

****IF YOU ARE A REGULAR MEMBER OF THIS COMMITTEE, PLEASE NOTIFY THE CLERK'S OFFICE
IMMEDIATELY REGARDING WHETHER OR NOT YOU WILL BE ATTENDING SO ALTERNATES CAN BE
NOTIFIED****
THANK YOU!

VILLAGE OF GERMANTOWN
N112 W17001 MEQUON ROAD
GERMANTOWN, WI

MEETING: **BOARD OF ZONING APPEALS**
DATE AND TIME: **WEDNESDAY, DECEMBER 13, 2017 5:30 P.M.**
LOCATION: **Germantown Village Hall Board Room**
N112 W17001 Mequon Road

I. **CALL TO ORDER:** This meeting has been given public notice in accordance with Section 19.83 and 19.84, Wis. Stats, in such form that will apprise the general public and news media of subject matter that is intended for consideration and action.

II. **ROLL CALL:**

III. **APPROVAL OF MINUTES:** November 8, 2017

IV. **PUBLIC HEARING:**

5:30 P.M. THE PURPOSE of said hearing will be to hear any and all parties, their attorneys or agents, for or against the **APPEAL** as filed by **JEFFREY AND SHELLY DAVIS**, owners of the following property, who are seeking a variance from Section 17.16 (3) of the Germantown Municipal Code which requires a side yard building setback of 20 feet to allow a side yard building setback of 10 feet at the property located at:

N112 W20569 Mequon Road
Germantown, WI 53022 (GTNV 301-984)

V. **DELIBERATION AND ACTION BY THE BOARD**

VI. **NEXT MEETING DATE AND TIME IF NEEDED:** January 10, 2018

VII. **ADJOURNMENT**

UPON REASONABLE NOTICE, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact the Village Clerk at 250-4740.

NOTICE OF PUBLIC HEARING

VILLAGE OF GERMANTOWN

NOTICE IS HEREBY GIVEN that a Public Hearing will be held before the **Board of Zoning Appeals**, Village of Germantown, WI:

Germantown Village Hall Board Room

N112 W17001 Mequon Road
Germantown WI 53022

Date and Time: **WEDNESDAY December 13, 2017 - 5:30 P.M.**

The purpose of said hearing will be to hear any and all parties, their attorneys or agents, for or against the **APPEAL** filed by **Jeffrey Davis and Shelly Davis** owners of the following property, who are seeking a variance from Section 17.16(3) of the Germantown Municipal Code which requires a side yard building setback of 20 feet to allow a side yard building setback of 10 feet.

**N112 W20569 Mequon Road
GERMANTOWN, WI 53022 (GTNV 301-984)**

A copy of the application and supporting documents are on file in the Clerk's office and available for public inspection during the hours of 8:00 a.m. and 4:00 p.m. Monday through Friday.

Dated this 10th day of November, 2017
Elizabeth Knaack
Acting Village Clerk

Published: November 22, 2017 and November 29, 2017

VILLAGE OF GERMANTOWN
OFFICE OF THE VILLAGE CLERK
N112 W17001 MEOUON ROAD/ P. O. BOX 337
GERMANTOWN WI 53022-0337

John Davis
CELL - 919-950-9744

Email - JDavis@Floestar.com

HOW TO APPEAL TO THE ZONING BOARD OF APPEALS

- [] Fill out an application form available from the Village Clerk and attach supporting documents. (Survey of property showing location of structures, rendering of buildings, renderings of signs, etc.)
- [] File your appeal within 30 days after the date of written notice of order or decision from which the appeal/application is taken.
- [] Submit an application fee of \$570. This fee is used to pay costs of notice publication, mailings and other administrative costs.
- [] Allow a minimum of three weeks for your hearing date to be set. The Board of Zoning Appeals has set monthly meetings. If your application falls within the required time frame for notice, your appeal will be heard at the next meeting. If not, your application will be held over to the next meeting. This is due to State Law requiring two publications of the public hearing in the official paper. The last date for publication cannot be less than 7 days prior to the hearing. The official paper is published on Wednesday.
- [] You will receive from the Board Secretary a notice of public hearing, indicating the date, time and place of your hearing.
- [] Appear, at the hearing to explain the application and to answer any questions. You may appear personally or by an agent, and/or with an attorney.
- [] You will receive an official notice of decision of your appeal by "certified mail" within five (5) days following the meeting. The notice will show the date of filing in the Board's office should you wish to appeal the decision to Washington County Circuit Court.
- [] If your appeal is granted, substantial work must commence within six (6) months of the filing of the decision, or the variance will expire.
- [] If your appeal is denied, you may commence action in circuit court within 30 days of date of filing or file a revised permit application in accordance with the building and/or zoning requirements with the Zoning Administrator or Building Inspector.

VILLAGE OF GERMANTOWN
OFFICE OF THE VILLAGE CLERK
N112 W17001 MEQUON ROAD/P. O. BOX 337
GERMANTOWN WI 53022-0337

BOARD OF ZONING APPEALS
NOTICE OF APPEAL OR APPLICATION

Case No. _____
Filing Date _____
Fee Paid \$ _____
Hearing Date: _____
Notice Mailed: _____
Notices Published: ____/____

To: Board of Zoning Appeals
Village of Germantown, Wisconsin

NOTICE IS HEREBY GIVEN that the undersigned hereby (appeals for relief from a decision of an administrative official) (applies for the following described right or privilege) :

1. Appellant's or Applicant's Name: JEFFREY S & SHELLY M DAVIS
Address: N112 W20569 MEQUON RD
Phone No. : 262-502-9888
2. Appellant's or applicants' interest in property:
☒ Owner; () Tenant; () Mortgagee; () Agent.
3. Property Owner's Name: JEFFREY S DAVIS
Address: N112 W20569 MEQUON RD
Phone No.: 262-502-9888
4. Address of property: N112 W20569 MEQUON RD
Lot _____, Block _____, Tax Parcel No. GTNV 301984, Zoning District: RS-3
5. Present use of the property: Homestead
6. Proposed use of the property: Additional
7. Previous Appeal or Application (if any)? Yes () No ☒
If YES, list date of hearing: _____ and Decision of previous hearing: _____

8. Identify the **PURPOSE** for this appeal or application. Please circle appropriate item below and provide the requested information. Attach a separate sheet, if necessary.

(a) Appeal of decision or order of Administrative Official and Request for Interpretation of Zoning/Building Code.

1. Date of decision or order: _____
2. Description of decision or order: _____
3. Decision or order is erroneous because: _____

(b) Request for Variance of Zoning/Building Code.

1. Describe the requested variance and dimension of variance:
DIMENSION OFF OF PROPERTY IS 20', WE ARE REQUESTING
10' SET BACK

2. Explain how the Variance, IF granted, is consistent with the spirit, purpose and intent of the Code:
WE WILL STILL BE 10' OFF PROPERTY LINE AND
NEIGHBOR'S HOUSE IS 45' AWAY FROM SAID LOT LINE
AND THEY APPROVE OF OUR REQUEST

3. Describe the exceptional, extraordinary or unusual conditions or circumstances that apply specifically to this lot/parcel, use, structure, or intended use that **DO NOT** apply generally to other properties or uses in the SAME district:
THE EXISTING GARAGE IS ON THIS SIDE OF HOUSE AND
ADDING TO THE OTHER SIDE OF THE HOUSE WILL NOT GIVE
VISUAL APPEAL AND DESIGN.

4. Describe what special conditions exist which cause practical difficulty or unnecessary hardship, IF variance is NOT granted:
WE HAVE A FAMILY OF 5 WITH 3 BEDROOMS. 2 BATHS
SHARING ONE BEDROOM. THIS IS NOT AN EXTRAORDINARY
HARDSHIP BUT WE WOULD LIKE MORE ROOM AND UPDATE THE
VISUAL APPEAL OF THE HOUSE FROM THE EXTERIOR.

5. Explain why the variance **IS NECESSARY** for the preservation and enjoyment of substantial property rights possessed by other properties in the SAME district:

OUR NEIGHBOR STATED THIS PROPERTY LINE WILL NOT
HAVE ANY VISUAL OR SPACE ENCROACHMENTS WITH THE ADJACENT
TO THE HOUSE.

6. Explain how this variance, IF granted, **WILL NOT** create substantial detriment to adjacent property, **WILL NOT** be contrary to the public interest and **WILL NOT** endanger public safety and interest:

THE EXISTING TREE LINE WE HAVE ON THE PROPERTY LINE
WILL STAY IN FACT. THERE WILL BE NO VISUAL OR ENVIRONMENTAL
IMPACT BY ADDING 10' OF BUILDING TOWARDS PROPERTY LINE
WHICH STILL KEEPS 10' OFF OF PROPERTY LINE.

(c) Request for interpretation of regulations of the Zoning Code or the District boundaries of the Zoning Map.

1. List applicable section(s) of the Zoning Code: _____
2. Describe proposed use/activity/construction: _____

3. Explain reasons supporting requested action: _____

4. Has request been referred to Plan Commission? Yes () No ()
If YES, give recommendation of Plan Commission: _____

(d) Permission for Temporary Use Permit.

1. Describe use requested: _____
2. Proposed commencement date: _____
3. Proposed termination date: _____

(e) A determination that an unspecified or unclassified use is permitted in a Zoning District.

1. Describe use requested:

2. Attach copy of recommendation of Village Plan Commission.

(f) Permission to substitute a MORE restrictive non-conforming use for an existing non-conforming use.

1. Attach copy of recommendation of Village Plan Commission.
2. Attach copy of certification of Zoning Administrator to legality of present non-conforming use.

3. Date of commencement of present use: _____
4. Value of improvement on date use became non-conforming (attach documentation supporting value): \$ _____
5. Present value of all existing improvements, additions and alterations since date use became non-conforming (attach documentation): \$ _____

REQUIRED DOCUMENTATION

Each appeal or application must be accompanied by:

- A. Current plat or survey of the lot/parcel, with complete details of the site, dimensioned, elevation data, easements, existing and proposed physical features, yards and setbacks, etc.
- B. Attachments as outlined above.
- C. Filing fee(s)
- D. Copy of decision or order which is the basis of this appeal/application.
- E. Name and Address of counsel IF appellant/applicant elects to be represented by counsel.
- F. Any additional fee of \$ _____ to cover the administrative costs if a contested case is requested.

