = 1'-0"

#### FLOOR PLAN KEY NOTES

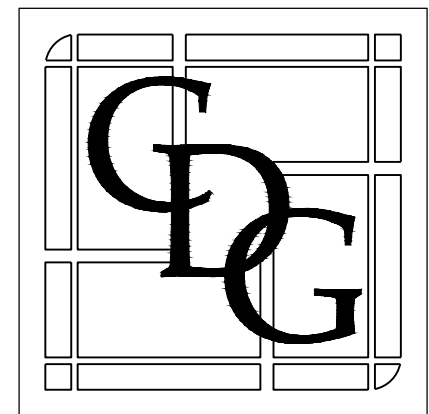
- (P1) REMOVE EXISTING MENUBOARD & SAVE FOR REUSE
- (P2) REMOVE ALL EXISTING FIXTURES, BOOTHS, TABLETOPS & CHAIRS IN DINING ROOM - EXISTING TABLE STEEL POST TO REMAIN UNLESS NOTED OTHERWISE
- (P3) EXISTING BEVERAGE DISPENSER TO BE REMOVED BY OWNERS VENDORS
- (P4) REMOVE CHAIR RAIL, EXISTING WAINSCOTING AND WALL COVERING ABOVE (TILE BASE TO REMAIN, UNLESS NOTED OTHERWISE)
- (P5) EXISTING SECURITY MONITOR SYSTEM TO REMAIN, PROTECT AS NECESSARY
- (P6) REMOVE ALL INTERIOR WALL SIGNS, DECOR ELEMENTS & ARTWORK - SAVE 'KFC FOUNDATION' ARTWORK FOR REUSE
- (P7) TEMPORARY VISQUEEN DUST PARTITION. COORDINATE EXACT LOCATION IN FIELD WITH FRANCHISEE AND PROVIDE A TIGHT SEAL
- (P8) EXISTING TABLE STEEL POST TO BE REMOVED
- (P9) EXISTING UNDER-COUNTER SAFE TO REMAIN - PROTECT FROM DUST
- (P10) EXISTING POS, CASH DRAWER, CUP DISPENSER AND ALL HARDWARE TO BE REMOVED, SAVED AND SEALED IN A DUST FREE ENVIRONMENT
- (P11) EXISTING FLOORING AND COVE BASE TO REMAIN
- (P12) REMOVE EXISTING HALF-HEIGHT WALL
- (P13) REMOVE ALL QUEUING RAILS AND POSTS - PATCH FLOOR AS NEEDED
- (P14) REMOVE EXISTING WINDOW SILLS IF NOT WHITE
- (P15) EXISTING SERVICE COUNTER TO BE REMOVED (KNEE WALL TO BE MODIFIED AS NEEDED)
- (P16) EXISTING HALF-HEIGHT WALL TO REMAIN - NEW PANEL AND CAP
- (P17) GENERAL CONTRACTOR TO PUMP DOWN, REMOVE, AND SALVAGE EXISTING ICE MACHINE FOR REUSE
- (P18) REMOVE EXISTING ELECTRICAL (LED PANELS) MENU BOARD AND SAVE FOR REINSTALL BY OWNER VENDOR
- (P19) EXISTING FOUNTAIN DRINK COUNTER TO BE REMOVED (KNEE WALL TO BE MODIFIED AS NEEDED) - UNLESS STAINLESS STEEL COUNTER
- (P20) KEEP EXISTING RESTROOM FIXTURES AND ACCESSORIES
- (P21) NO WORK IN THIS AREA

#### GENERAL NOTES

- A. THE G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE G.C. SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- B. THESE DEMOLITION PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF WORKING DRAWINGS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- C. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- D. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- E. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES AS OUTLINED IN THE DRAWINGS.
- F. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
- G. ABANDONED PIPES SHALL BE CAPPED IN A MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
- H. DEMOLITION MEANS AND METHODS ARE CONTRACTORS RESPONSIBILITY
- G. A SINGLE RESTROOM TO BE AVAILABLE AND FUNCTIONING AT ALL TIMES FOR EMPLOYEES DURING RENOVATION



**KFC**



**CORPORATE  
DESIGN  
DEVELOPMENT  
GROUP, LLC**  
2675 PRATUM AVE.  
HOFFMAN ESTATES, ILLINOIS 60192  
PH: 224.293.6960  
FAX: 224.293.6966  
WWW.CDG.LLC.COM  
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CDDG JOB# D16227



#### DRAWING SUBMITTALS

| DESIGN DEVELOPMENT REVIEW SET |     |  |  |
|-------------------------------|-----|--|--|
| 10/13/16                      | SC  |  |  |
| DATE                          | BY  |  |  |
| PERMIT SET SUBMITTAL          |     |  |  |
| 10/21/16                      | AMG |  |  |
| DATE                          | BY  |  |  |

|                       |            |    |
|-----------------------|------------|----|
| REVISION              | Date       | B  |
| Mar                   | 04/28/2017 | SC |
| DESIGN SCOPE REVISION |            |    |

PROJECT TITLE  
"K-38 Y04  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 JAN. 2016  
INCENTIVE SCOPE  
N96W17860 COUNTY LINE RD.  
GERMANTOWN, WI 53022  
COMMISSION NO. H653079  
SHEET TITLE

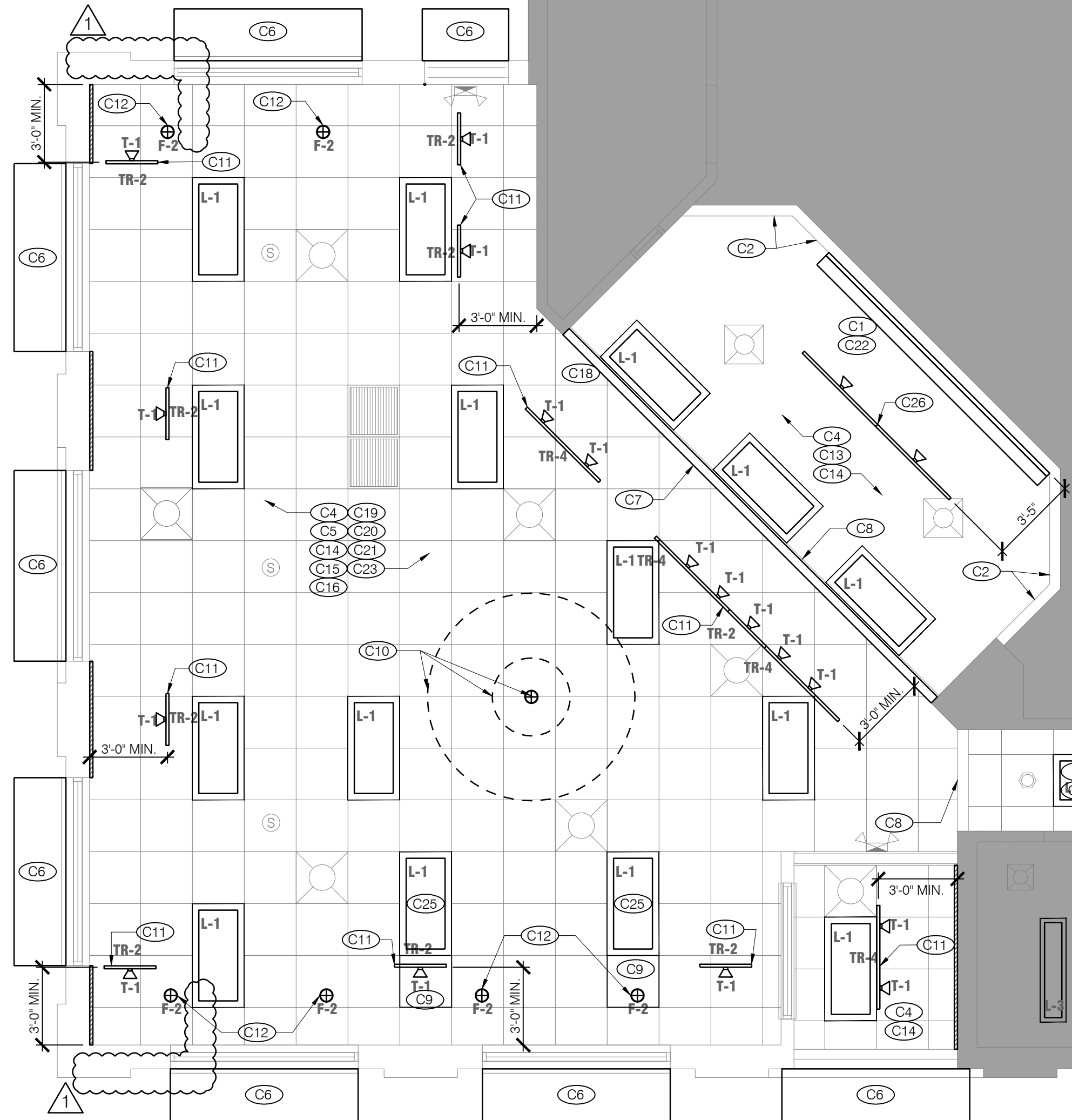
**DEMOLITION: FLOOR  
PLAN, CEILING PLAN  
& EXTERIOR  
ELEVATIONS**

SHEET NO.  
**D-1.0**

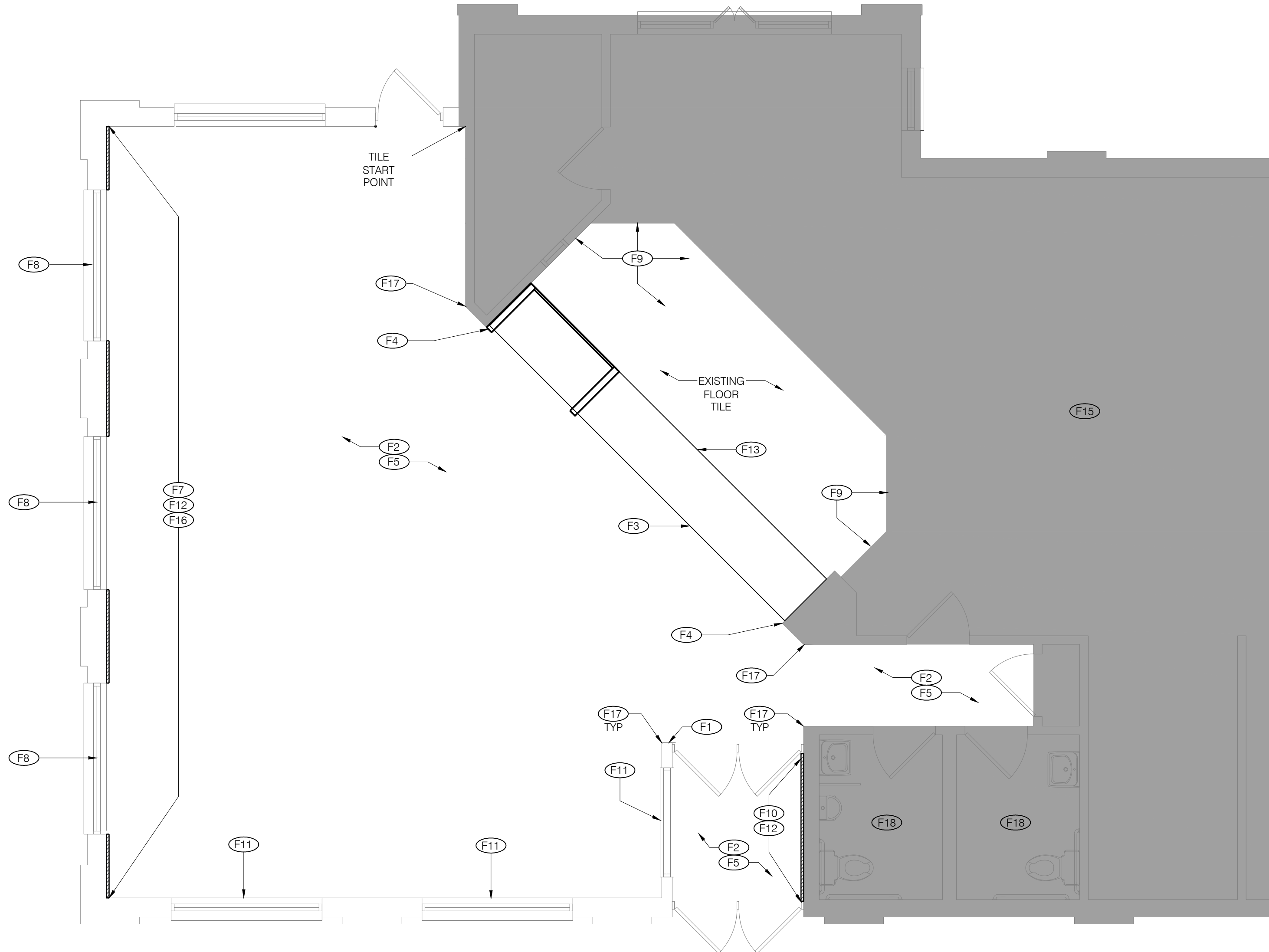
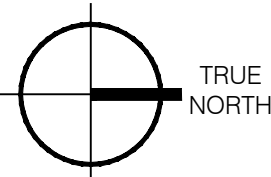
|                                                                                 |                             |                                                                                              |
|---------------------------------------------------------------------------------|-----------------------------|----------------------------------------------------------------------------------------------|
|  | <p>EXISTING TO REMAIN</p>   | <p><b>NOTE:</b><br/>REFER TO A-2.0 EXTERIOR<br/>ELEVATIONS FOR WALL<br/>SCONCE LOCATIONS</p> |
|  | <p>NO WORK IN THIS AREA</p> |                                                                                              |