I hereby certify that the above application and/or appeal and all attachments hereto are true, correct and complete to the best of my knowledge and belief.

Dated: November 8, 20 17



Signature of applicant or appellant

17.52 - BOARD OF ZONING APPEALS.

- (1) **MEMBERSHIP.** See section 1.30(1) of this Code.
- (2) **ORGANIZATION.** The Board of Zoning Appeals shall organize and adopt rules and procedure for its own government in accordance with the provisions of this chapter.
 - (a) *Meetings.* Meetings shall be held at the call of the chairman and shall be open, to the public.
 - (b) *Minutes.* Minutes of the proceedings and a record of all actions shall be kept by the secretary showing the vote of each member upon each question, the reasons for the Board's determination and its findings of fact. These records shall be immediately filed in the office of the Board and shall be a public record.
 - (c) *Concurring Vote.* (Am. Ord. #12-09) The concurring vote of a majority of the quorum of the Board shall be necessary to correct an error; grant a variance; make an interpretation; and permit a utility, temporary, unclassified or substituted use.
- (3) **POWERS.** The Board of Zoning Appeals shall have the following powers:
 - (a) *Errors.* To hear and decide appeals when it is alleged there is error in any order, requirement, decision or determination made by the Zoning Administrator.
 - (b) *Variances.* To hear and grant appeals for variances as will not be contrary to the public interest when, owing to special conditions, a literal enforcement will result in practical difficulty or unnecessary hardship so that the spirit and purpose of this chapter shall be observed and the public safety, welfare and justice secured. Use variances shall not be granted.
 - (c) *Interpretations.* To hear and decide applications for interpretations of the zoning regulations and the boundaries of the zoning districts after the Plan Commission has made a review and recommendation.
 - (d) *Substitutions.* To hear and grant applications for substitution of more restrictive nonconforming uses for existing nonconforming uses provided no structural alterations are to be made and the Plan Commission has made a review and recommendation. Whenever the Board permits such a substitution, the use may not thereafter be changed without application.
 - (e) *Permits.* The Board may reverse, affirm wholly or partly modify the requirements appealed from, and may issue or direct the issuance of a permit.
 - (f) *Assistance.* The Board may request assistance from other Village officers, departments, commissions and boards.
 - (g) *Oaths.* The Chairman may administer oaths and compel the attendance of witnesses.
- (4) **APPEALS.** (Rep. & Recr. Ord. #2-94; Am. Ord. #19-96) Appeals of any administrative determination of the Zoning Administrator, the Building Inspector or the Plan Commission concerning the literal enforcement of this chapter and chapters 14 and 18 of this Code may be made by any person aggrieved or by any officer, department or board of the Village. Such appeals shall be filed with the Secretary within 30 days after receiving actual or constructive notice of the administrative decision or order or the granting of a permit by the Zoning Administrator, Building Inspector or Plan Commission. Such appeals and applications shall include the following:
 - (a) Name and address of the applicant.
 - (b) What administrative determination is being appealed and the basis for the appeal.
- (5) **HEARINGS.** The Board shall fix a reasonable time and place for the required public hearing and shall give notice as specified in section 17.53 of this chapter. At the hearing, the appellant or applicant may appear in person or be represented by an agent or attorney.
- (6) **FINDINGS.** No variance to the provisions of this chapter shall be granted by the Board unless it finds, beyond a reasonable doubt, that all the following facts and conditions exist and so indicates such in the minutes of its proceedings.

- (a) *Preservation of Intent.* No variance shall be granted that is not consistent with the purpose and intent of the regulations for the district in which the development is located. No variance shall have the effect of permitting a use in any district that is not a stated permitted use, accessory use or conditional use in that particular district.
 - (b) *Exceptional Circumstances.* There must be exceptional, extraordinary or unusual circumstances or conditions applying to the lot or parcel, structure, use or intended use that do not apply generally to other properties or uses in the same district, and the granting of the variance should not be of so general or recurrent nature as to suggest that this chapter should be changed.
 - (c) *Hardships Not Grounds for Variance.* No variance shall be granted solely on the basis of economic gain or loss. Self-imposed hardships shall not be considered as grounds for the granting of a variance.
 - (d) *Preservation of Property Rights.* The variance must be necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same district and same vicinity.
 - (e) *Absence of Detriment.* No variance shall be granted that will create substantial detriment to adjacent property or that will materially impair or be contrary to the purpose and spirit of this chapter or the public interest.
- (7) **DECISION.** The Board shall decide all appeals and applications within 30 days after the final hearing and shall transmit a signed copy of the Board's decision to the appellant or applicant, the Zoning Administrator and the Plan Commission.
- (a) *Conditions.* Conditions may be placed upon any zoning permit ordered or authorized by the Board.
 - (b) *Variances, Substitutions or Use Permits.* Variances, substitutions or use permits granted by the Board shall expire within 6 months unless substantial work has commenced pursuant to such grant.
- (8) **REVIEW BY COURT OF RECORD.** Any person aggrieved by any decision of the Board may present to a court of record a petition duly verified setting forth that such decision is illegal and specifying the grounds of the illegality. Such petition shall be presented to the court within 30 days after the filing of the decision in the office of the Board.

State law references—Zoning board of appeals, Wis. Stats. §§ 61.35, 62.23(7)(e).

Village of



Community Development Department Inspection Services

N112 W17001 Mequon Road P.O. Box 337
Germantown, Wisconsin 53022-0337
Phone: (262) 250-4760 Fax: (262) 253-8255
www.village.germantown.wi.us

November 8, 2017

GTNV 301-984

Mr. & Mrs. Jeffrey Davis
N112 W20569 Mequon Road
Germantown, WI 53022

Dear Mr. & Mrs. Davis:

I am in receipt of your building permit application for a garage addition. Due to the fact that the proposed addition fails to meet the required setback, I must deny your permit application. Your property is Zoned Rs-3. Section 17.16(3) of the Germantown Municipal Code requires a side yard setback of 20 feet. Your proposal for a 16'7" X 34.5' garage addition indicates an encroachment of approximately 7.73 feet into the east side yard setback.

You may apply for a variance to the Board of Zoning Appeals. Applications must be submitted to the Village Clerk along with supporting documentation and an application fee of \$570.00. Appeals must be applied for within thirty days of this notice. Should you have any questions, please feel free to contact Inspection Services.

Sincerely,

Holly Madson
Inspection Services

cc: **Village Clerk**
Jeff Retzlaff, Zoning Administrator
Property File

VILLAGE OF GERMANTOWN
N112 W17001 Mequon Road - P.O. Box 337 - Germantown, WI 53022
APPLICATION FOR BUILDING PERMIT
Phone (262) 250-4760/Fax (262) 253-8255

Date 10-2-17

Bldg. Permit No. _____

The undersigned hereby applies for a permit to build, construct, remodel, occupy, or to install according to the following statement:

1. Owner JEFFREY & SHELLEY DAVIS Address N112 W20569 MEQUON RD
2. Address of Construction N112 W20569 MEQUON RD Zoning District RS-3
3. Permit For ADDITION Cost Approx 100,000
4. Size of Structure - Square Footage of Proposed Building/Other _____ Height _____
5. Set-Backs of Structure - Front _____ Side _____ Rear _____
6. Contractor _____ Phone _____ Contractor # _____
Address _____ Qualifier # _____

If applicable, you should contact your homeowners association for any approval that may be required. Note: if any work is commenced prior to obtaining the proper permits, all fees shall be doubled.

It is hereby agreed between the undersigned, as owner/agent and the Village of Germantown for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Village Building Inspector, that the work thereon will be done in strict compliance with the Ordinances of the Village of Germantown and to obey all and any lawful orders of the Village Building Inspector and the State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. I have received and read the cautionary statements and notices on the reverse side of this application form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

Signature Jeffrey S. Davis Print Name JEFFREY S. DAVIS
Address N112 W20569 MEQUON RD City & State GERMANTOWN, WI Zip Code 53022
Phone Numbers 262-502-9888 / 414-750-9744
Home Work Cell

**** SCHEDULE OF BUILDING PERMIT FEES ****

Building.....\$	Early Start.....\$	Decking.....\$
Remodeling.....\$	Propane Tank.....\$	Storage Shed.....\$
Garage.....\$	Sign.....\$	Swimming Pool.....\$
Plan Exam.....\$	Siding.....\$	Fence.....\$
Occupancy Permit...\$	Reroofing.....\$	Fireplace.....\$
Heating\$	Razing.....\$	Gazebo.....\$
Air Conditioning.....\$	Foundation Repair...\$	_____ \$

BLDG. PERMIT \$ _____ (BLD) RECORD FEE \$ _____ (APF) TOTAL FEES \$ _____

REMARKS _____

SEPARATE ELECTRICAL, PLUMBING AND HEATING PERMITS MAY BE REQUIRED.