**NOTE:**  
REFER TO  
ELEVATION  
SCHEDULE

**DINING AREA  
CEILING HEIGHT:**  
9'-0" A.F.F.

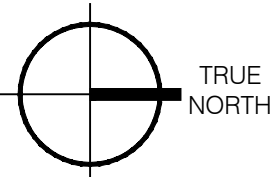


**CEILING PLAN**  
**Scale: 1/4" = 1'-0"**



## FLOOR FINISH PLAN

Scale: 1/4" = 1'-0"



|           |                                                                                                                    |            |                                                                                                                                                   |            |                                                                                          |
|-----------|--------------------------------------------------------------------------------------------------------------------|------------|---------------------------------------------------------------------------------------------------------------------------------------------------|------------|------------------------------------------------------------------------------------------|
| <b>C1</b> | REINSTALL EXISTING MENU BOARD                                                                                      | <b>C10</b> | NEW BUCKET PENDANT LIGHT AND LIGHT RING. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS                                 | <b>C19</b> | EXISTING WI-FI ROUTER IN SAME LOCATION                                                   |
| <b>C2</b> | NEW STAINLESS STEEL CANP BY UNDERSIDE OF EXISTING BULK-HEAD                                                        | <b>C11</b> | NEW TRACK LIGHTING - POSITION AT 3'-0" FROM WALL UNLESS OTHERWISE NOTED. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY ON EXISTING CIRCUITS FOR LIGHTS | <b>C20</b> | REINSTALL EXISTING BUG LIGHTS, EXIT SIGNS, EM LIGHTS AS NEEDED                           |
| <b>C3</b> | WIRING OF LIGHTS IN CANOPY BY VENDOR. E.C. SHALL MAKE FINAL CONNECTION TO EXISTING LIGHTING CIRCUIT THIS AREA      | <b>C12</b> | NEW PENDANT LIGHTING CENTERED ABOVE TABLE                                                                                                         | <b>C21</b> | EXISTING CCTV's/CAMERAS/SMOKE DETECTORS TO BE RELOCATED BY OWNER'S VENDOR AS NEEDED      |
| <b>C4</b> | REPLACE EXISTING LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES IN DINING, BEHIND SERVICE COUNTER, RESTROOMS, HALLWAYS | <b>C13</b> | PAINT CEILING (P-6)                                                                                                                               | <b>C22</b> | REINSTALL EXISTING ELECTRICAL (LED PANELS) MENU BOARD by OWNER VENDOR                    |
| <b>C5</b> | EXISTING CEILING RECEPTACLES TO REMAIN                                                                             | <b>C14</b> | EXISTING GRILLES AND DIFFUSERS                                                                                                                    | <b>C23</b> | RELOCATE EXISTING T-STAT AS NEEDED                                                       |
| <b>C6</b> | NEW EXTERIOR AWNING / LOUVER, REFER TO EXTERIOR ELEVATIONS                                                         | <b>C15</b> | EXISTING CEILING GRID/TILES. REPLACE DAMAGED CEILING TILES AS REQUIRED - MATCH EXISTING TILE                                                      | <b>C24</b> | NO WORK THIS AREA                                                                        |
| <b>C7</b> | CUSTOM MILLWORK, FAUX WOOD BEAMS                                                                                   | <b>C16</b> | PAINT EXISTING SPEAKERS (P-6)                                                                                                                     | <b>C25</b> | RELOCATED LIGHT FIXTURE LOCATION FOR NEW TRACK LIGHTS. USE CIRCUIT FROM LIGHTING REMOVED |
| <b>C8</b> | SOFFIT TO BE PAINTED (P-6)                                                                                         | <b>C17</b> | RELOCATED DIFFUSERS. ADJUST SUPPLY LINE TO FEED NEW DIFFUSER                                                                                      | <b>C26</b> | TRACKS REPLACED BY FZ PRIOR CONSTRUCTION                                                 |
| <b>C9</b> | NEW CEILING TILE AND INTERMEDIATE GRID TO MATCH EXISTING WHERE LAY-IN LIGHT WAS REMOVED                            | <b>C18</b> | INSTALL NEW PEPSI SIGN                                                                                                                            |            |                                                                                          |

EXISTING TO REMAIN

NO WORK IN THIS AREA

|      |                                                                                                                                                                                                                       |       |                                                                                                                                                              |       |                                                              |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|--------------------------------------------------------------|
| (F1) | POST MAX. OCCUPANT LOAD ON WALL ADJACENT TO MAIN ENTRY                                                                                                                                                                | (F7)  | NEW PRE-FINISHED FLOOR TO CEILING DECORATIVE WALL TRIM PANELS ON EXISTING WALL SURFACE. INSTALL PANELS 1/2" BELOW CEILING FOR VENTILATION PURPOSES           | (F15) | NO WORK THIS AREA                                            |
| (F2) | SKIM COAT EXISTING WALLS (TO LEVEL 3) WHERE WALLCOVERING HAS BEEN REMOVED. PRIME AND PAINT WALLS AND PAINT EXISTING WAINSCOT, UNLESS OTHERWISE NOTED                                                                  | (F8)  | NEW PRE-PRIMED VENDOR PROVIDE 4" WINDOW TRIM TO BE PAINTED P-6. REFER TO FINISH SCHEDULE                                                                     | (F16) | INSTALL NEW WAINSCOTING AND CHAIR RAIL                       |
| (F3) | EXISTING KNEE WALL - MODIFY / REBUILD AS NEEDED TO ACCOMMODATE COUNTERTOP AT 33" A.F.F. COVER WITH NEW DECORATIVE PANELS - SERVICE COUNTER & FOUNTAIN UNIT COUNTER                                                    | (F9)  | NEW FRP PANELS OVER EXISTING SIDE WALLS & BULKHEAD TILE                                                                                                      | (F17) | PRE-FINISHED ALUMINUM CORNER GUARDS TO MATCH NEW WALL FINISH |
| (F4) | NEW SURFACE MOUNTED STAINLESS STEEL CORNER GUARDS. PROVIDE AND INSTALL GUARD 18GA 3/4" x 3/4" WIDE TO EXPOSED SURFACES WITH SILICONE ADHESIVE                                                                         | (F10) | NEW VENDOR PROVIDED FLOOR TO CEILING "QUOTE WALL" - REFER TO INTERIOR ELEVATIONS                                                                             | (F18) | RESTROOMS - PAINT EXISTING CEILING/WALLS                     |
| (F5) | EXISTING FLOOR AND BASE TILE TO REMAIN. PATCH FLOOR WITH NEW FLOOR TILE WHERE POSTS, RAILS AND WALLS ARE REMOVED. NEW TILE TO MATCH EXISTING. PATCH AND REPAIR ANY DAMAGED TILE TO THE NEAREST FULL TILE AS NECESSARY | (F11) | NEW WHITE CORIAN WINDOW SILL / WALL CAP (SS-2)                                                                                                               |       |                                                              |
| (F6) | NEW BLOCKING IN WINDOW OPENING TO SUPPORT DECORATIVE WALL PANELS                                                                                                                                                      | (F12) | INSTALL 6" RUBBER WALL BASE OVER NEW WALL PANEL                                                                                                              |       |                                                              |
|      |                                                                                                                                                                                                                       | (F13) | INSTALL NEW SOLID SURFACE COUNTERTOPS                                                                                                                        |       |                                                              |
|      |                                                                                                                                                                                                                       | (F14) | RE-CLAD DIVIDER WALL WITH NEW LAMINATE PANELS PROVIDED BY MILLWORK VENDOR (FL-4) OVER EXISTING PANELS, and INSTALL CORIAN TOP CAP - REFER TO FINISH SCHEDULE |       |                                                              |

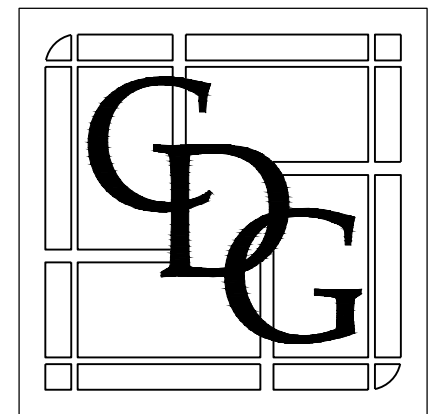
|    |                                                                                                                                                                |    |                                                                                                                                                                                                                                                                                                                 |
|----|----------------------------------------------------------------------------------------------------------------------------------------------------------------|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A. | CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER                                                                                                              | K. | PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS OF WALLS, CEILINGS, AND FLOORS. DO NOT USE CAULK OR EXPANDING FOAM FOR SEALANT                                                                                                                                                                |
| B. | EMERGENCY AND STANDARD LIGHTING MARKED WITH 'NL' SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE <u>UNSWITCHED</u> HOT TO STANDARD AND EMERGENCY BALLASTS        | L. | ALL WIRING TO BE PER NEC INSTALLATION REQUIREMENTS SIZED FOR 40% MAX FILL PER NEC                                                                                                                                                                                                                               |
| C. | EMERGENCY LIGHTING NOT MARKED WITH 'NL' SUBSCRIPT. PROVIDE <u>UNSWITCHED</u> CONSTANT HOT TO EMERGENCY BALLAST AND <u>SWITCHED</u> HOT TO STANDARD BALLAST     | M. | RELOCATED DEVICES TO BE ROUTED IN FLEXIBLE METAL CONDUIT.                                                                                                                                                                                                                                                       |
| D. | CONTRACTOR SHALL FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE                                                                                | N. | G.C./E.C. IS RESPONSIBLE FOR FIELD VERIFYING THE EXISTING ELECTRICAL CAPACITY AND CONFIRMING THAT THE NUMBER OF SPARES AT THE PANELS IS ADEQUATE FOR THE ADDITION/RELOCATION OF THE SERVICES SHOWN. G.C. TO NOTIFY KFC PM IF EITHER SERVICE OR NUMBER OF SPARES IS FOUND TO NOT MEET THE NECESSARY REQUIREMENTS |
| E. | ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE CIRCUITS IN ELECTRICAL PANELS AND REUSE EXISTING CIRCUITS AS AVAILABLE                                            | O. | E.C. SHALL PROVIDE J-BOX FOR SIGNAGE BY SIGN VENDOR. FINAL CONNECTION TO BUILDING POWER BY E.C.                                                                                                                                                                                                                 |
| F. | CONNECT LIGHTING CIRCUITS TO EXISTING LIGHTING CONTROL PANEL. COORDINATE CONTROL SEQUENCE AND TIME OF DAY SCHEDULING WITH FRANCHISEE                           | P. | E.C. SHALL PROVIDE J-BOX FOR NEW EXTERIOR LIGHT FIXTURE. FINAL CONNECTION TO BUILDING POWER BY E.C.                                                                                                                                                                                                             |
| G. | EXISTING 2X4 AND 2X2 LIGHTING TO BE RE-LAMPED (WITH LED)                                                                                                       | Q. | E.C. SHALL COORDINATE EXACT ROUTING OF ALL NEW AND RELOCATED CIRCUITS. FIELD VERIFY EXISTING CONDITIONS. ALL WORK AND WIRING PER NEC INSTALLATION REQUIREMENTS. ALL WORK TO BE CONCEALED. SURFACE MOUNT RACEWAYS ARE NOT PERMITTED                                                                              |
| H. | REFER TO A2.0 FOR ADDITIONAL EXTERIOR LIGHTS NOT SHOWN ON PLAN                                                                                                 | R. | EXTERIOR DOOR CLOSERS SHALL BE ADJUSTED TO HAVE A MAXIMUM 1 LBS OPENING FORCE                                                                                                                                                                                                                                   |
| I. | ALL NEW LIGHTING TO BE COORDINATED WITH EXISTING MECHANICAL GRILLES                                                                                            |    |                                                                                                                                                                                                                                                                                                                 |
| J. | EXISTING ELECTRICAL PANEL LOCATIONS & NEW CIRCUITS SHALL BE VERIFIED BY E.C. E.C. SHALL COORDINATE & VERIFY FINAL ELECTRICAL WITH LIGHTING / SIGNAGE SUPPLIERS |    |                                                                                                                                                                                                                                                                                                                 |