EXHIBIT DRAWING

LOCATION: N111 W20569 Mequon Road, Germantown, Wisconsin

LEGAL DESCRIPTION:

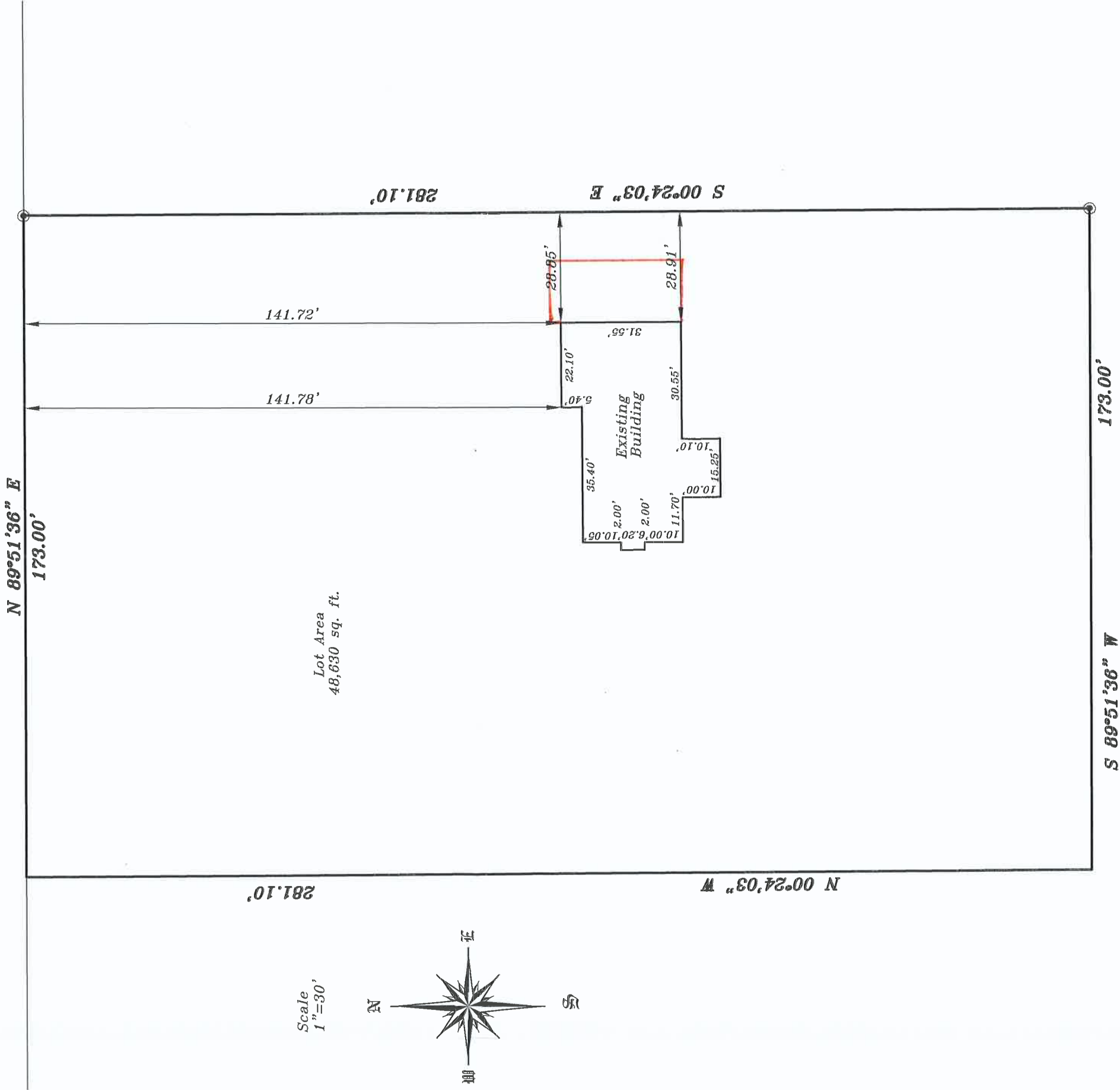
Lot 1 of CERTIFIED SURVEY MAP NO. 5338, being a redivision of Certified Survey Map No. 3555, being a part of the East 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 30, Township 9 North, Range 20 East, Village of Germantown, County of Washington, State of Wisconsin.

December 15, 2016

Survey No. 107570

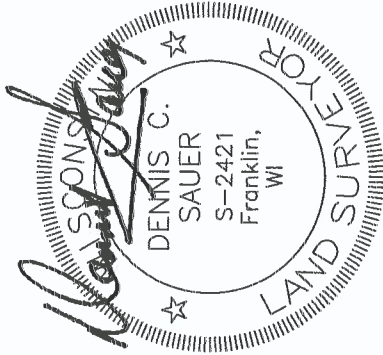
Mequon Road

(90' R.O.W.)



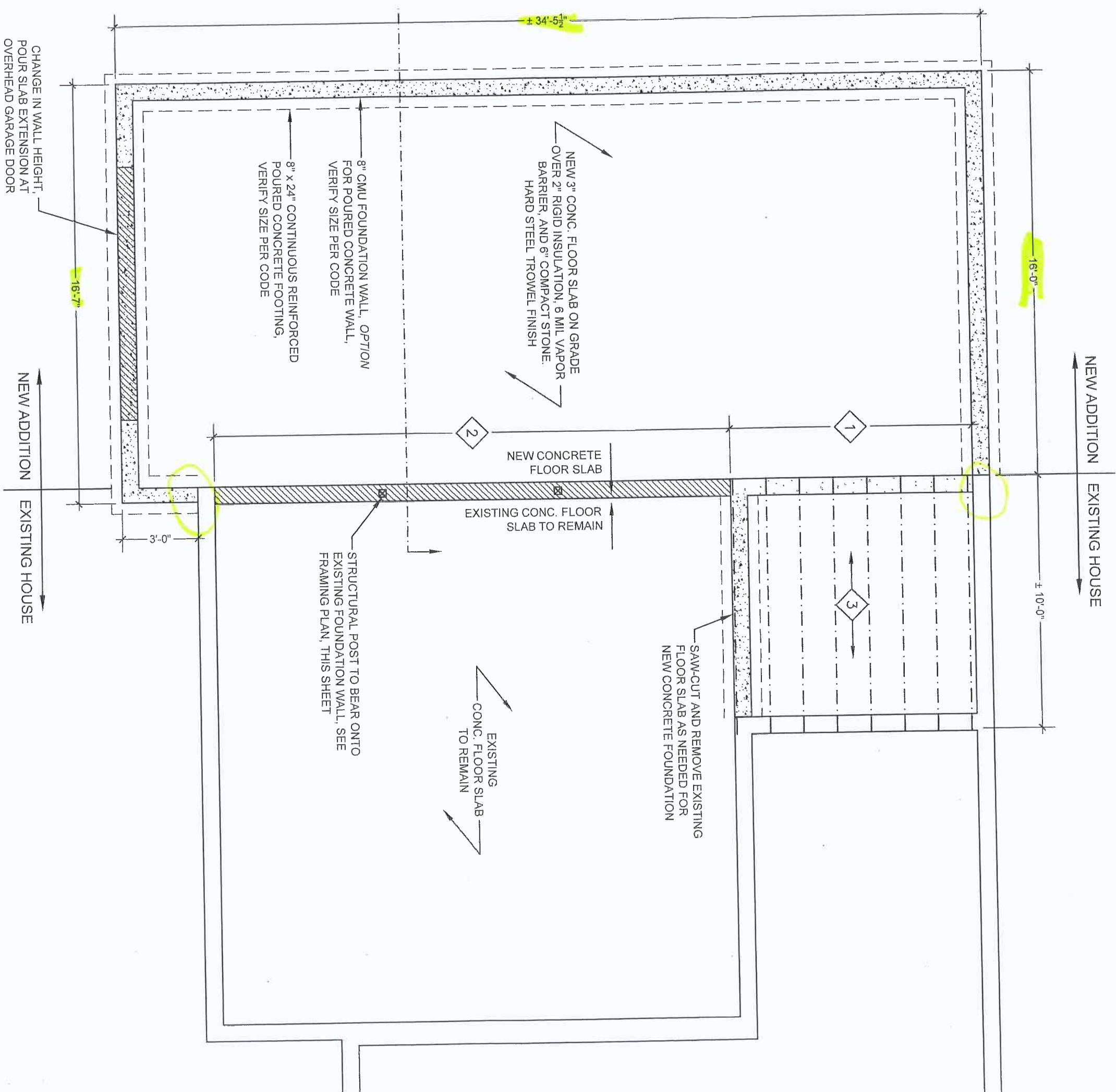
METROPOLITAN SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS AND CIVIL ENGINEERS
9415 West Forest Home Avenue, Suite 202
Hales Corners, Wisconsin 53130
PH. (414) 529-5380 FAX (414) 529-9787
email address: survey@metropolitansurvey.com

⊙ — Denotes Iron Pipe Found
⊙ — Denotes Iron Pipe Set

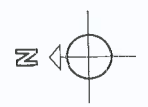


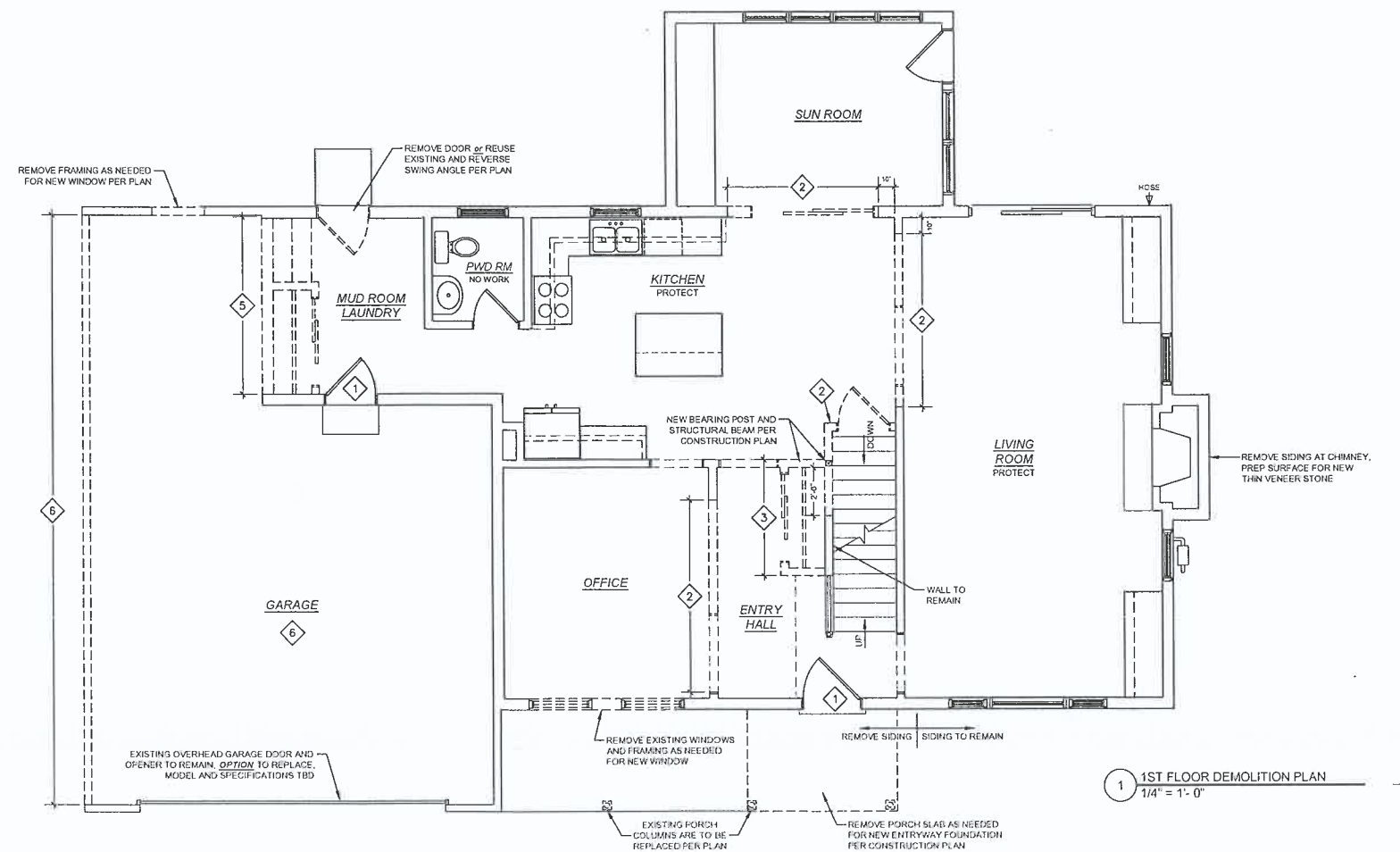
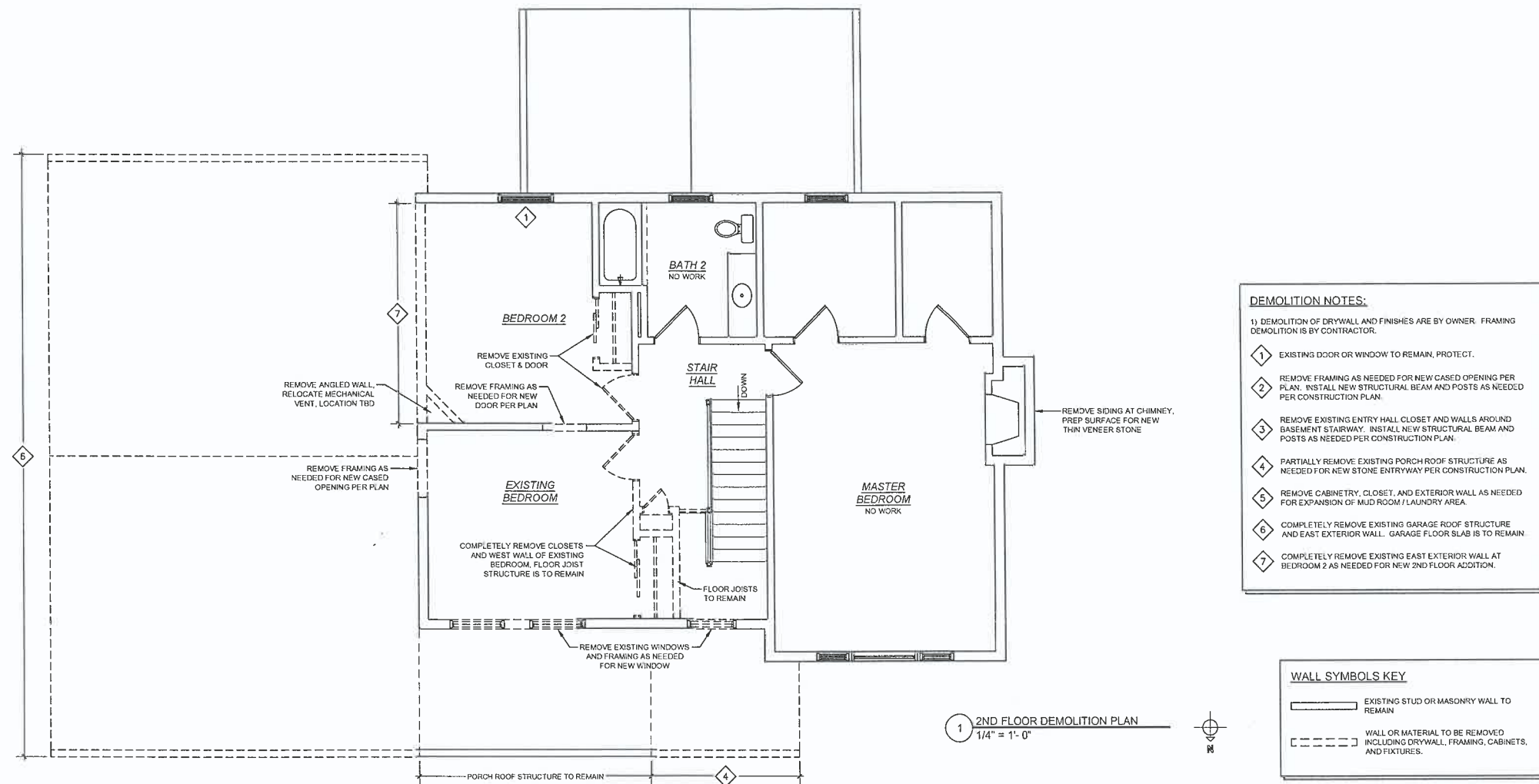
- EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE
- 8" CMU FOUNDATION WALL

- ✓ JOIST SYSTEM.
- EXISTING FOUNDATION WALL IS TO REMAIN, CUT-DOWN TOP OF WALL AS NEEDED FOR NEW GARAGE SLAB.
 - FRAME NEW 2x FLOOR JOIST STRUCTURE TO EXPAND MUD ROOM / LAUNDRY PER PLAN, MATCH HEIGHT OF EXISTING 1ST FLOOR.