| NO    | LOCATION                                           | MRG/CATALOG NUMBER                                                              | DESCRIPTION                                                                                                             | WATTS/ VOLTS         |
|-------|----------------------------------------------------|---------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|----------------------|
| D-1   | SALES FLOOR                                        | ELITE: B6C-AT-W (HOUSING)<br>TCP: 70874 LED14DPS630HS                           | 6" IC AIR SHUT RECESSED CAN WITH MEDIUM BASE SOCKET AND HANGER BARS, WHITE 6" 3000K 95 CRI TRIM WITH QUICK CONNECT PLUG | 14 WATTS / 120 VOLTS |
| D-2   | SALES FLOOR                                        | CONTECH: LVR165-35WATT (HOUSING)<br>CONTECH: CTR301-WHT-F                       | 3" LOW VOLTAGE DOWNLIGHT WITH WHITE ADJUSTABLE BAFFLE TRIM WITH 15 DEGREE ADJUSTMENT                                    | 7 WATTS / 120 VOLTS  |
| D-3   | SALES FLOOR                                        | CONTECH: LVR165-35WATT (HOUSING)<br>CONTECH: CTR525-P                           | 3" LOW VOLTAGE DOWNLIGHT WITH WHITE FULLY ADJUSTABLE TRIM                                                               | 7 WATTS / 120 VOLTS  |
| F-2   | SALES FLOOR                                        | MINKA: 2260-84                                                                  | GLASS PENDANT WITH BRUSHED NICKEL FINISH MEDIUM BASE SOCKET                                                             | 3 WATTS / 120 VOLTS  |
| T-1   | SALES FLOOR                                        | JUNO: R6001.3HCNWH                                                              | VERTICAL INTEGRATED LED TRACK LIGHT WHITE FINISH 3000K HI-CRI 23 DEGREE NARROW BEAM                                     | 10 WATTS / 120 VOLTS |
| T-2   | MENU BOARD LIGHT                                   | CONTECH: CTL1819V3CPD                                                           | VERTICAL INTEGRATED LED WALL WASHER TRACK LIGHT 3000K HI CRI                                                            | 35 WATTS / 120 VOLTS |
| TRACK | SALES FLOOR                                        | CONTECH: LTRP LTP4 LTRP LTP2                                                    | SINGLE CIRCUIT LINE VOLTAGE TRACK WHITE FINISH                                                                          |                      |
| D1CA  | TITLE 24 SALES FLOOR<br>(DOWNLIGHT<br>REPLACEMENT) | ELITE: B6-GU24-IC-120-W (HOUSING)<br>ELITE: PLR628DMTR-120-30K-90-W-WH-GU2424SA | 6" IC AIR SHUT RECESSED CAN WITH GU24 BASE SOCKET AND HANGER BARS                                                       | 15 WATTS / 120 VOLTS |
| L-1   | SALES FLOOR RECESSED<br>TROFFER                    | MOBERN: MPPEL24LED050DMWH35                                                     | 2X4 LED EDELGIT FLAT PANEL 3500K                                                                                        | 4 WATTS / 120 VOLTS  |
| L-2   | SALES FLOOR RECESSED<br>TROFFER                    | MOBERN: MPPEL22LED035DMWH35                                                     | 2X2 LED EDELGIT FLAT PANEL 3500K                                                                                        | 35 WATTS / 120 VOLTS |
| L-3   | RESTROOM RECESSED<br>TROFFER                       | MOBERN: MPPEL14LED037DMWH35<br>MOBERN: SMKT14-MPEL                              | 1X4 LED EDELGIT FLAT PANEL 3500K WITH FLANGE KIT                                                                        | 37 WATTS / 120 VOLTS |
| E-1   | TOP OF WALL                                        | AMERLUX: WAF130/BLK (LIGHT)<br>AMERLUX: WAF1BLDG MNT/BLK-36IN (BRACKET)         | SINGLE ARRAY LED FLOOD LIGHT 3000K BLACK FINISH WITH CUSTOM 36" ARM BRACKET BLACK FINISH                                | 24 WATTS / 120 VOLTS |
| E-2   | ABOVE BANNER PANEL                                 | AMERLUX: FL14WS/30/BLK (LIGHT)<br>AMERLUX: WAF1BLDG MNT/BLK-48IN (BRACKET)      | SINGLE ARRAY LED FLOOD LIGHT 3000K BLACK FINISH WITH CUSTOM 48" ARM BRACKET BLACK FINISH HORIZONTAL WIDE SPOT BEAM      | 31 WATTS / 120 VOLTS |
| M-2   | WALL SCONCE                                        | PROGRESS: P5675-31 (LIGHT)<br>PROGRESS: R8799-31 (TOP COVER)                    | 2) LAMP EXTERIOR RATED UP/DOWN WALL SCONCE BLACK FINISH WITH TOP LENS COVER                                             | 28 WATTS / 120 VOLTS |
| M-3   | WALL SCONCE                                        | RAB: WPLED20Y                                                                   | EXTERIOR RATED LED WALL PACK 3000K BRONZE FINISH                                                                        | 20 WATTS / 120 VOLTS |

| DESCRIPTION / LOCATION |                                          | MFG / CONTACT                                                                                                                    | MODEL #/COLOR                                                                              | REMARKS                  | MARK | DESCRIPTION / LOCATION   | MFG / CONTACT                                                                                                                                               | MODEL #/COLOR                                                                                              | REMARKS                                          |
|------------------------|------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|--------------------------|------|--------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| B-2                    | SERVICE COUNTER, DIVIDER WALLS, RED WALL | JOHN/SONITE<br>SCOTT STERTMEYER<br>P. (800) 899-8515 ext. 5759<br>C. (713) 254-0971<br>scott.stertmeyer@johsonite.com            | MILLWORK WALLBASE<br>MANDALAY<br>6" TEOLESS<br>25 CHARCOAL<br>37 1/2" W x 6" H             |                          |      |                          |                                                                                                                                                             |                                                                                                            |                                                  |
|                        |                                          |                                                                                                                                  |                                                                                            |                          | 5F-4 | WANSOT                   | DAN EGGERS<br>P. (330) 343-6621<br>C. (330) 260-7833<br>dgers@marble.com                                                                                    | PRE-FINISHED 16" WEDDING VEIL<br>PLANK 30" 16/160" x 2"<br>RUN VEILING ON WALL<br>USE INTEGRAL CHAIR RAIL  | DINING ROOM                                      |
| P4                     | INTERIOR PAINT                           | BENJAMIN MOORE<br>KURT MCCELLAND<br>P. (800)635-5147<br>C. (352)640-1608<br>kurt.mccelland@benjaminmoore.com                     | KURT MCCELLAND<br>P. (800)635-5147<br>C. (352)640-1608<br>kurt.mccelland@benjaminmoore.com | PRIME ALL NEW SUBSTRATES | 5F-6 | WALL PAPER               | DAN EGGERS<br>P. (330) 343-6621<br>C. (330) 260-7833<br>dgers@marble.com                                                                                    | FRP PANELS<br>LA PALOMA SYMETRIX 10' x 4' x .007"<br>TILE RUNNING BOARD<br>PATTERN                         | MEN/BOARD<br>BULKHEAD<br>AND WALLS<br>(@ COUNTER |
| P6                     | INTERIOR PAINT                           | BENJAMIN MOORE<br>KURT MCCELLAND<br>P. (800)635-5147<br>C. (352)640-1608<br>kurt.mccelland@benjaminmoore.com                     | KURT MCCELLAND<br>P. (800)635-5147<br>C. (352)640-1608<br>kurt.mccelland@benjaminmoore.com | PRIME ALL NEW SUBSTRATES | 5F-8 | WALL PAPER               | DAN EGGERS<br>P. (330) 343-6621<br>C. (330) 260-7833<br>dgers@marble.com                                                                                    | FRP PANELS<br>WHITE MATTE SYMETRIX 10' x 4' x .007"<br>SUBWAY TILE RUNNING BOARD                           | RESTROOMS                                        |
| PL-4                   | KNEE WALL                                | LAB DESIGNS LAMINATE<br>SEAN MELWEE<br>SURFACE MATERIALS<br>P. (440) 248-0000<br>C. (414) 327-2388<br>sean@surfacedmaterials.com | WOOD LAMINATE<br>COLLECTION - BRUSHED<br>COCCA WOOD                                        |                          | SS-3 | WINDOW SILL<br>KNEE WALL | DU PONT<br>CORIAN<br>BOB ROSE<br>OHIO VALLEY SUPPLY COMPANY<br>P. (513) 681-8300<br>C. (513) 865-2928<br>bob.rose@ovsc.com                                  | TERRA COLLECTION<br>WHITE JASMIN<br>1 1/2" THICK                                                           |                                                  |
|                        |                                          |                                                                                                                                  |                                                                                            |                          | T-1  | FLOOR TILE               | CREATIVE<br>MATERIALS<br>CORPORATION<br>DERORE SCHULT<br>NATIONAL COUNCILS MANAGER<br>O (518) 713-5384<br>C (518) 423-3696<br>dschult@creativematerials.com | SERIES: LEGEND<br>COUNTRY HONEY<br>FINISH: GRIP, 6" x 36"<br>1/8" GROUT JOINTS -<br>GROUT<br>RUNNING BOARD | DINING ROOM                                      |



**KFC**



**CORPORATE  
DESIGN □  
DEVELOPMENT  
GROUP, LLC**  
2675 PRATUM AVE.  
HOFFMAN ESTATES, ILLINOIS 60192  
PH. 224.293.6960  
FA □ 224.293.6966  
WWW.CDG.ILL.COM  
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DATE: 04/28/2017      EXP: 01/31/2018

|                               |     |
|-------------------------------|-----|
| DESIGN DEVELOPMENT REVIEW SET |     |
| 10/13/16                      | SC  |
| DATE                          | BY  |
| PERMIT SET SUBMITTAL          |     |
| 10/21/16                      | AMG |
| DATE                          | BY  |

Mar ☐ Date ☐ B ☐  
 04/28/2017 SC  
 1 DESIGN SCOPE REVISION

PROJECT TITLE  
"K-38 Y04  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 JAN. 2016  
INCENTIVE SCOPE  
N96W17860 COUNTY LINE RD.  
GERMANTOWN, WI 53022  
COMMISSION NO. H653079

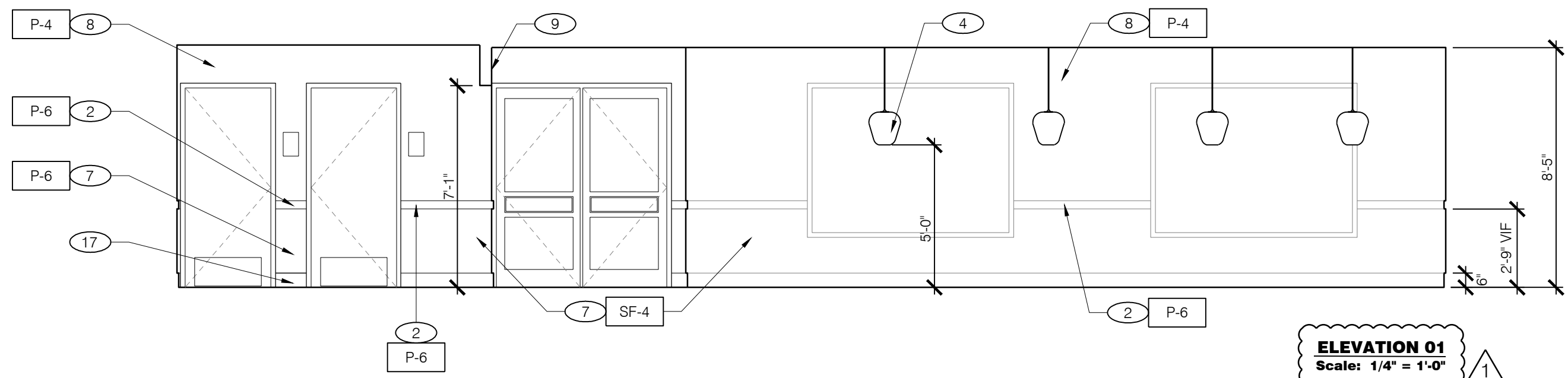
## FLOOR FINISH & CEILING PLANS

**SHEET NO.**

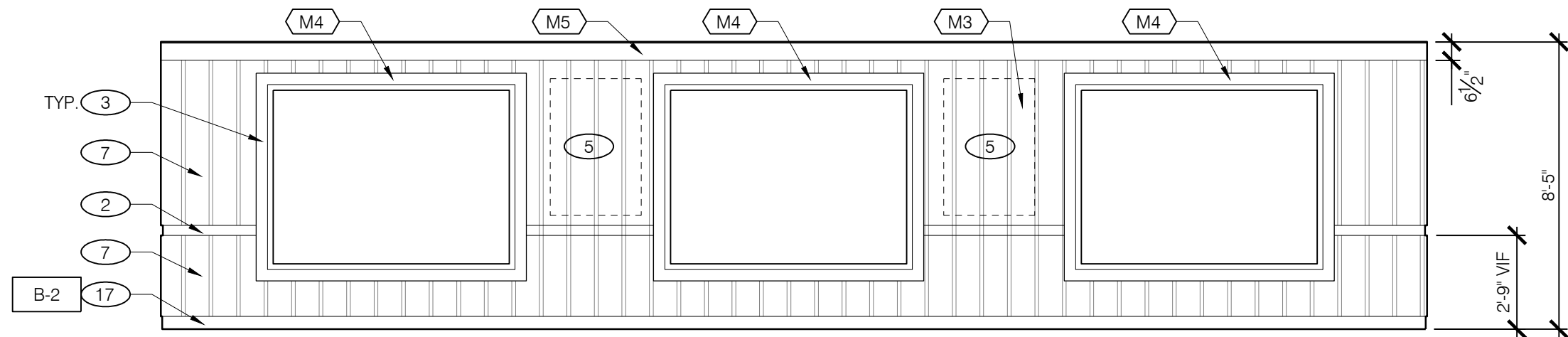
**A-1.0**

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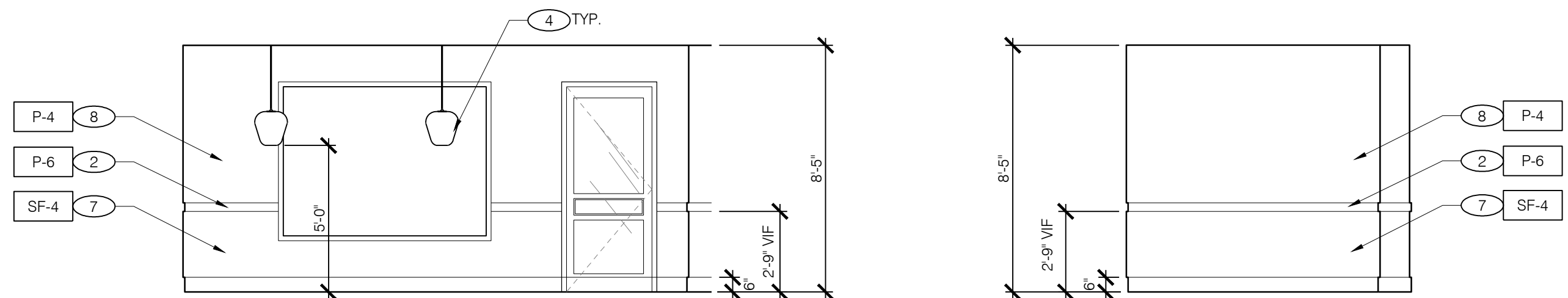
LOTTED/Fcda April 2, 2017 11:3:03 AM



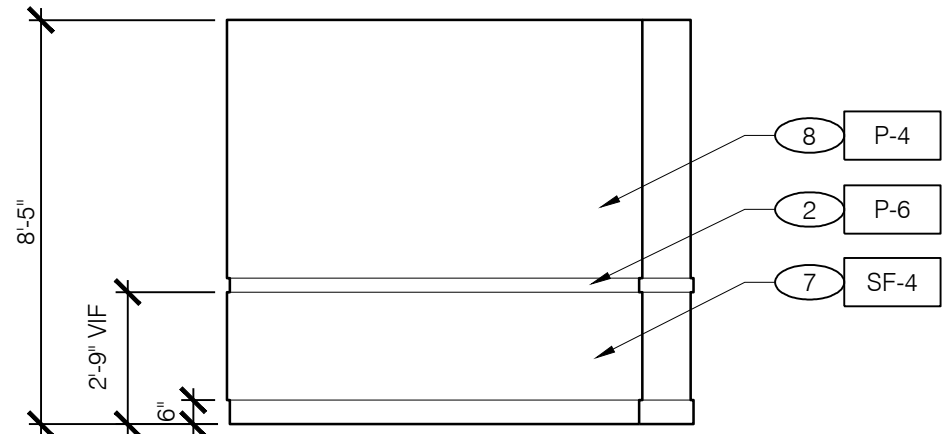
**ELEVATION 01**  
Scale: 1/4" = 1'-0"



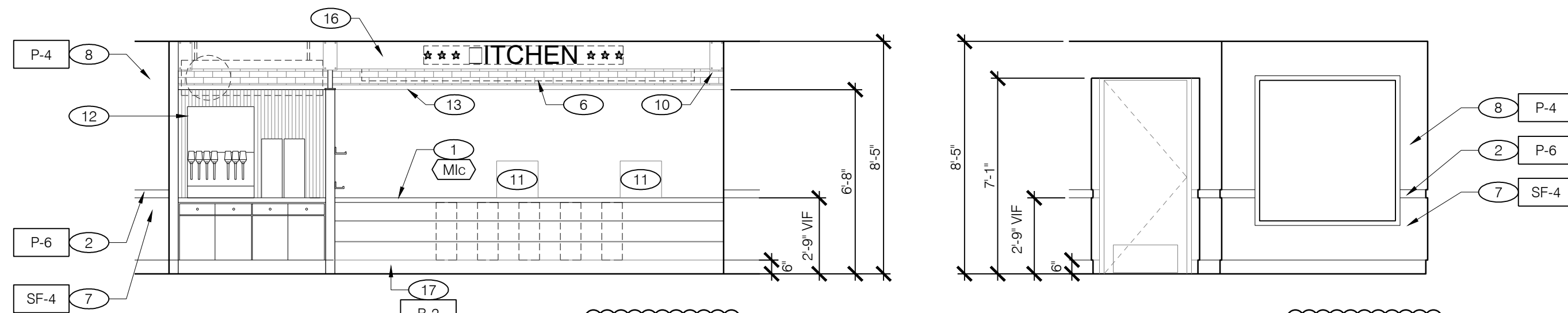
**ELEVATION 02**  
Scale: 1/4" = 1'-0"



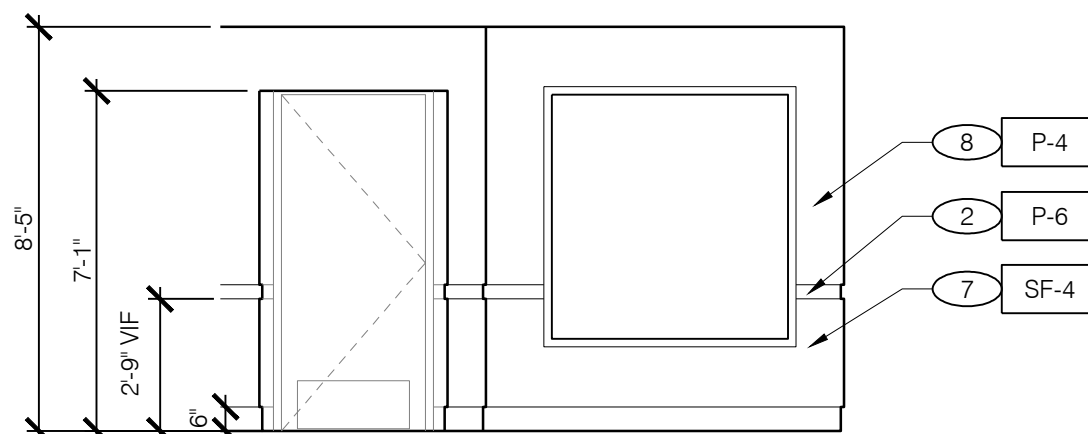
**ELEVATION 03**  
Scale: 1/4" = 1'-0"



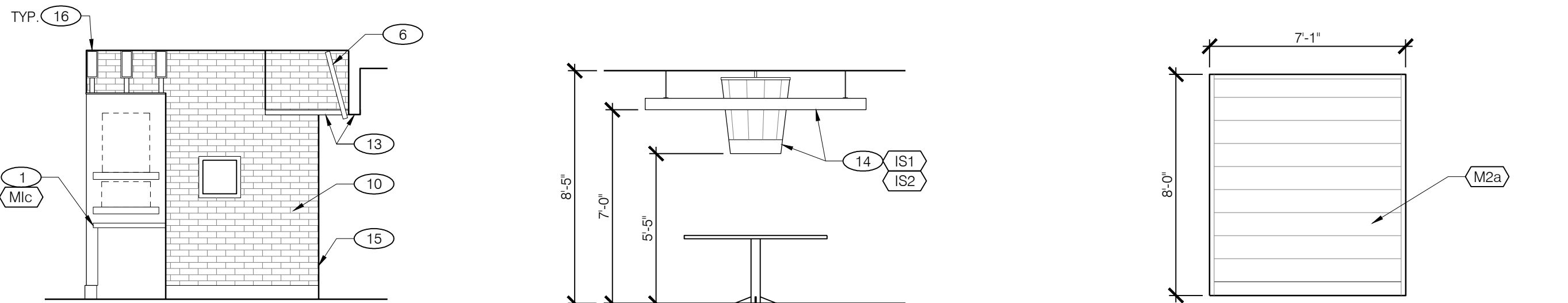
**ELEVATION 04**  
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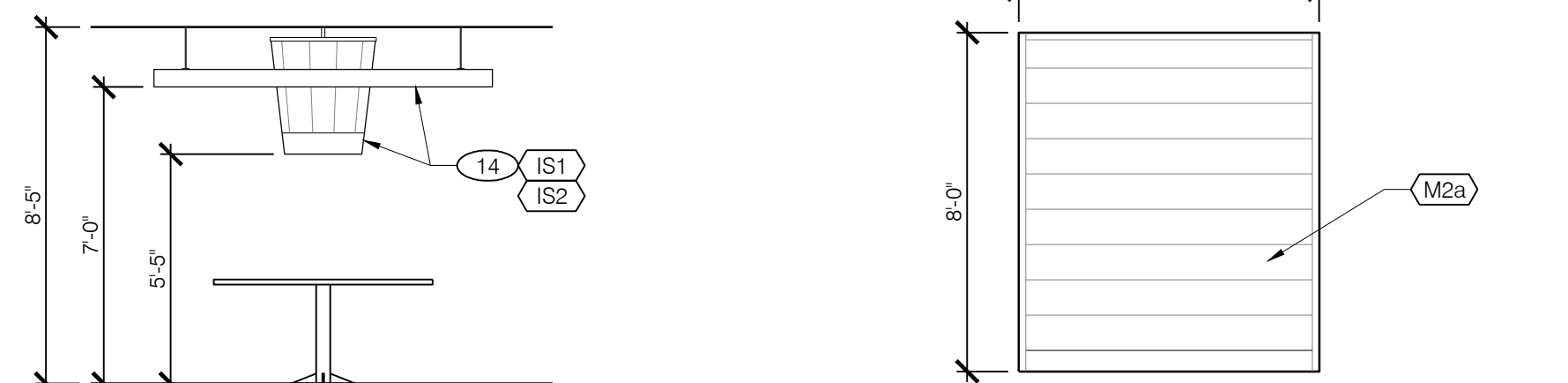
**ELEVATION 05**  
Scale: 1/4" = 1'-0"



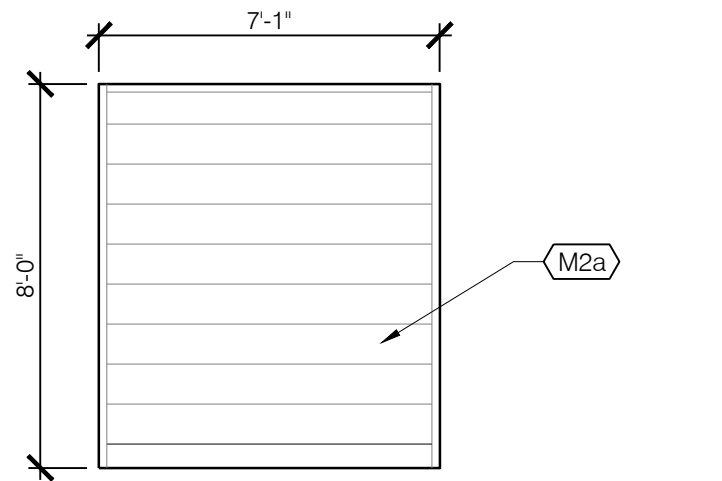
**ELEVATION 06**  
Scale: 1/4" = 1'-0"



**ELEVATION 07**  
Scale: 1/4" = 1'-0"



**ELEVATION 08**  
Scale: 1/4" = 1'-0"



**ELEVATION 09**  
Scale: 1/4" = 1'-0"

## INTERIOR ELEVATION KEY NOTES

- |                                                                                    |                                                                           |                                          |
|------------------------------------------------------------------------------------|---------------------------------------------------------------------------|------------------------------------------|
| 1 NEW SERVICE COUNTER (OVER EXISTING KNEE WALL)                                    | 7 INSTALL NEW PRE-PAINTED WAINSCOT                                        | 14 NEW SUSPENDED BUCKET GRAPHIC ELEMENT  |
| 2 NEW CHAIR RAIL-PRIME BY VENDOR, INSTALL WITH REVEAL TO CEILING                   | 8 SKIM COAT EXISTING WALLS (TO LEVEL 3). PRIME AND PAINT ABOVE CHAIR RAIL | 15 NEW SURFACE MOUNTED CORNER GUARDS     |
| 3 VENDOR PROVIDED WINDOW SILL, JAMB AND HEADER RETURNS ON RED WALL TO BE PAINT P-6 | 9 EXISTING SOFFIT (FACE AND UNDERSIDE) TO BE PAINTED P-4                  | 16 NEW ORDER COUNTER FAUX BEAMS OVERHEAD |
| 4 NEW PENDANT LIGHT FIXTURES @ 5'-0" A.F.F. - SEE CEILING PLAN                     | 10 NEW FRP PANEL OVER EXISTING TILE                                       | 17 NEW 6" WALL BASE                      |
| 5 VENDOR PROVIDED FRAMED ARTWORK, USE PROVIDED TEMPLATE TO INSTALL                 | 11 EXISTING POS EQUIPMENT                                                 |                                          |
| 6 EXISTING MENUBOARD                                                               | 12 EXISTING PEPSI DISPENSER / ICE MACHINE                                 |                                          |
|                                                                                    | 13 STAINLESS STEEL HEADER CAP ON EXISTING BULKHEAD                        |                                          |

NOTE: REFER TO FINISH SCHEDULE ON SHEET A-1.0

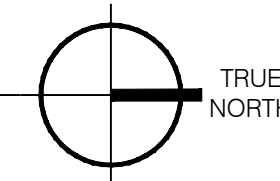
## LEGEND

- |  |                                   |
|--|-----------------------------------|
|  | EXISTING TO REMAIN                |
|  | PROVIDE NEW TOP ON EXISTING STEEL |
|  | NO WORK IN THIS AREA              |

**NOTE:**  
VERIFY ALL STEEL POST DIMENSIONS IN FIELD

## FIXTURES & GRAPHICS PLACEMENT PLAN

Scale: 1/4" = 1'-0"



## IMAGE COMPONENT SCHEDULE (CONT'D)

| GRAPHICS |                                                                   |
|----------|-------------------------------------------------------------------|
| G1       | 'KITCHEN' SIGN                                                    |
| G2       | CHALK BOARD - PRINTED                                             |
| G3       | REAL MEALS GUARANTEE                                              |
| G4       | SECRET PROCESS ART                                                |
| G5       | PEPSI FILLING STATION SIGN                                        |
| G6       | FOCAL WALL ART                                                    |
| G7a      | POSTER ARTWORK - "SOUTHERN INSPIRED"                              |
| G7b      | POSTER ARTWORK - "SANDERS FOR SENATOR"                            |
| G7c      | POSTER ARTWORK - "COLONEL 101"                                    |
| G7d      | POSTER - "No1 CHICKEN SALESMAN"                                   |
| G7e      | POSTER ARTWORK - "PRESSURE COOKER"                                |
| G7f      | POSTER ARTWORK - "BUCKET LIST"                                    |
| G7g      | POSTER ARTWORK - "SECRET RECIPE"                                  |
| G7h      | POSTER ARTWORK - "4000 STATUES"                                   |
| G8       | "THANKS" MESSAGE                                                  |
| G9a      | STORE HOURS - ENTRY DOOR                                          |
| G9b      | STORE HOURS - DT WINDOW                                           |
| G9c      | STORE HOURS - SPEAKER POST                                        |
| G10a     | RESTROOM SIGNS - LADIES                                           |
| G10b     | RESTROOM SIGNS - GENTS                                            |
| G11      | COLONEL'S OFFICE SIGN                                             |
| G12      | RESTROOM MIRROR MESSAGE                                           |
| G15a     | BOH ART - COMMUNICATION BOARD (VERTICAL & HORIZONTAL)             |
| G15b     | BOH ART - FAMILY PRIDE BOARD                                      |
| G15c     | BOH ART - COLONEL PROUD BANNER                                    |
| G15d     | BOH ART - COLONEL TIE MIRROR                                      |
| G15e     | BOH ART - GREATEST CHICKEN COLLAGE                                |
| G15f     | BOH ART - SERVICE PROMISE SIGN (STANDARD 60"x47" & SMALL 30"x24") |