1 ADDITION FOUNDATION PLAN
1/4" = 1'-0"





DAVIS HOUSE REMODEL
N112 W20569 MEQUON ROAD
GERMANTOWN, WI 53022

W156 N11238 PILGRIM RD.
GERMANTOWN, WI 53022
PHONE: (414) 797-6488

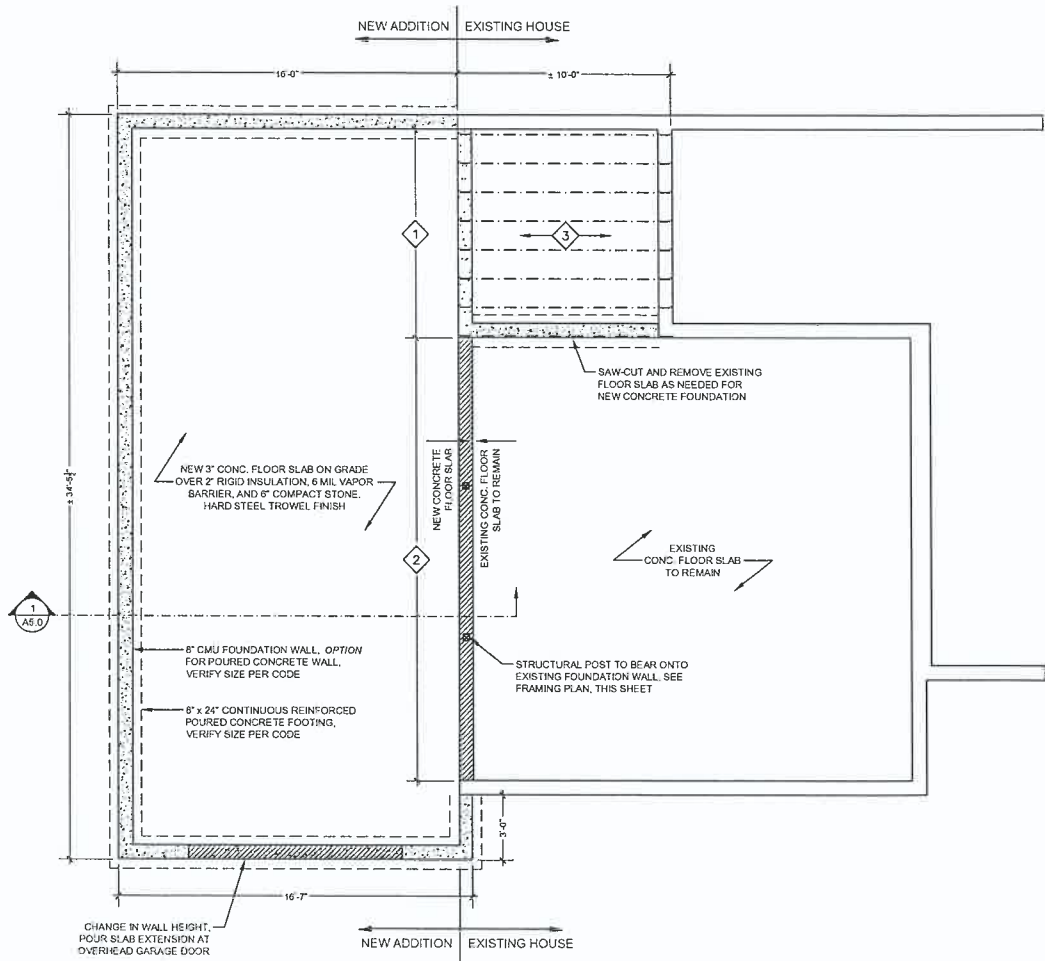


DRAWN BY: C.D.
NOV. 3, 2017

PRELIMINARY	
BID SET - JUNE 6, 2017	
CONSTRUCTION SET - NOVEMBER 3, 2017	
1	
2	
3	

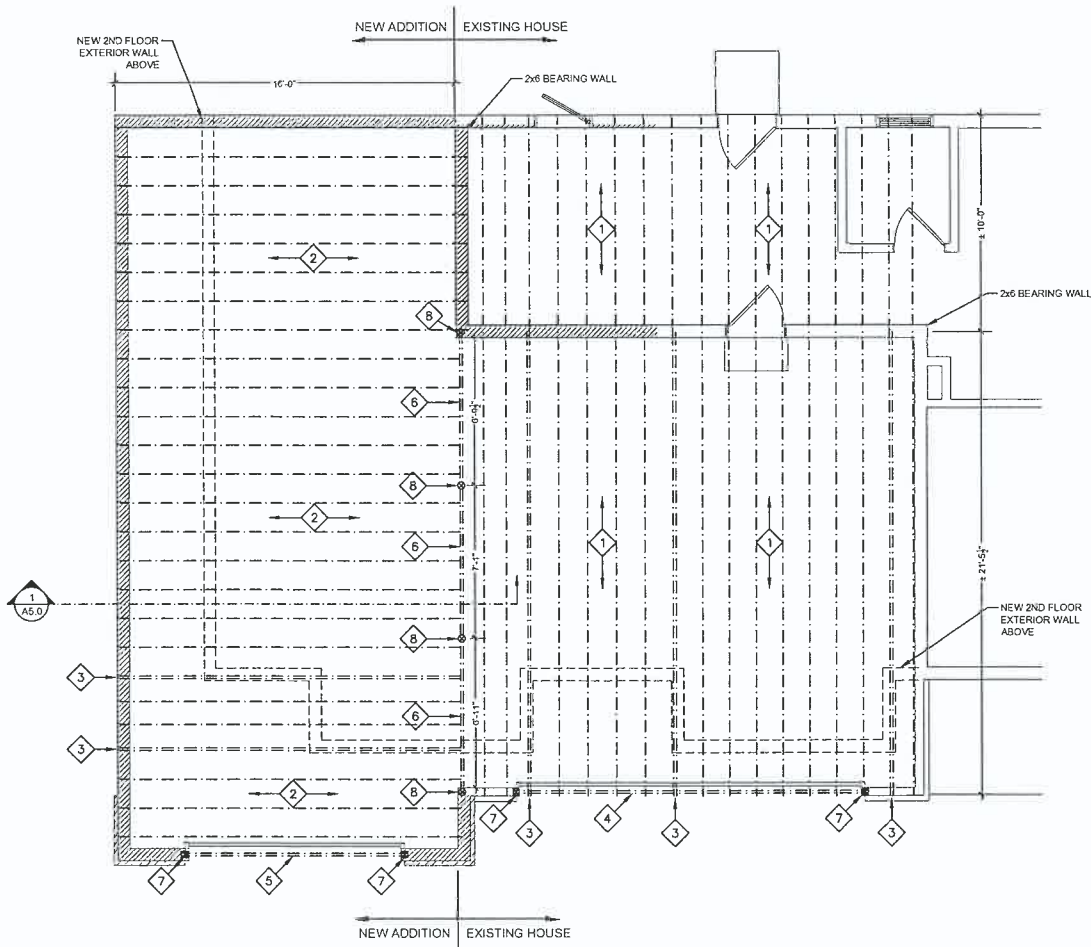
WALL SYMBOLS KEY	
	EXISTING STUD OR MASONRY WALL TO REMAIN
	2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
	2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
	NEW 2x6 EXTERIOR STUD WALL WITH THIN STONE VENEER
	EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE
	8" CMU FOUNDATION WALL

FOUNDATION NOTES:	
1	EXISTING FOUNDATION WALL IS TO REMAIN, INSTALL NEW CMU BLOCK TO RAISE HEIGHT OF WALL AS NEEDED FOR NEW FLOOR JOIST SYSTEM.
2	EXISTING FOUNDATION WALL IS TO REMAIN, CUT-DOWN TOP OF WALL AS NEEDED FOR NEW GARAGE SLAB.
3	FRAME NEW 2x FLOOR JOIST STRUCTURE TO EXPAND MUD ROOM / LAUNDRY PER PLAN, MATCH HEIGHT OF EXISTING 1ST FLOOR.



1 ADDITION FOUNDATION PLAN
1/4" = 1'-0"

FRAMING NOTES:	
1	NEW FLOOR JOIST SYSTEM: 14" TJI WOOD JOISTS, 230 SERIES, SPACED 16" o/c. MATCH HEIGHT OF EXISTING 2ND FLOOR.
2	NEW FLOOR JOIST SYSTEM: 14" TJI WOOD JOISTS, 110 SERIES, SPACED 16" o/c. MATCH HEIGHT OF EXISTING 2ND FLOOR.
3	2-PLY 1-3/4" x 14" LVL BEAM, ALIGN BELOW 2ND FLOOR WALL ABOVE.
4	NEW 2-PLY 1-3/4" x 16" LVL BEAM TO SPAN ACROSS EXISTING GARAGE DOOR OPENING.
5	NEW 2-PLY 1-3/4" x 11-7/8" LVL BEAM TO SPAN ACROSS NEW GARAGE DOOR OPENING.
6	2-PLY 1-3/4" x 6-1/2" x 24" LVL STRUCTURAL BEAM BELOW TJI JOIST SYSTEM, VERIFY LENGTH IN FIELD.
7	POINT LOAD BEARING POST, 3-PLY 2x4 STUDS BEAR ONTO EXISTING FOUNDATION WALL BELOW.
8	POINT LOAD BEARING POST, STEEL COLUMN BEAR ONTO EXISTING FOUNDATION WALL BELOW.



1 2ND FLOOR ADDITION FRAMING PLAN
1/4" = 1'-0"

PRELIMINARY		
BID SET - JUNE 6, 2017		
CONSTRUCTION SET - NOVEMBER 3, 2017		
1	2	3

DAVIS HOUSE REMODEL
N112 W20569 MEQUON ROAD
GERMANTOWN, WI 53022

W156 N11238 PILGRIM RD.
GERMANTOWN, WI 53022

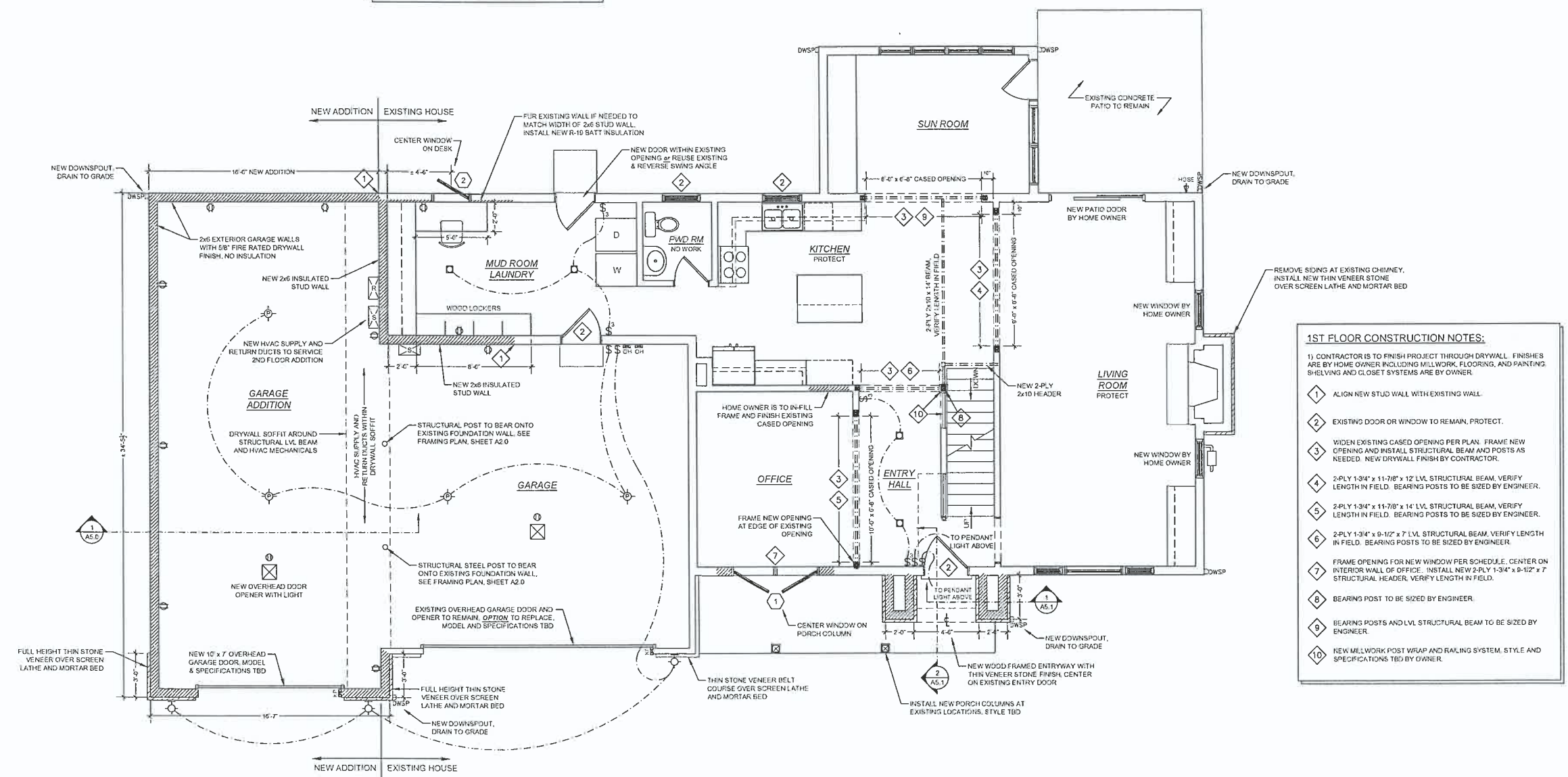
PHONE: (414) 797-0488

DRAWN BY: C.D.
NOV. 3, 2017

A2.0

WALL SYMBOLS KEY	
	EXISTING STUD OR MASONRY WALL TO REMAIN
	2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
	2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
	NEW 2x6 EXTERIOR STUD WALL WITH THIN STONE VENEER
	EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE
	8" CMU FOUNDATION WALL

<u>ELECTRICAL SYMBOLS KEY</u>					
	DECORATIVE LIGHT FIXTURE, CEILING MOUNTED, PROVIDED BY OWNER		ELECTRICAL OUTLET - DUPLEX		WALL SWITCH
	DECORATIVE LIGHT FIXTURE, WALL MOUNTED, PROVIDED BY OWNER		GROUND FAULT CIRCUIT INTERRUPTED		3-WAY SWITCH
	6" LED RECESSED LIGHT FIXTURE (CAN LIGHT), PROVIDED BY CONTRACTOR		GARAGE DOOR OPENER SWITCH		
	KEYLESS WHITE PORCELAIN FIXTURE, PROVIDED BY CONTRACTOR		EXTERIOR GARAGE DOOR KEY PAD		
	CEILING MOUNTED EXHAUST FAN /LIGHT FIXTURE, PROVIDED BY CONTRACTOR		CEILING OUTLET		