## IMAGE COMPONENT SCHEDULE

| INTERIOR SPECIALTIES |                                                                 |
|----------------------|-----------------------------------------------------------------|
| TAG                  | ITEM DESCRIPTION                                                |
| IS-1                 | BUCKET                                                          |
| IS-2                 | RING CEILING ELEMENT                                            |
| DECOR                |                                                                 |
| D1                   | SANDERS BOOTH - SINGLE                                          |
| D2                   | SANDERS BOOTH - DOUBLE                                          |
| D3                   | TRASH UNIT - SINGLE                                             |
| D4                   | TRASH UNIT - DOUBLE                                             |
| D5a                  | TABLE TOP - 21" X 24"                                           |
| D5b                  | TABLE TOP - 24" X 42"                                           |
| D5c                  | TABLE TOP - 24" X 42" HC W/ SYMBOL                              |
| D5d                  | TABLE TOP - 30" X 42" HC W/ SYMBOL                              |
| D5e                  | TABLE TOP - 30" X 33-1/2"                                       |
| D5f                  | TABLE TOP - 30" ROUND                                           |
| D5g                  | TABLE TOP - 30" ROUND HC W/ SYMBOL                              |
| D5h                  | TABLE TOP - 36" ROUND                                           |
| D5i                  | TABLE TOP - 36" ROUND HC W/ SYMBOL                              |
| D6                   | FOCAL TABLE 60" ROUND WITH CUSTOM BASE                          |
| CHAIRS               |                                                                 |
| C1                   | CAFE DINING CHAIRS                                              |
| C2                   | CAFE DINING CHAIRS - KFC RED SEAT                               |
| C3                   | CAFE BAR CHAIRS - KFC RED SEAT                                  |
| MILLWORK             |                                                                 |
| M1a                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - K30                    |
| M1b                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - K50                    |
| M1c                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - K38                    |
| M1d                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - K60                    |
| M1e                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - K32                    |
| M1f                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - K90                    |
| M1g                  | ORDER COUNTER/DRINK COUNTER COMPONENTS - Y04                    |
| M2a                  | ENTRY FOCAL WALL WITH REAL MEALS QUOTE - STANDARD               |
| M2b                  | ENTRY FOCAL WALL WITH REAL MEALS QUOTE - OVER CHAIR RAIL        |
| M3                   | FOCAL WALL PANELS - BACK RED WALL INCLUDING WINDOW AND TOP TRIM |
| M4                   | WINDOW TRIM                                                     |
| M5                   | TOP TRIM                                                        |

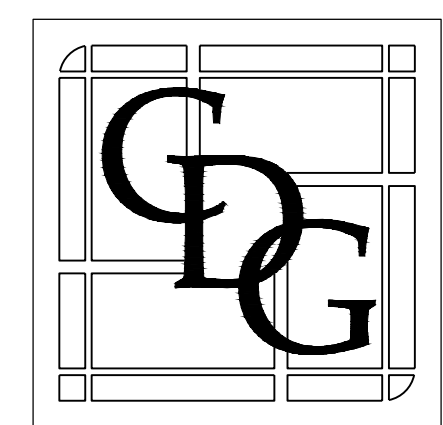
\*\* COORDINATE EXACT GRAPHIC LOCATIONS AND HANGING INSTRUCTIONS WITH VENDOR SPECS

## FIXTURES & GRAPHICS KEY NOTES:

- EXISTING P.O.S. EQUIPMENT - INCLUDES: EXISTING OR NEW UNDER COUNTER CASH DRAWER BRACKET
- RE-INSTALL EXISTING ICE MACHINE & BEVERAGE DISPENSER - SEE SHEET D1.0
- EXISTING SAFE
- REPLACE EXTERIOR/INTERIOR BRANDED, PLASTIC DOOR PANEL WITH PRE-FINISHED PANEL TO MATCH DOOR FRAME
- EXISTING SECURITY MONITOR, RELOCATE AS NECESSARY FOR NEW SERVICE COUNTER LAYOUT
- CUSTOM MILLWORK PROVIDED BY VENDOR
- REINSTALL EXISTING "KFC FOUNDATION" ARTWORK
- PAINT EXISTING TABLETOP POSTS - MATTE BLACK



**KFC**



**CORPORATE  
DESIGN  
DEVELOPMENT  
GROUP, LLC**  
2675 PRATUM AVE.  
HOFFMAN ESTATES, ILLINOIS 60192  
PH: 224.293.6960  
FAX: 224.293.6966  
WWW.CDG.LLC.COM  
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DATE: 04/28/2017 EXP: 01/31/2018

## DRAWING SUBMITTALS

DESIGN DEVELOPMENT REVIEW SET  
10/13/16 SC  
DATE BY  
PERMIT SET SUBMITTAL  
10/21/16 AMG  
DATE BY

## REVISION

Mar 04/28/2017 SC  
BY  
DESIGN SCOPE REVISION

## PROJECT TITLE

"K-38 Y04  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 JAN. 2016  
INCENTIVE SCOPE  
N96W17860 COUNTY LINE RD.  
GERMANTOWN, WI 53022  
COMMISSION NO. H653079  
SHEET TITLE

## FIXTURE / GRAPHIC PLACEMENT PLAN & INTERIOR ELEVATIONS

SHEET NO.

**A-1.1**

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POSTED FROM: April 2, 2017 11:29 AM

## GENERAL NOTES

G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDOR'S RECOMMENDATION

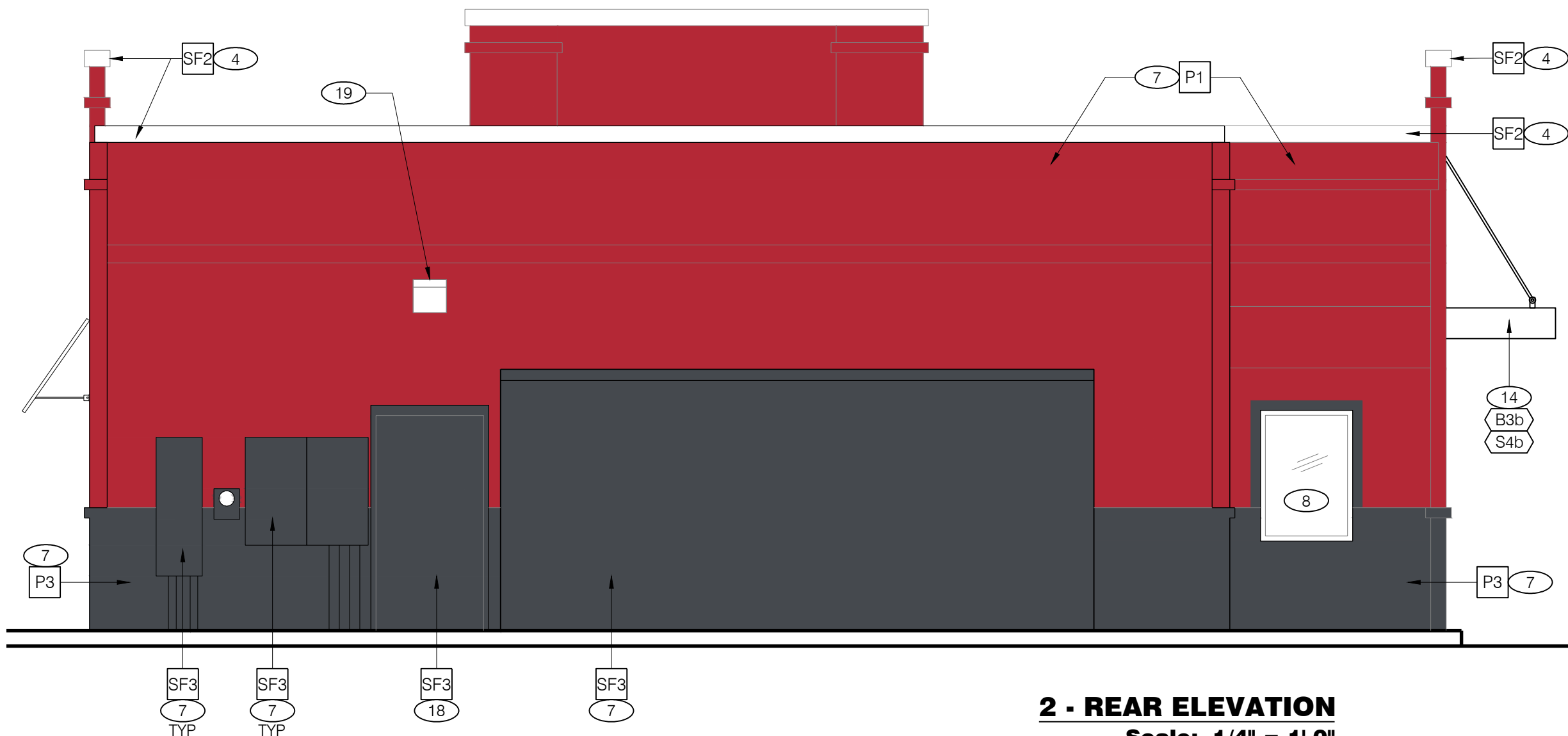
KFC SIGNAGE AND STENCIL BY OTHERS - UNDER SEPARATE PERMIT



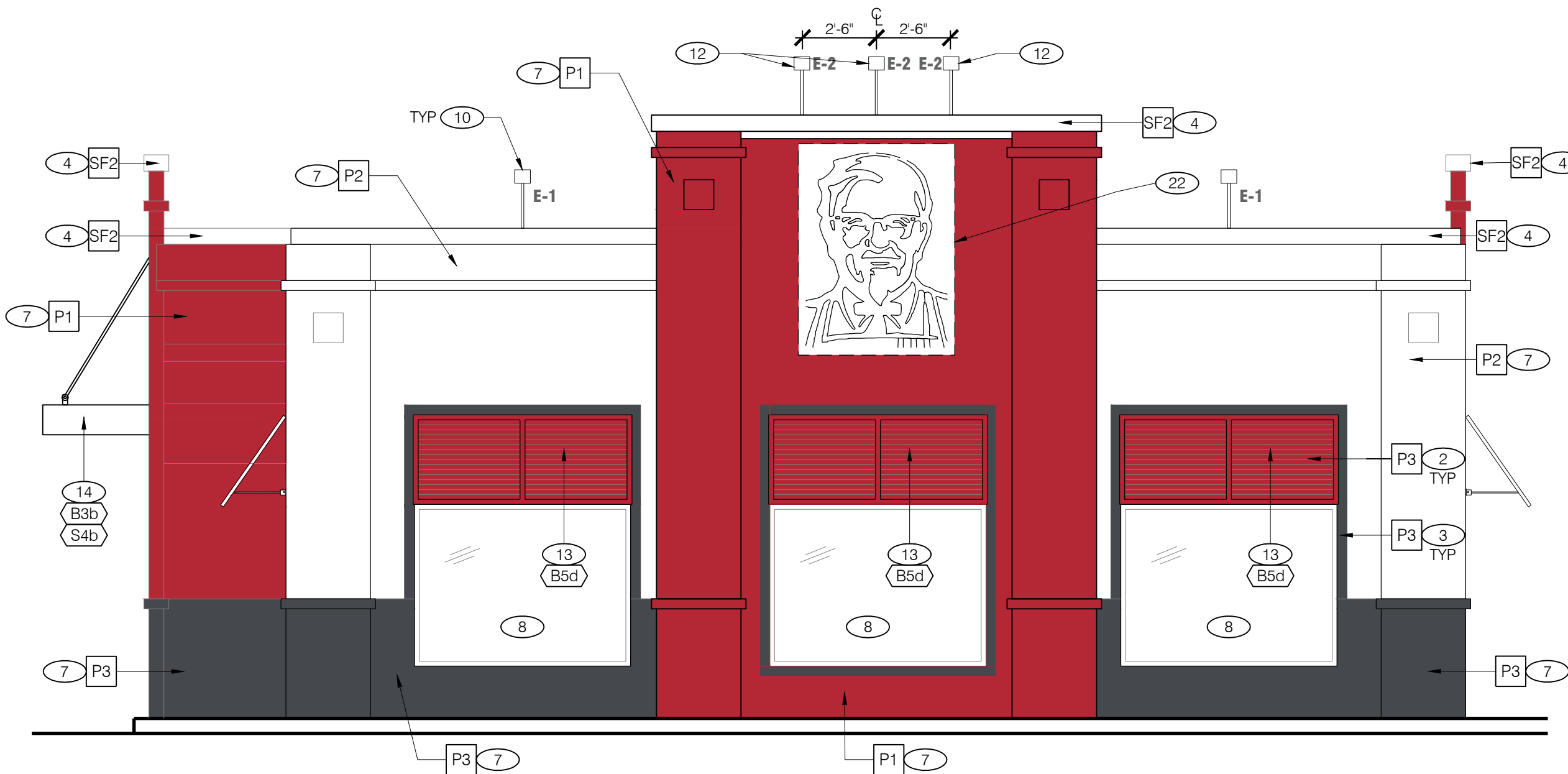
4 - DRIVE-THRU ELEVATION  
Scale: 1/4" = 1'-0"



3 - ENTRY ELEVATION  
Scale: 1/4" = 1'-0"



2 - REAR ELEVATION  
Scale: 1/4" = 1'-0"



1 - FRONT ELEVATION  
Scale: 1/4" = 1'-0"

## FINISH SCHEDULE

| MARK | LOCATION       | MFG / CONTACT                                                                                                  | MODEL #/COLOR                                                                       | REMARKS                      |
|------|----------------|----------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|------------------------------|
| P1   | EXTERIOR PAINT | BENJAMIN MOORE<br>KURT MCCLELLAND<br>P: (800)635-5147<br>C: (502)640-1608<br>kurt.mcclelland@benjaminmoore.com | AURA EXTERIOR PAINT<br>EXOTIC RED 2085-10<br>LOW LUSTER (634)                       | SELF-PRIMING                 |
| P2   | EXTERIOR PAINT | BENJAMIN MOORE<br>KURT MCCLELLAND<br>P: (800)635-5147<br>C: (502)640-1608<br>kurt.mcclelland@benjaminmoore.com | REGAL SELECT<br>EXTERIOR PAINT<br>WEDDING VEL 2125-70<br>LOW LUSTER (N401)          | SELF-PRIMING                 |
| P3   | EXTERIOR PAINT | BENJAMIN MOORE<br>KURT MCCLELLAND<br>P: (800)635-5147<br>C: (502)640-1608<br>kurt.mcclelland@benjaminmoore.com | AURA EXTERIOR PAINT<br>BLACK HORIZON<br>2125-30<br>LOW LUSTER (634)                 | SELF-PRIMING                 |
| SF2  | EXTERIOR METAL | BENJAMIN MOORE<br>KURT MCCLELLAND<br>P: (800)635-5147<br>C: (502)640-1608<br>kurt.mcclelland@benjaminmoore.com | COROTECH<br>POLYESTER URETHANE<br>2125-70 WEDDING VEL<br>(V520)<br>GLOSS CATALYST   | COROTECH<br>PRIMER<br>(V132) |
| SF3  | EXTERIOR METAL | BENJAMIN MOORE<br>KURT MCCLELLAND<br>P: (800)635-5147<br>C: (502)640-1608<br>kurt.mcclelland@benjaminmoore.com | COROTECH<br>POLYESTER URETHANE<br>2123-30 BLACK<br>HORIZON (V520)<br>GLOSS CATALYST | COROTECH<br>PRIMER<br>(V132) |
| SF4  | EXTERIOR METAL | BENJAMIN MOORE<br>KURT MCCLELLAND<br>P: (800)635-5147<br>C: (502)640-1608<br>kurt.mcclelland@benjaminmoore.com | COROTECH<br>POLYESTER URETHANE<br>2085-10 EXOTIC RED<br>(V520)<br>GLOSS CATALYST    | COROTECH<br>PRIMER<br>(V132) |

## FINISH NOTES

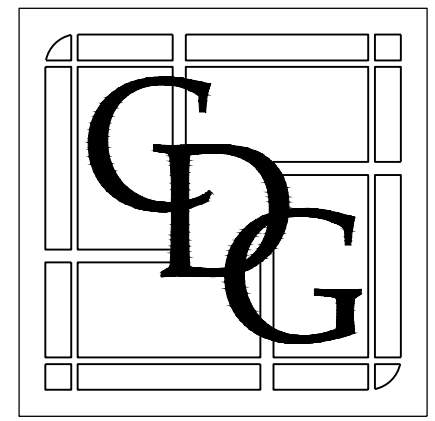
- NEW M2 EXTERIOR LIGHT SCONCES (INSTALLED ABOVE EXISTING CEILING @ EXISTING LOCATIONS)
- PAINT WALL SURFACE BEHIND NEW AWNINGS
- PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- EXISTING PARAPET COPING TO BE REPAIRED, SEALED AND PAINTED
- EXISTING RAILING TO BE PAINTED SF-3
- STENCIL-PAINTED GRAPHIC ELEMENT
- NEW EXTERIOR PAINT TREATMENT
- EXISTING WINDOWS
- EXISTING BOLLARD TO BE PAINTED SF-2
- NEW EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- REINSTALL ADDRESS NUMBERS AFTER PAINTING
- NEW SIGNAGE ACCENT LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE
- NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERSERS)
- NEW DRIVE-THRU CANOPY
- NEW STAND-OFF METAL PANEL SYSTEM W/ VINYL GRAPHICS
- NEW KFC INDIVIDUAL LETTER FACES AND CABINET GANGS
- NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER TOP OF PANELING TO ALIGN WITH BOTTOM OF EXISTING TOWER COPING
- PAINT EXISTING EXTERIOR DOOR AND FRAME
- NEW EXTERIOR WALL LIGHT, M-3
- EXISTING STOREFRONT
- PAINTED STRIPES TO BE EVENLY SPACED BETWEEN 2'-10"-3'-4"
- EXISTING SIGN CABINET TO REMAIN

## IMAGE COMPONENTS SCHEDULE

| SIGNAGE                    |                                                                |                                |      |
|----------------------------|----------------------------------------------------------------|--------------------------------|------|
| TAG                        | ITEM DESCRIPTION                                               |                                | ELEC |
| S1a                        | VINYL LOGO/GRAPHICS FOR TOWER PANEL - FULL HT.                 |                                |      |
| S1b                        | VINYL LOGO/GRAPHICS FOR TOWER PANEL - HALF HT.                 |                                |      |
| S3a                        | KFC CHANNEL LETTERS - 30" RED                                  |                                | X    |
| S3b                        | KFC CHANNEL LETTERS - 24" RED                                  |                                | X    |
| S3c                        | KFC CHANNEL LETTERS - 30" WHITE                                |                                | X    |
| S3d                        | KFC CHANNEL LETTERS - 24" WHITE                                |                                | X    |
| S4a                        | 'REAL MEALS TO GO' DIMENSIONAL LETTERS FOR 15' DT CANOPY       |                                |      |
| S4b                        | 'REAL MEALS TO GO' VINYL LETTERS FOR 8' DT CANOPY              |                                |      |
| S5b                        | 'WORLD FAMOUS CHICKEN' 16" LETTERS - PAINT                     |                                |      |
| S5c                        | 'WORLD FAMOUS CHICKEN' 12" LETTERS - PAINT                     |                                |      |
| S5d                        | 'WORLD FAMOUS CHICKEN' STACKED LETTERS-PAINT                   |                                |      |
| S6                         | 'REAL MEALS' BUCKET SIGN                                       |                                |      |
| S7                         | 'REAL MEALS TO GO' BUCKET SIGN                                 |                                |      |
| S8a                        | 'HARD WAY' PAINT TEMPLATE - 57" ROUND                          |                                |      |
| S8c                        | 'HARD WAY' PAINT TEMPLATE - 14'-4" HORIZONTAL                  |                                |      |
| S8d                        | 'HARD WAY' PAINT TEMPLATE - 10'-4" HORIZONTAL                  |                                |      |
| G9a                        | STORE HOURS - ENTRY                                            |                                |      |
| G9b                        | STORE HOURS - DT WINDOW                                        |                                |      |
| BUILDING EXTERIOR ELEMENTS |                                                                |                                |      |
| B1a                        | TOWER PANEL WITH LOGO AND GRAPHICS - FULL HEIGHT WITH EXTENDER |                                |      |
| B1b                        | TOWER PANEL WITH LOGO AND GRAPHICS - HALF HT.                  |                                |      |
| B3b                        | DT WINDOW CANOPY - 8' WIDE                                     |                                | X    |
| AWNINGS                    |                                                                |                                |      |
| TAG                        | QTY.                                                           | ITEM DESCRIPTION               | ELEC |
| B5a                        |                                                                | SHUTTERED AWNINGS - 6'-0" WIDE |      |
| B5b                        | 1                                                              | SHUTTERED AWNINGS - 6'-4" WIDE |      |
| B5c                        |                                                                | SHUTTERED AWNINGS - 7'-0" WIDE |      |
| B5d                        | 5                                                              | SHUTTERED AWNINGS - 7'-4" WIDE |      |
| B5e                        | 1                                                              | SHUTTERED AWNINGS - 3'-4" WIDE |      |
| B5f                        |                                                                | SHUTTERED AWNINGS - 5'-0" WIDE |      |
| B5g                        |                                                                | SHUTTERED AWNINGS - 9'-0" WIDE |      |
| B5h                        |                                                                | SHUTTERED AWNINGS - 4'-4" WIDE |      |
| B5i                        |                                                                | SHUTTERED AWNINGS - 4'-0" WIDE |      |
| B5j                        |                                                                | SHUTTERED AWNINGS - 8'-0" WIDE |      |
| B5k                        |                                                                | SHUTTERED AWNINGS - 8'-4" WIDE |      |



**KFC**



**CORPORATE DESIGN DEVELOPMENT GROUP, LLC**  
2675 PRATUM AVE.  
HOFFMAN ESTATES, ILLINOIS 60192  
PH: 224.293.6960  
FAX: 224.293.6966  
WWW.CDG.LLC.COM  
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DATE: 04/28/2017 EXP: 01/31/2018

## DRAWING SUBMITTALS

DESIGN DEVELOPMENT REVIEW SET

|          |     |  |
|----------|-----|--|
| 10/13/16 | SC  |  |
| DATE     | BY  |  |
| 10/21/16 | AMG |  |
| DATE     | BY  |  |

## REVISION

|            |      |   |
|------------|------|---|
| Mar        | Date | B |
| 04/28/2017 | SC   |   |

DESIGN SCOPE REVISION

PROJECT TITLE  
"K-38 Y04  
TO AMERICAN SHOWMAN"  
TEMPLATE VERSION  
RELEASE 2.0 JAN. 2016  
INCENTIVE SCOPE  
N96W17860 COUNTY LINE RD.  
GERMANTOWN, WI 53022  
COMMISSION NO. H653079  
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NO.

A-2.0

# REZONING & RESIDENTIAL SUBDIVISION CONSULTATION

## 9/11/17 Plan Commission Meeting

**Baudhuin Surveying & Engineering / Top Leaf Development LLC**  
**Village Planner Report** **Germantown, Wisconsin**

### Summary

Pete Hurth, Baudhuin Surveying & Engineering, agent for Top Leaf Development LLC and Alan & Lynda Luther, property owners, is requesting feedback on a 107-acre residential development proposal with 43 single-family lots south of Freistadt Road, north of Elm Lane and west of Wasaukee Road.

**Property Location:** Freistadt Road, Elm Lane and Wasaukee Road

### Applicant/

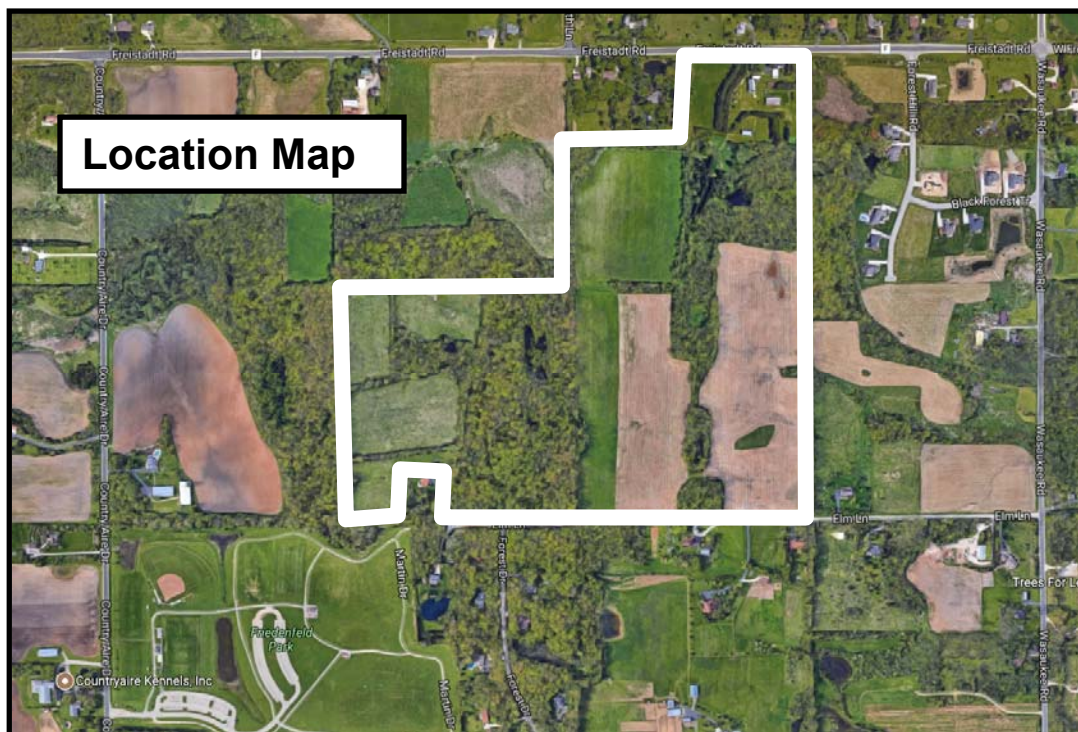
**Property Owner:** Pete Hurth  
Baudhuin Survey & Eng  
312 N 5<sup>th</sup> Ave  
Sturgeon Bay, WI

Shari Waggoner  
Alan & Lynda Luther  
Top Leaf Development LLC  
Colgate, WI

**Current Zoning:** A-1: Agricultural

| Adjacent Land Uses |                                     | Zoning       |
|--------------------|-------------------------------------|--------------|
| North              | Residential                         | Rs-1         |
| South              | Residential/Industrial              | Rs-2/M-1     |
| East               | Residential/Agricultural            | A-1/Rs-2     |
| West               | Residential/Agricultural/Industrial | Rs-5/A-1/M-2 |

### Location Map



### Background/Proposal

Pete Hurth, Baudhuin Surveying & Engineering, agent for Top Leaf Development LLC and Alan & Lynda Luther, property owners, is requesting feedback on a 107-acre residential development proposal with 43 single-family lots south of Freistadt Road, north of Elm Lane and west of Wasaukee Road.

As summarized in Table 1 below and detailed in the Applicant's summary description and concept plans (attached), two conceptual development "options" are presented, each with a total of 143 single-family lots.

| <b>Table 1.</b>                     |                 |                 |
|-------------------------------------|-----------------|-----------------|
| <b>Luther Property Concept Plan</b> |                 |                 |
|                                     |                 |                 |
| <b>Proposed Land Use</b>            | <b>Option 1</b> | <b>Option 2</b> |
|                                     | 107.2 acres     | 107.2 acres     |
| Single-Family                       | 84.79 (79.1%)   | 84.97 (79.2%)   |
|                                     | 43 lots         | 43 lots         |
| DU Density (gross)                  | 2.5 DU's/Acre   | 2.5 DU's/Acre   |
| Open Space (Outlots)                | 13.13 (12.3%)   | 13.15 (12.3%)   |
| Street Right-of-Way                 | 9.26 (8.6%)     | 9.1 (8.5%)      |

Both options have access to Freistadt Road to the north and future road connections to vacant land to the west and to the east (as required under the Village's Subdivision Code). The only difference between the two options is how access is provided to Elm Lane to the south.