- 1ST FLOOR CONSTRUCTION NOTES:**
- 1) CONTRACTOR IS TO FINISH PROJECT THROUGH DRYWALL. FINISHES ARE BY HOME OWNER INCLUDING MILLWORK, FLOORING, AND PAINTING. SHELVING AND CLOSET SYSTEMS ARE BY OWNER.
 - 1 ALIGN NEW STUD WALL WITH EXISTING WALL.
 - 2 EXISTING DOOR OR WINDOW TO REMAIN, PROTECT.
 - 3 WIDEN EXISTING CASED OPENING PER PLAN. FRAME NEW OPENING AND INSTALL STRUCTURAL BEAM AND POSTS AS NEEDED. NEW DRYWALL FINISH BY CONTRACTOR.
 - 4 2-PLY 1-3/4" x 11-7/8" x 12' LVL STRUCTURAL BEAM, VERIFY LENGTH IN FIELD. BEARING POSTS TO BE SIZED BY ENGINEER.
 - 5 2-PLY 1-3/4" x 11-7/8" x 14' LVL STRUCTURAL BEAM, VERIFY LENGTH IN FIELD. BEARING POSTS TO BE SIZED BY ENGINEER.
 - 6 2-PLY 1-3/4" x 9-1/2" x 7' LVL STRUCTURAL BEAM, VERIFY LENGTH IN FIELD. BEARING POSTS TO BE SIZED BY ENGINEER.
 - 7 FRAME OPENING FOR NEW WINDOW PER SCHEDULE, CENTER ON INTERIOR WALL OF OFFICE. INSTALL NEW 2-PLY 1-3/4" x 9-1/2" x 7' STRUCTURAL HEADER, VERIFY LENGTH IN FIELD.
 - 8 BEARING POST TO BE SIZED BY ENGINEER.
 - 9 BEARING POSTS AND LVL STRUCTURAL BEAM TO BE SIZED BY ENGINEER.
 - 10 NEW MILLWORK POST WRAP AND RAILING SYSTEM, STYLE AND SPECIFICATIONS TBD BY OWNER.

1 1ST FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

PRELIMINARY

BID SET - JUNE 6, 2017

CONSTRUCTION SET - NOVEMBER 3, 2017

1

2

3

DAVIS HOUSE REMODEL

N112 W20569 MEQUON ROAD

GERMANTOWN, WI 53022

W156 N1238 PILGRIM RD.

GERMANTOWN, WI 53022

PHONE: (414) 797-0488

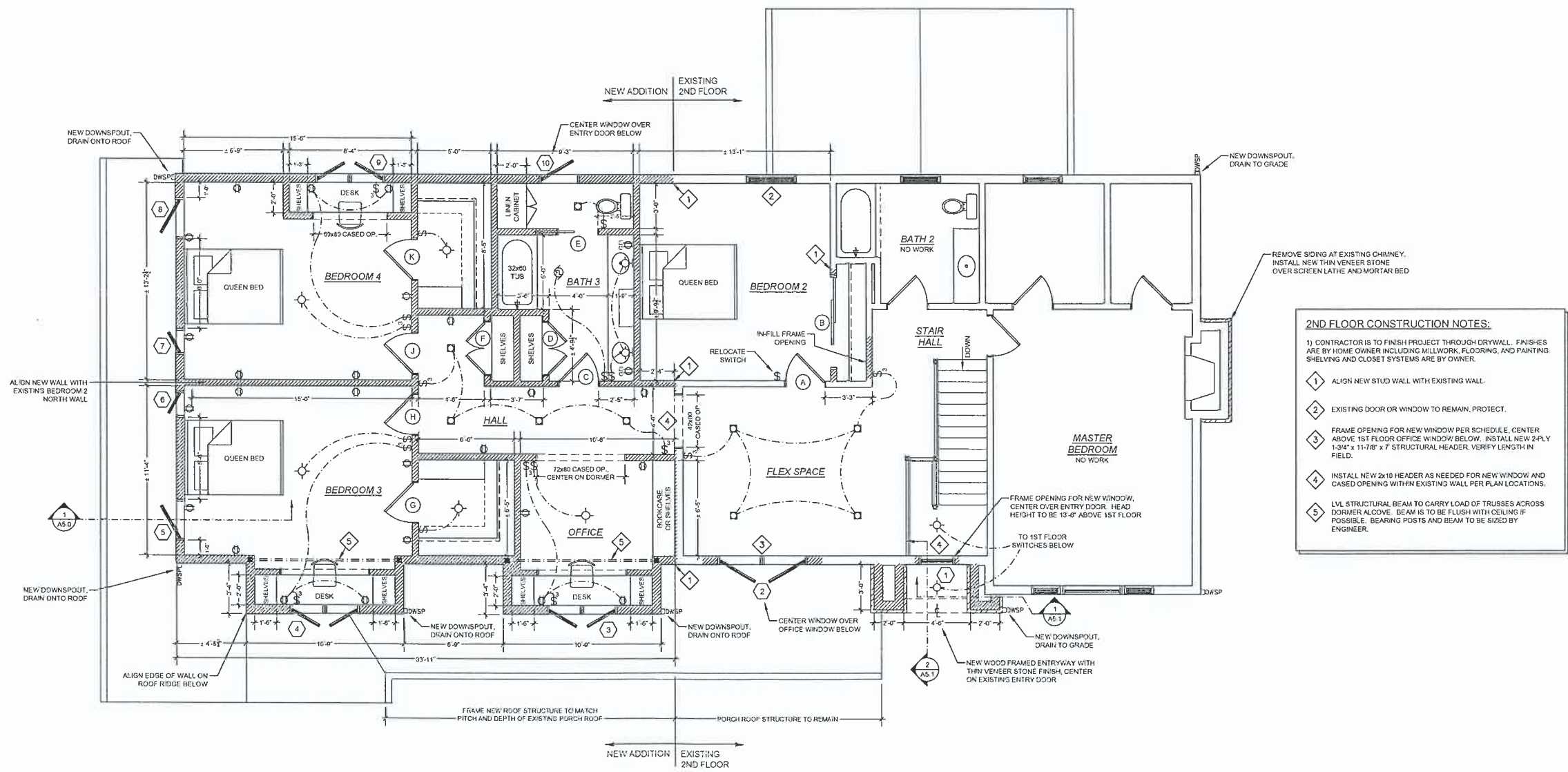
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NOV. 3, 2017

A2.1

WALL SYMBOLS KEY	
	EXISTING STUD OR MASONRY WALL TO REMAIN
	2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
	2x6 STUD WALL, USE AT ALL NEW EXTERIOR WALLS UNLESS NOTED OTHERWISE
	NEW 2x6 EXTERIOR STUD WALL WITH THIN STONE VENEER
	EXISTING STUD WALL TO REMAIN, NEW DRYWALL AT (1) SIDE
	8" CMU FOUNDATION WALL

ELECTRICAL SYMBOLS KEY			
	DECORATIVE LIGHT FIXTURE, CEILING MOUNTED, PROVIDED BY OWNER		ELECTRICAL OUTLET - DUPLEX
	DECORATIVE LIGHT FIXTURE, WALL MOUNTED, PROVIDED BY OWNER		GROUND FAULT CIRCUIT INTERRUPTED
	5" LED RECESSED LIGHT FIXTURE (CAN LIGHT), PROVIDED BY CONTRACTOR		GARAGE DOOR OPENER SWITCH
	KEYLESS WHITE PORCELAIN FIXTURE, PROVIDED BY CONTRACTOR		EXTERIOR GARAGE DOOR KEY PAD
	CEILING MOUNTED EXHAUST FAN / LIGHT FIXTURE, PROVIDED BY CONTRACTOR		CEILING OUTLET
			WALL SWITCH
			3-WAY SWITCH