The Luther property lies adjacent to Elm Lane along the south property line. However, because there is not a complete 60' width of right-of-way for Elm Lane nor a continuous paved roadway therein (two separate disconnected sections of paved road lie in the Elm Lane ROW), access is proposed to Elm Lane in two different locations. Option 1 shows access to the "east" section of Elm Lane that connects to Wasaukee Road; Option 2 shows access to the "west" section of Elm Lane that connects to Forest Drive (and eventually south to Mequon Road). The different access options result in the slight differences in the lot, right-of-way and open space outlot area shown in Table 1.

As described in the Applicant's project summary, the southwest portion of the property contains a significant amount of wetland area with some tillable/developable land area that lies north of and adjacent to the Village's Freidenfeld Park at the west end of Elm Lane. This area is proposed for six (6) estate-sized lots ranging from 5 to 8 acres. The balance of the property is proposed for lots ranging in size from 1 to 1.7 acres.

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**Staff Comments**

The entire property lies north of and adjacent (but outside) of the Village's Sanitary Sewer Area (SSA) and in an area designated on the 2020 Land Use Plan as "Rural Residential". For those currently undeveloped areas designated as "Rural Residential", the Village intended such areas to develop at a density of one (1) dwelling unit per acre with a minimum 1-acre lot size. The land is currently zoned A-1: Agricultural and is proposed to be rezoned into the Rs-3: Single-family District (and possibly into the Rs-1: Single-family for the large-lot area in the southwest).

A significant amount of wetlands lie across the property that have not yet been delineated. Once delineated, lot and road layout may change slightly. Also, while the calculation of density based on the required "net area" calculation is not complete, it is not expected that the amount of wetlands and right-of-way to be deducted from the gross area will affect the number of proposed lots under the Rs-3 District (which allows a density not to exceed 1 DU per net acre).

The creation of a Planned Development District (PDD) overlay with the underlying Rs-3 and/or Rs-1 Districts would allow the developer to take advantage of the "flexibility" available in order to provide a more creative layout with additional "conservation design" features, e.g. larger contiguous tracts of open space, smaller and clustered lots. However, as noted in the project summary and concept plans, the proposed density of the single-family area (2.5 DU/acre) will be significantly less than the 1.0 DU/acre density allowed in the underlying Rs-3 District.

The current road and lot layout is something the PC may want to take a closer look at in terms of preserving/protecting the environmental features on the property. For example, the main road proposed from Freistadt Road is located in such a manner that the lots, and in turn the development on those lots (across proposed Lots #24 to #26), will likely result in the removal of a significant stand of evergreen trees. Similarly, the existing tree line running north-south through the middle of the southern 40 acres (across proposed Lots #7, #12, #19 & #43) will likely be significantly reduced by the development of those lots. As stated above, once the wetlands have been delineated there may be the need to make other adjustments to the road and lot layout.

The proposed large-lot area in the southwest is the result of that area being traversed by a significant area of wood wetland that runs north-south through this 32-acre area. This wooded wetland effectively isolates the "buildable" area west of the wooded wetland from the other developed areas. The proposal to divide this area into six (6) large parcels 5 to 8 acres in size served by shared driveways strategically located across/within the wetlands does not appear to be the most suitable layout for development... if this area is, in fact, allowed to develop at all (vs. being protected in an outlot).

Assuming that the currently vacant land to the west and north will eventually develop in a similar manner, one alternative would be to not allow this area to develop unless/until

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access is provided from the west as part of future development so that the large wooded wetland area can be preserved/protected as one area and not dissected into or part of six separate residential parcels.

The most significant issue that needs to be discussed is access to the south. As discussed above, the two options differ only in the way in which access to Elm Lane is proposed. Arguably, and in this case, the Village's Subdivision & Platting Code (Section 18) could be used to require the dedication and improvement of Elm Lane across the entire length of the Luther property (as was required of the Forest Heights North Subdivision that lies to the south). The Applicant points out that the existing segments of right-of-way and paved road for Elm Lane are sub-standard with a 700' section of intervening and unimproved right-of-way located in an area with steep terrain and heavily wooded. The Village will need to decide whether it is warranted to require Elm Lane to be improved, in whole or in part, as well as, which access option is acceptable (Option 1, Option 2 or a completely different alternative).

Another issue worthy of discussing concerns access to Freidenfeld Park. Currently, there is a pedestrian access/trail at the west end of Elm Lane that allows residents access to the northeast corner and trail system within the park. Regardless of which vehicle access/road "option" to Elm Lane is approved, there may be other alternatives to provide pedestrian access to the park for the benefit of the new residents to the proposed development.

At this time, staff and the Applicant are requesting feedback on the development concept plans before any rezoning and subdivision platting applications are submitted for Village approval.



Village of  
  
**Germantown**  
Willkommen

**FEES MUST BE PAID AT TIME OF APPLICATION**

- ☒ \$200 Plan Commission Consultation  
☐ \$1,085 Rezoning  
☐ \$1,240 PDD < 5 acres  
☐ \$2,095 PDD 5-20 acre site  
☐ \$3,460 PDD > 20 acre site

Date Paid: 8-30-17 Received by: 

## REZONING & PDD APPLICATION

Pursuant to Section 17.51 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

| 1 | APPLICANT OR AGENT                          | PROPERTY OWNER                                  |
|---|---------------------------------------------|-------------------------------------------------|
|   | <u>PETE HURTH, P.E.</u>                     | <u>SHARI WAGGOWER, TOPLEAF DEVELOPMENT, LLC</u> |
|   | <u>BAUDHUIN SURVEYING &amp; ENGINEERING</u> | <u>ALAN &amp; LYNDIA LUTHER</u>                 |
|   | <u>312 N 5TH AVE</u>                        | <u>342 HILLSIDE RD</u>                          |
|   | <u>STURGEON BAY, WI 54235</u>               | <u>COLGATE, WI 53033</u>                        |
|   | <u>Phone (920) 743-8211</u>                 | <u>Phone (262) 923-0469</u>                     |
|   | <u>CELL (920) 495-9101</u>                  | <u>toptleafdevelopment@gmail.com</u>            |
|   | <u>E-Mail phurth@baudhuin.com</u>           |                                                 |

| 2 | PROPERTY ADDRESS OR GENERAL LOCATION                | TAX KEY NUMBER        |
|---|-----------------------------------------------------|-----------------------|
|   | <u>107 ACRES SOUTH OF CTH F, NORTH OF ELVA LANE</u> | <u>241997, 241998</u> |
|   | <u>1/4 MILE WEST OF WAUSAUKEE RD</u>                | <u>242999</u>         |

| 3         | REZONING REQUEST                                                                                                                                                 |      |    |           |             |  |                             |
|-----------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|----|-----------|-------------|--|-----------------------------|
|           | <table border="1"><tr><td>FROM</td><td>TO</td></tr><tr><td><u>AG</u></td><td><u>RS-3</u></td></tr><tr><td></td><td><u>POSSIBLE PDD overlay</u></td></tr></table> | FROM | TO | <u>AG</u> | <u>RS-3</u> |  | <u>POSSIBLE PDD overlay</u> |
| FROM      | TO                                                                                                                                                               |      |    |           |             |  |                             |
| <u>AG</u> | <u>RS-3</u>                                                                                                                                                      |      |    |           |             |  |                             |
|           | <u>POSSIBLE PDD overlay</u>                                                                                                                                      |      |    |           |             |  |                             |

| 4 | METES AND BOUNDS LEGAL DESCRIPTION OF PROPERTY - REQUIRED                                                           |
|---|---------------------------------------------------------------------------------------------------------------------|
|   | <p>Attach pages as necessary</p> <p><u>NW &amp; SW 1/4 of NE 1/4 SECTION 24 AND SE 1/4 of NW 1/4 SECTION 24</u></p> |

## PURPOSE OF REZONING REQUEST

Briefly describe why the applicant is rezoning the property. Include a description of the proposed use, including any new construction and number of employees, if applicable.

PLEASE REFER TO CONCEPT PLAN AND NARRATIVE.  
CONCEPT REVIEW AT THIS TIME.

## 6 SUPPORTING DOCUMENTATION:

- ☐ Plat of Survey (1:100)
- ☐ Site Plan and elevations for new construction (can be conceptual)
- ☒ CONCEPT PLANS
- ☒ NARRATIVE

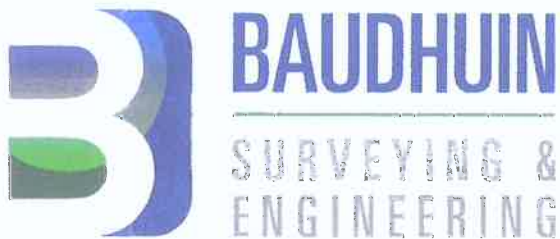
## 7 READ AND INITIAL THE FOLLOWING:

- ☒ I understand that the Village is under no obligation to rezone property and that density and lot coverages provided in the Zoning Code are maximums. Actual build out will depend on myriad factors including topography and other natural conditions, surrounding neighborhood context and the detailed design of a project.
- ☒ I understand that Village Staff, Plan Commission and/or Village Board may request additional information to properly evaluate this request and failure to provide such information may in itself be sufficient cause to deny the petition.
- ☒ I am aware that this rezoning shall go into effect immediately upon the final approval of the Village Board and its execution of the rezoning ordinance

## 8 SIGNATURES – ALL APPLICATIONS MUST BE SIGNED BY OWNER!

 8/30/17  
Applicant Date

 8/30/17  
Owner Date



### LUTHER PARCEL

#### **CONCEPT PLAN - August 2017**

##### Location:

The 107 acre farm is located north of Elm Lane and south of Freistadt Road(CTH F) approximately ¼ west of Wausaukee Road (CTH M). The parcel is bordered to the east by Woodland Ponds which is an 18 lot residential subdivision with lot sizes between 1 and 2 acres. Elm Lane to the south is not a through road. There is a 700 foot gap between the completed road sections. The lots south of the parcel along the east leg of Elm Lane are larger in the 6 to 15 acre range. The lots to the south along the west leg of Elm Lane are in the Forest Heights subdivision and in the 1 to 5 acre range. The east leg of Elm Lane connects to Wausaukee Road , while the west leg Connects to Forest Drive which is a half mile long road which leads to a signalized intersection at Mequon Road. The remaining surrounding parcels are currently farmed with the exception of the south west corner which borders Freidenfeld Park.

##### Site Constraints:

The upland portions of the site are primarily used for cropland with some wooded tree lines and small patches of woods. There are wetlands present on the parcel. The wetlands are primarily wooded. The site was analyzed by a soil scientist to establish areas suitable to support septic systems. The majority of the upland tilled portion is suitable for septic systems.

##### Utilities (Sewer and Water):

Preliminary research has indicated sewer and water is not available anywhere near this parcel. The large lot sizes located between the development and the sewer connection point would make it unrealistic to provide sewer to this site from a cost and timing standpoint. The fact that we had the preliminary soils investigation completed allows us certainty that each lot can support the septic drain field.

##### Zoning and Land Use:

The parcel is zoned agricultural but is slated on the Villages 2020 Smart Growth Plan for rural residential designation which is an exact fit to the proposed RS-3 one acre zoning district we will pursue. A portion of the development has been designed to split off lots greater than 5 acres with two lots sharing a driveway. This portion of the overall development could be re-zoned to RS-1 five acre rather than RS-3.

##### Luther Concept Plan(s):

The concept plans submitted for review consist of 43 lots on 107 acres equaling 2.5 acre density. Road connections are proposed to connect to Freistadt Road to the north as well as provided stubs to allow development of neighboring parcels in the future.

Two alternate connections to Elm Lane are contemplated. Option 1 connects to the east leg of Elm Lane. This section of Elm currently has between 16 and 18 feet of asphalt width. The east leg provides a direct connection to Wausaukee Rd. This makes sense from a traffic flow efficiency standpoint. The Village will need to provide input regarding its long-term plans for that leg. Option 2 provides the connection to the west leg of Elm Lane. This section of Elm appears to be recently upgraded. The Village will need to provide input regarding the desirability of using the west leg instead of the east leg.

Connecting the two legs of Elm Lane would require 700 feet of new roadway. This section is heavily wooded at this time and is in an area of fairly steep terrain. This connection provides no benefit to the existing 6.5 acre residential parcel along the south side of Elm Lane, and in fact would likely be frowned upon due to the amount of disturbance and tree clearing necessary.

The majority of the parcel will be developed into 1 to 3 acre residential lots. The lots have been sited to accommodate an individual septic system on each lot. The lots were also placed to avoid wetlands on the lots.

A formal wetland delineation is pending and lots would be adjusted as needed upon completion of the delineation.

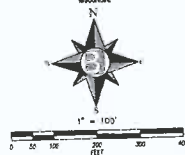
Larger lots (greater than 5 acres) are proposed on the westerly 36 acre parcel made part of this development. This area has an existing gravel driveway used to access the farmland to the west. This driveway would become a shared driveway for proposed lots 33 and 34. Lots 35 and 36 would share a driveway from the west leg of Elm Lane. There appears to be an upland area allowing this driveway to be constructed.

A portion of the larger lots would remain wetland. Building envelopes would be restricted to the upland portions of the larger lots.

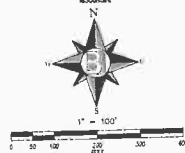
Outlots have been placed in areas where wetlands are present as well as in areas where storm ponds will be constructed.

# **OPTION 1**

LOCATED IN:  
THE NW 1/4 OF THE NE 1/4, THE SE 1/4 OF THE NE 1/4,  
AND THE SE 1/4 OF THE NW 1/4  
AS IN  
SECTION 24, TOWNSHIP 9 NORTH, RANGE 20 EAST,  
TOWN OF CEDARHURST,  
WASHINGTON COUNTY,  
WISCONSIN.

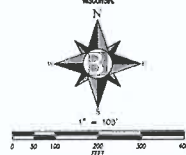


LOCATED IN  
THE NW 1/4 OF THE NE 1/4, THE SW 1/4 OF THE NE 1/4,  
AND THE SE 1/4 OF THE NW 1/4  
ALL IN  
SECTION 24, TOWNSHIP 9 NORTH, RANGE 20 EAST,  
TOWN OF GERMANTOWN,  
WASHINGTON COUNTY.