1 2ND FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

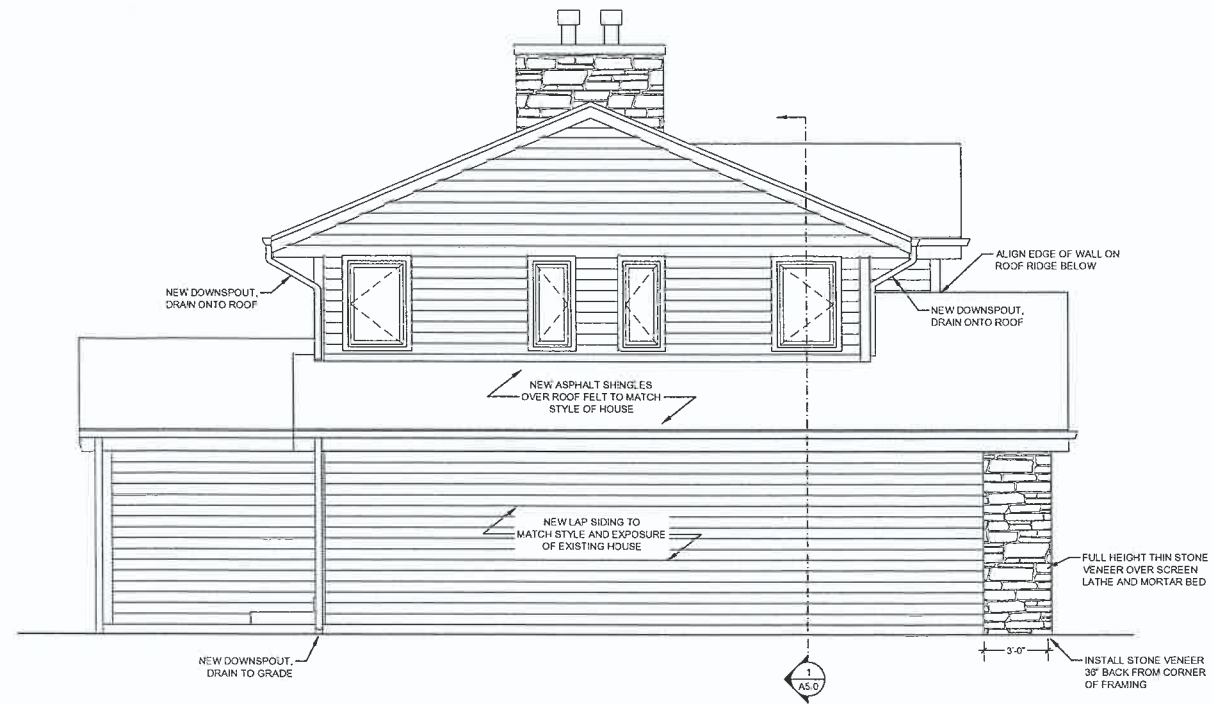
1	PRELIMINARY
2	BID SET - JUNE 6, 2017
3	CONSTRUCTION SET - NOVEMBER 3, 2017

DAVIS HOUSE REMODEL
N112 W20569 MEQUON ROAD
GERMANTOWN, WI 53022

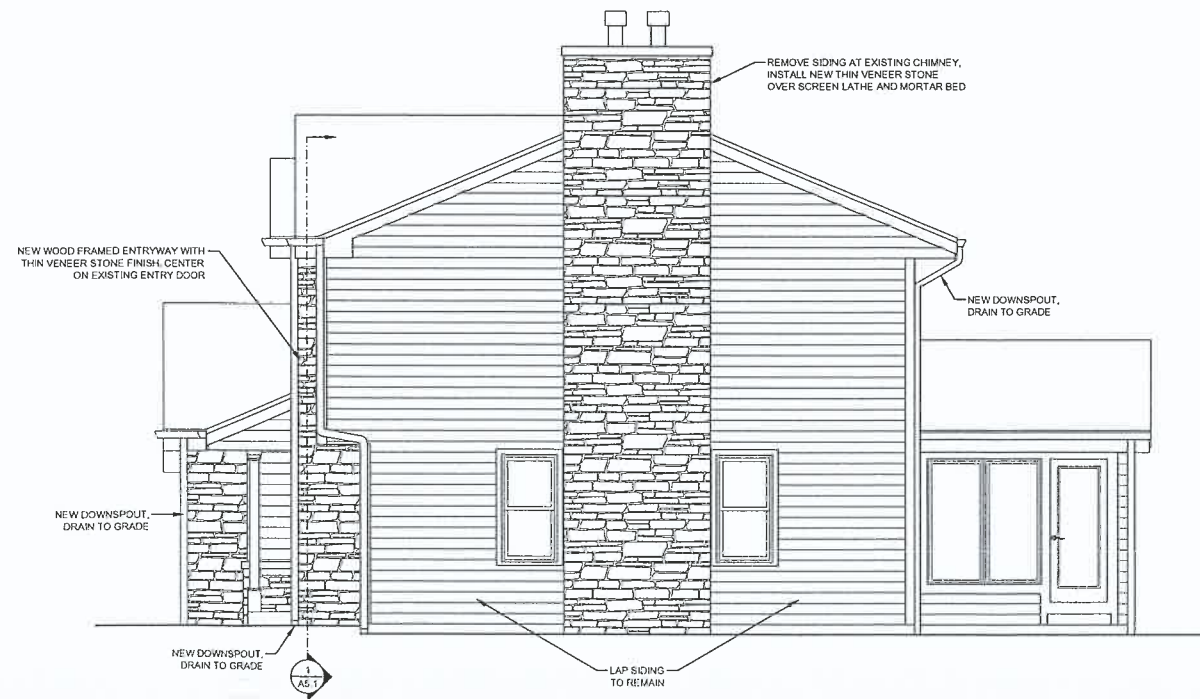
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1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

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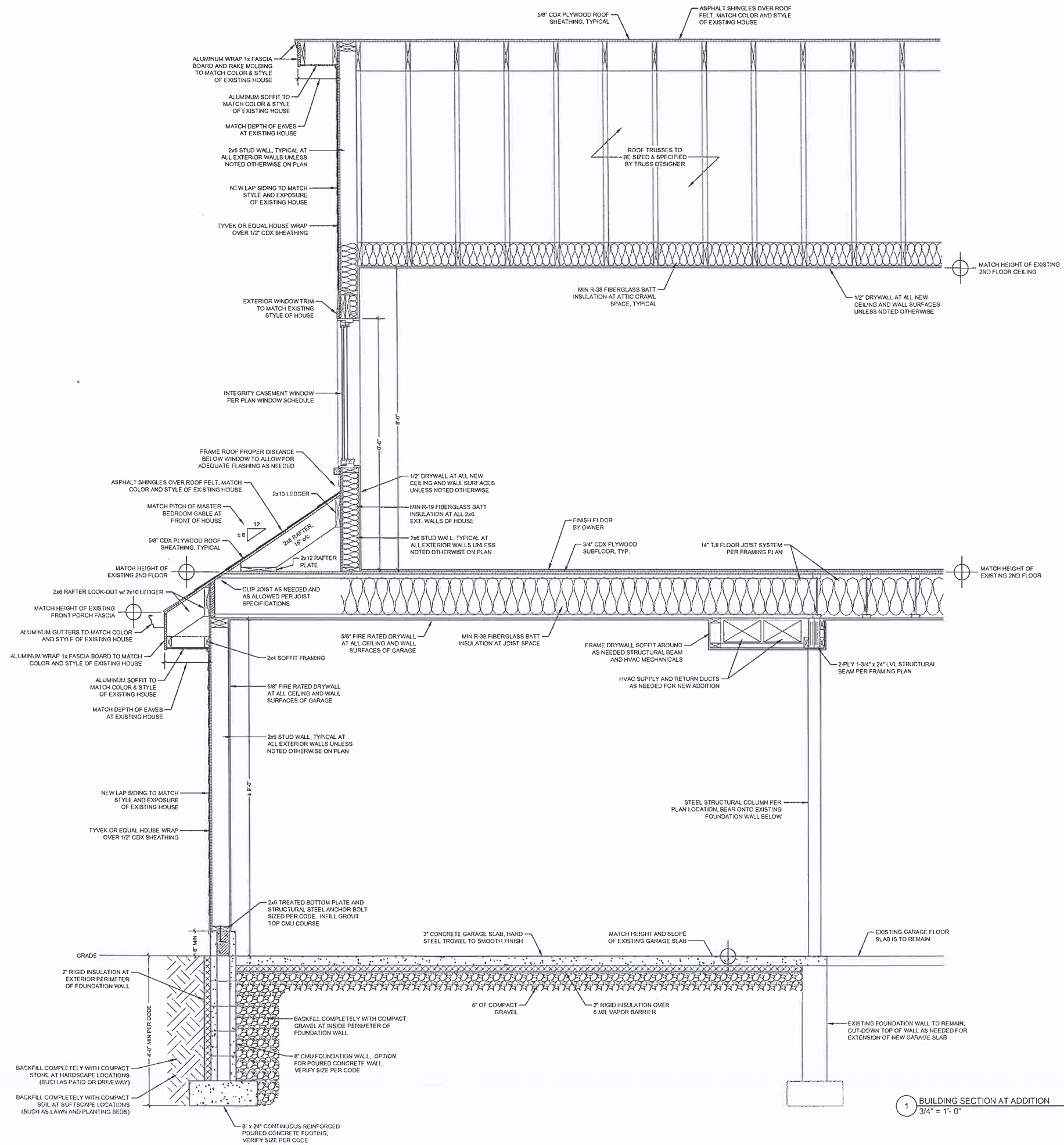
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A4.1