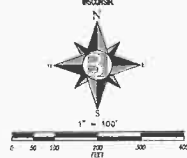


## OPTION 2

LOCATED IN  
THE NW 1/4 OF THE NE 1/4, THE SW 1/4 OF THE NE 1/4,  
AND THE SE 1/4 OF THE NE 1/4  
ALL IN  
SECTION 24, TOWNSHIP 9 NORTH, RANGE 20 EAST,  
TOWN OF EDWARDSVILLE,  
WASHINGTON COUNTY,  
MISSOURI.

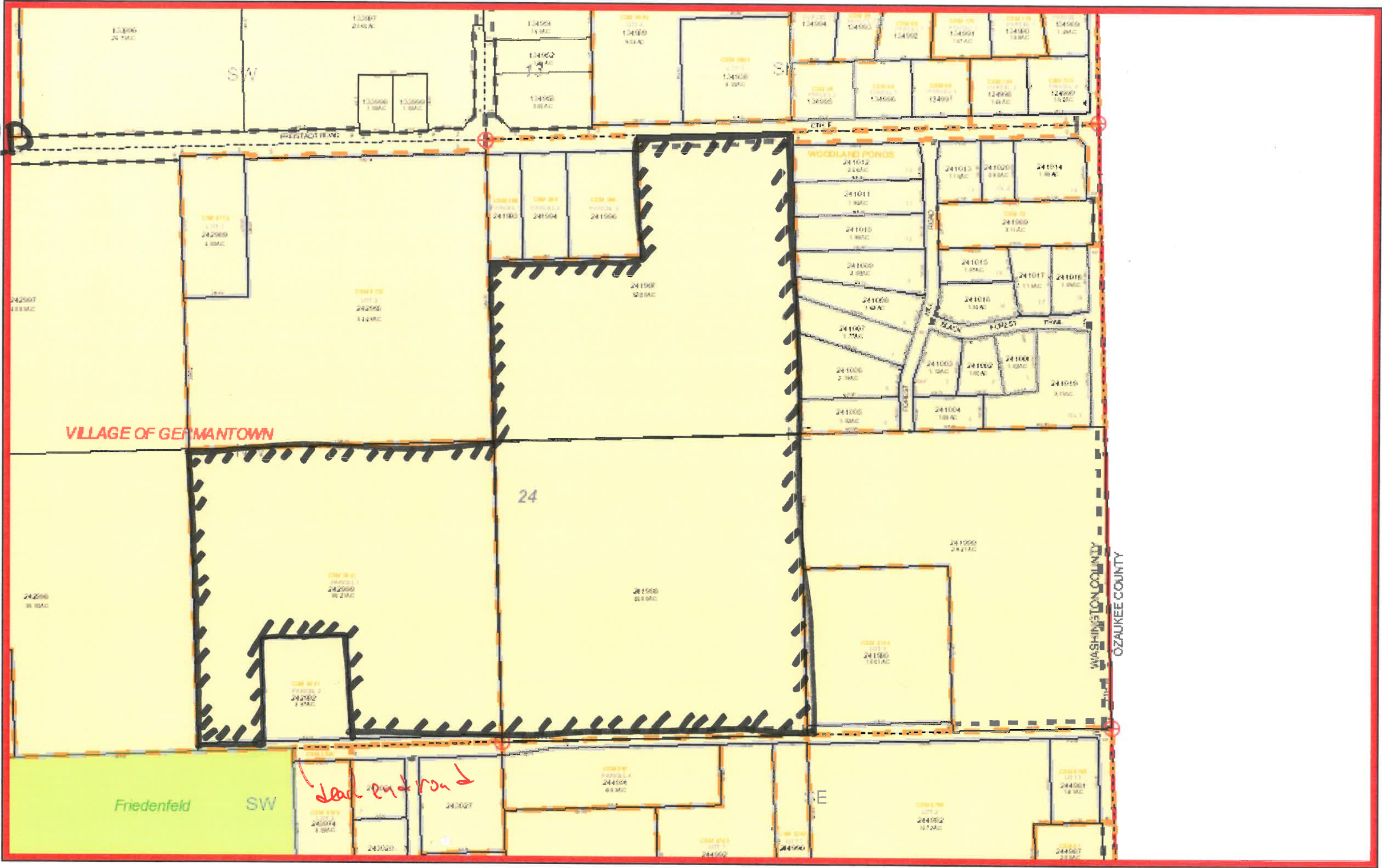


**OPTION 2**  
LOCATED IN:  
THE NW 1/4 OF THE NE 1/8, THE SW 1/4 OF THE NE 1/8,  
AND THE SE 1/4 OF THE NW 1/4  
ALL IN:  
SECTION 24, TOWNSHIP 9 NORTH, RANGE 20 EAST,  
TOWN OF GERMANTOWN,  
WASHINGTON COUNTY,  
WISCONSIN.



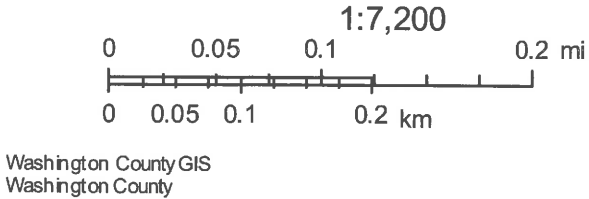
ArcGIS WebMap

FREISTADT RD



July 25, 2017

- |                            |                             |                    |
|----------------------------|-----------------------------|--------------------|
| County Boundary            | Washington County Landmarks | Public Open Spaces |
| City, Village or Town Hall | Airports                    | Current Parcel     |
| Libraries                  | Trails                      | Landhook           |



# ZONING CODE AMENDMENTS

9/11/17 Plan Commission Meeting

## Germantown Community Development Department

Village Planner Report

Germantown, Wisconsin

### Summary

The Community Development Department is proposing an amendment to the B-3: General Business Zoning District regulations (Zoning Code Section 17.30). The purpose for the amendment is to clarify the intent and permitted use sections of the B-3 District regulations regarding residential uses.

### Update

At the August 28 meeting, the PC directed staff to prepare alternative language for a potential code amendment that would enable the “reversion” of commercially-used properties (that were initially constructed as residential dwellings) back to residential uses as either a “conditional use” or as a “permitted/principal use”. Beginning on page 4 below, alternative language has been drafted to create two (2) options: Option 1 allows commercial use properties to revert back to residential “by right” with no approval or permit required; and Option 2 allows commercial use properties to revert back to residential uses only with a conditional use permit (CUP).

### Background (same as presented in Staff Report from August 28)

The area along the Main Street corridor, from Western Avenue east to STH 145/Fond du Lac Avenue, is shown on the Village’s Land Use Plan map as “Village Mixed Use”. The intent of this category of generalized land uses is very specific as paraphrased below (the full intent statement is presented in Exhibit 1):

*“The Village Mixed Use category is focused on the land uses on and surrounding the historic Main Street area...is already being transformed into a compact pedestrian-oriented specialty retail and entertainment district...with continued growth and improvement the Village Mixed Use area can be completely transformed into a destination entertainment district and pedestrian-oriented neighborhood. Improvements to Main Street should emphasize conversion of existing buildings to entertainment and retail uses...historic and architecturally significant buildings should be preserved...”*

Implementation of this policy statement to further the continued “transformation” and redevelopment of the historic Main Street area is to be accomplished, in part, through administration and enforcement of the Village’s Zoning Code.

As shown on Exhibit 2, much of the Main Street area from STH 145 west to the railroad tracks is located in a B-3: General Business Zoning District. The following is the “intent” section of the B-3 District that speaks directly to the intended transformation of the Main Street area:

---

*"The B-3 District is intended to provide for the orderly continuation and revitalization of the older established "central business district" area of the Village where uses are not exclusively of one type but, rather, mixed and include retail sales shops, wholesale and warehousing outlets, and institutional, recreational and residential uses. Many of the existing businesses in this district may not meet the requirements of the B-1 or B-2 Districts. It is the intent of this district to provide minimum requirements for all new uses of land within the district **and a guide for the redevelopment or revitalization of existing uses of land within the district.**"*

What's the issue? The issue is... what to do about the older, original residential buildings that were converted to and have operated as a business, in whole or in part, that the owners of those buildings now want to "revert" back to a residential use.

Why is this an issue? Simply stated, the B-3 District regulations do NOT specifically provide for ANY residential uses in the B-3 District (other than a conditional use permit allowance for a residential "caretaker quarters" on the 2nd floor of a dwelling with a business on the 1st floor). There's nothing in the B-3 District regulations that provides for the reversion of a building once used for business purposes back to a building to be used for residential purposes even though that building was originally constructed as (and may still look like) a residential building.

The only zoning regulations that address residential uses in the B-3 District are the non-conforming use regulations...which allow for the continued use of a building for residential purposes if such use was in place at the time the B-3 District regulations were adopted in the Zoning Code (November, 1978), and, more importantly, that residential use has continued uninterrupted ever since. If a residential use of a building in a B-3 District has either ceased for a period of 12 consecutive months, or, if the building was converted (in whole or in part) to a business or other non-residential use, such as a dog grooming service business or a specialty retail shop, the non-conforming use regulations don't allow the owner of that building to revert back to a residential use.

While the Plan Commission and Village Board have discussed issues affecting the preservation and protection of the original residential buildings along Main Street, it might be surprising to know that our B-3 District regulations and our "Village Mixed Use" land use policy really only address the notion of preserving historic and architecturally significant buildings and not necessarily the residential use of such buildings.

The issue has come up now because it has been brought to our attention that as many as three properties along Main Street are in the process of being sold (or already have been) with the expressed purpose of reverting the use of the buildings from a previous business use to an exclusive residential use by the new owners.

Arguably, if the Village enforces the B-3 District regulations and non-conforming use regulations as written, none of these three buildings should be allowed to revert back to a residential use. However, to not allow them to revert back to what was their intended use from the time they were constructed might contradict what some would argue is and

has been the Village's position all along, i.e. to provide for and accommodate the preservation and continuation of the older residential buildings on Main Street for residential purposes. The counter argument to that, however, is that the Village's policy statement through the "Village Mixed Use" concept is that the Village wants to preserve the appearance and character of the historic Main Street area (and existing historic and architecturally significant buildings) but not necessarily the use of said buildings for exclusively residential purposes. To do otherwise, one might argue, would only perpetuate the ongoing conflicts between residential and non-residential uses and property owners along Main Street, as well as, delay or impede the intended transformation of the area into a pedestrian-oriented retail and entertainment area. If the Village wants to hasten the process of "... redevelopment or revitalization of existing uses of land within the district..." as is the stated intent of B-3 District, then the business-back to-residential reversion process of the remaining residential buildings along Main Street should not be allowed to continue and the Zoning Code enforced.

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In order to initiate discussion about how best to resolve the issue in a manner that clarifies the Village's policy perspective and to give guidance to staff with regard to the administration and enforcement of the Zoning Code, Staff is recommending the following amendments to Section 17.30 in the Municipal Code:

**SECTION 1.** That Section 17.30 (B-3: General Business District) is revised as follows where words that are ~~stricken~~ are deleted and words that are underlined are to be added:

17.30

GENERAL BUSINESS DISTRICT.

The B-3 District is intended to provide for the orderly continuation and revitalization of the older established Main Street "central business district" (including the area designated as "Village Mixed Use" on the Future Land Use Plan) area of the Village where uses are not exclusively of one type but, rather, mixed and include retail sales shops, wholesale and warehousing outlets, and institutional, recreational and residential uses. Many of the existing businesses in this district may not meet the requirements of the B-1 or B-2 Districts. It is the intent of this district to provide minimum requirements for all new uses of land within the district and a guide for the redevelopment or revitalization of existing uses of land within the district. Further, it is intended that the conversion of buildings located in the historic Main Street area and categorized as "Village Mixed Use" on the Village's Land Use Plan map from a residential use to a business use or from a business use to a residential use can occur provided that such conversion does not create conflicts with other nearby land uses, or, that impede the intended transformation of the Main Street area into a pedestrian-oriented retail and entertainment area.

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**OPTION 1: ALLOWS COMMERCIAL USE PROPERTIES TO “REVERT” BACK TO A RESIDENTIAL USE “BY RIGHT” (NO APPROVAL OR PERMIT REQUIRED)**

**SECTION 2.** That Section 17.30(1) (Permitted Principal Uses) is revised as follows where words that are ~~stricken~~ are deleted and words that are underlined are to be added:

17.30(1)(iii) Single-family residential uses in a building originally constructed for residential use that was subsequently converted into a business use, in whole or in part, that the owner wants to revert back to a residential use, in whole or in part, subject to all applicable REQUIREMENTS, restrictions and allowances of the Village’s Zoning and Building Codes.

**OPTION 2: ALLOWS COMMERCIAL USE PROPERTIES TO “REVERT” BACK TO A RESIDENTIAL USE WITH A CONDITIONAL USE PERMIT (CUP)**

**SECTION 2.** That Section 17.30(3) (Conditional Uses) is revised as follows where words that are ~~stricken~~ are deleted and words that are underlined are to be added:

17.30(3)(oo) Single-family residential uses in a building originally constructed for residential use that was subsequently converted into a business use, in whole or in part, that the owner wants to revert back to a residential use, in whole or in part, subject to the following requirements:

1. Said reversion shall abide by all applicable requirements, restrictions and allowances of the Village’s Zoning and Building Codes;
2. The owner shall provide sufficient evidence that such conversion will not create a situation where potential negative impacts (e.g. traffic, noise, odor, etc.) associated with or caused by the operation of an existing non-residential land would affect the owners and occupants of said property proposed to revert back to a residential use; or
3. The owner of said residential property shall sign a statement acknowledging and accepting the following:
  - a. The property is located within an area designated by the Village as “Village Mixed Use” wherein a variety of residential and non-residential land uses are allowed to occur;
  - b. The “Village Mixed Use” area is expected and encouraged to re-develop over time into a pedestrian-oriented retail and entertainment area;
  - c. The potential exists for negative impacts (e.g. traffic, noise, odor, etc.) associated with or caused by the operation of both existing and newly developed non-residential land uses to adversely affect the owners and/or occupants of said property on a regular basis.