1 BUILDING SECTION AT ADDITION
3/4" = 1'-0"

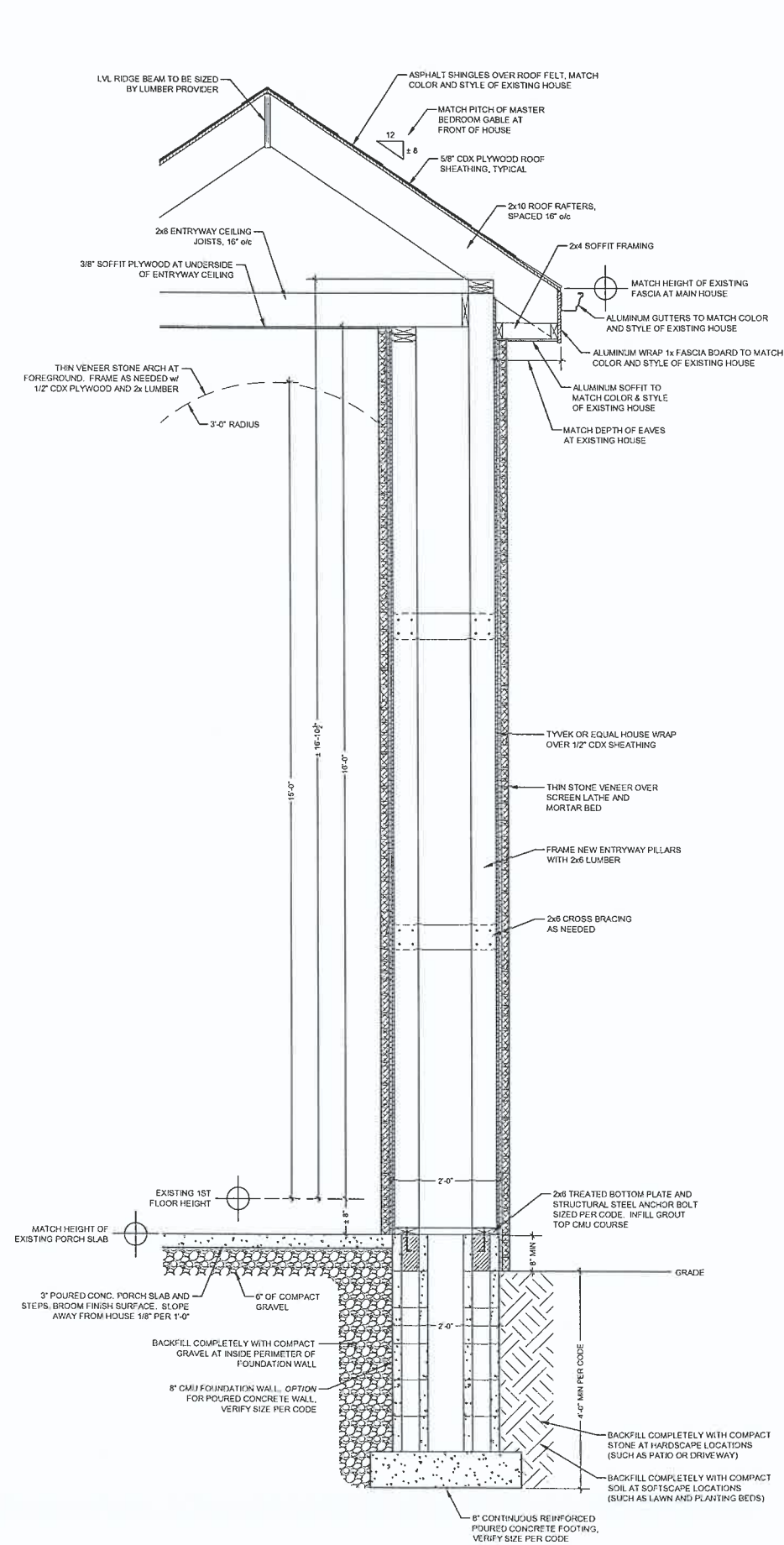
1	PRELIMINARY
2	BID SET - JUNE 6, 2017
3	CONSTRUCTION SET - NOVEMBER 3, 2017

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N112 W20569 MEQUON ROAD
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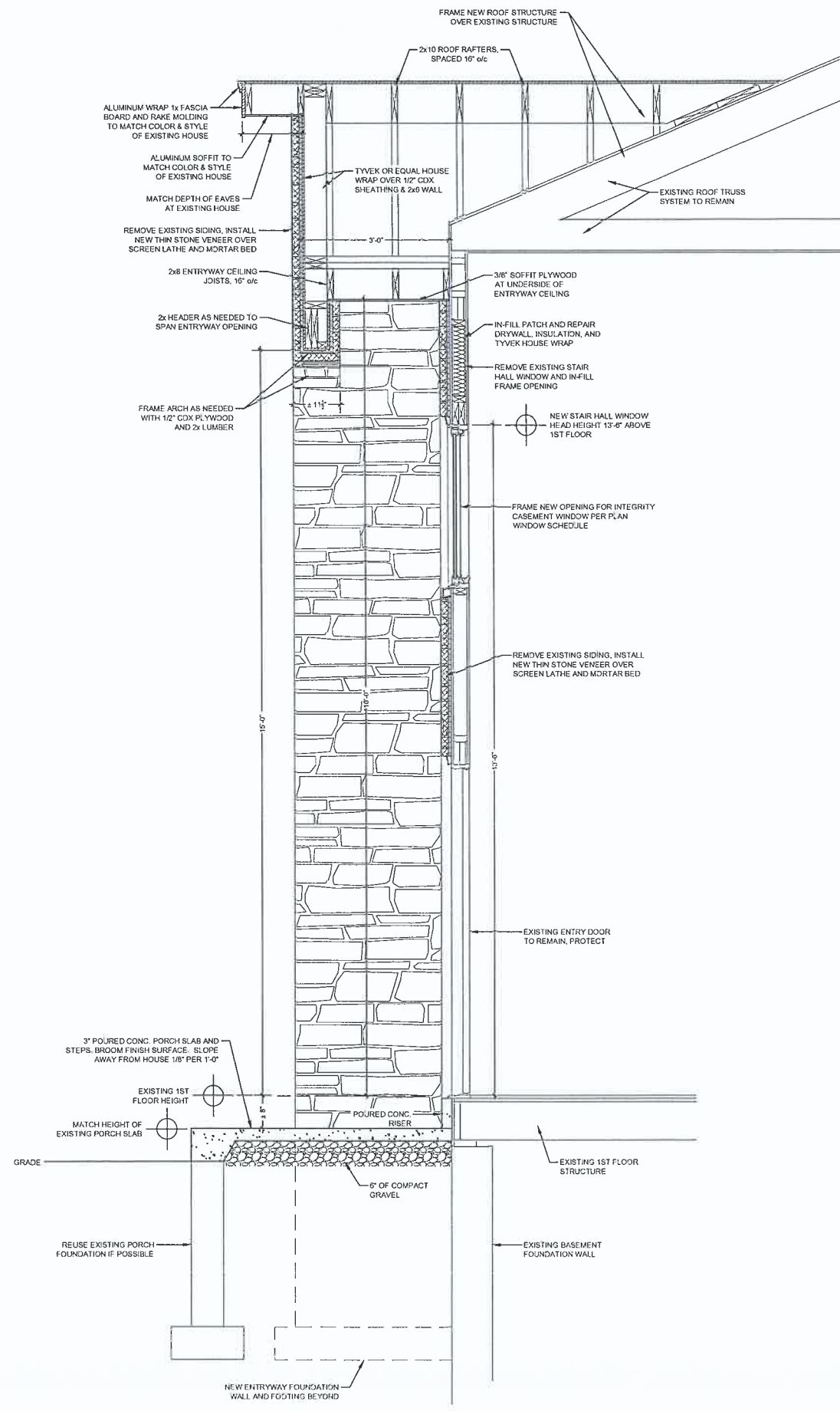
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1 BUILDING SECTION AT ENTRYWAY
3/4" = 1'-0"



2 BUILDING SECTION AT ENTRYWAY
3/4" = 1'-0"

DAVIS HOUSE REMODEL
 N112 W20569 MEQUON ROAD
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 GERMANTOWN, WI 53022
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 NOV. 3, 2017

PRELIMINARY	BID SET - JUNE 6, 2017
1	2
3	CONSTRUCTION SET - NOVEMBER 3, 2017

1ST FLOOR WINDOW SCHEDULE																
ROOM NAME	WINDOW	---- WINDOW ----							---- EXTERIOR FINISH ----				---- INTERIOR FINISH ----			
		TYPE	MODEL	ROUGH OP.	HEAD HEIGHT	OPERATION	GLASS TYPE	* SCREEN	MATERIAL	TRIM STYLE	FINISH	GRILLES	MATERIAL	FINISH	JAMB SIZE	HARDWARE
STAR HALL	1	** 2-WIDE CASEMENT	INTEGRITY WOOD-ULTREX ICA 3769 2W	6'-1" x 4'-11 1/2"	6'-8" A.F.F.	ALL UNITS OPERABLE HINGE LEFT / RIGHT	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	** 6'-0"16"	TBD
FLEX SPACE	2	** CASEMENT	INTEGRITY WOOD-ULTREX ICA 3338	2'-0" x 3'-3 3/4"	6'-8" A.F.F.	HINGE LEFT FROM EXTERIOR	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	** 6'-0"16"	TBD

* ALL INTEGRITY SCREENS ARE TO BE CHARCOAL FIBERGLASS MESH WITH ALUMINUM FRAME TO MATCH STONE WHITE WINDOW FINISH.

** NEW WINDOW IN EXISTING WALL. FIELD VERIFY EXISTING JAMB WIDTH.

2ND FLOOR WINDOW SCHEDULE																
ROOM NAME	WINDOW	---- WINDOW ----							---- EXTERIOR FINISH ----				---- INTERIOR FINISH ----			
		TYPE	MODEL	ROUGH OP.	HEAD HEIGHT	OPERATION	GLASS TYPE	* SCREEN	MATERIAL	TRIM STYLE	FINISH	GRILLES	MATERIAL	FINISH	JAMB SIZE	HARDWARE
STAR HALL	1	** STATIONARY CASEMENT	INTEGRITY WOOD-ULTREX ICA 2939	2'-5" x 3'-3 3/4"	13'-6" ABOVE 1ST FLOOR	STATIONARY	STANDARD L6E2 IG	NONE	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	** 6'-0"16"	NONE
FLEX SPACE	2	** 2-WIDE CASEMENT	INTEGRITY WOOD-ULTREX ICA 3747 2W	6'-1" x 3'-11 1/2"	7'-0" A.F.F.	ALL UNITS OPERABLE HINGE LEFT / RIGHT	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	** 6'-0"16"	TBD
2ND FLOOR OFFICE	3	2-WIDE CASEMENT	INTEGRITY WOOD-ULTREX ICA 2339 2W	4'-0" x 3'-3 3/4"	7'-0" A.F.F.	ALL UNITS OPERABLE HINGE LEFT / RIGHT	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BEDROOM 3	4	2-WIDE CASEMENT	INTEGRITY WOOD-ULTREX ICA 2639 2W	4'-0" x 3'-3 3/4"	6'-8" A.F.F.	ALL UNITS OPERABLE HINGE LEFT / RIGHT	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BEDROOM 3	5	CASEMENT	INTEGRITY WOOD-ULTREX ICA 3347	2'-0" x 3'-11 1/2"	6'-8" A.F.F.	HINGE RIGHT FROM EXTERIOR	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BEDROOM 3	6	CASEMENT	INTEGRITY WOOD-ULTREX ICA 2147	1'-9" x 3'-11 1/2"	6'-8" A.F.F.	HINGE LEFT FROM EXTERIOR	STANDARD L6E2 IG	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BEDROOM 4	7	CASEMENT	INTEGRITY WOOD-ULTREX ICA 2147	1'-9" x 3'-11 1/2"	6'-8" A.F.F.	HINGE RIGHT FROM EXTERIOR	STANDARD L6E2 IG TEMPERED	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BEDROOM 4	8	CASEMENT	INTEGRITY WOOD-ULTREX ICA 3347	2'-0" x 3'-11 1/2"	6'-8" A.F.F.	HINGE LEFT FROM EXTERIOR	STANDARD L6E2 IG TEMPERED	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BEDROOM 4	9	2-WIDE CASEMENT	INTEGRITY WOOD-ULTREX ICA 3747 2W	4'-0" x 3'-3 3/4"	6'-8" A.F.F.	ALL UNITS OPERABLE HINGE LEFT / RIGHT	STANDARD L6E2 IG TEMPERED	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD
BATH 3	10	CASEMENT	INTEGRITY WOOD-ULTREX ICA 3355	2'-0" x 4'-7 1/2"	6'-8" A.F.F.	HINGE RIGHT FROM EXTERIOR	STANDARD L6E2 IG TEMPERED	* FULL SCREEN	ULTREX	NONE	STONE WHITE	NONE	WOOD	PRE-FINISH WHITE	6'-0"16"	TBD

* ALL INTEGRITY SCREENS ARE TO BE CHARCOAL FIBERGLASS MESH WITH ALUMINUM FRAME TO MATCH STONE WHITE WINDOW FINISH.

** NEW WINDOW IN EXISTING WALL. FIELD VERIFY EXISTING JAMB WIDTH.

2ND FLOOR DOOR SCHEDULE														
ROOM NAME	DOOR	---- DOOR ----					---- JAMB & CASING ----				HARDWARE			
		TYPE / MODEL #	PANEL STYLE	* HINGE SWING	SIZE WxHxT	MATERIAL	FINISH	JAMB MATERIAL	FINISH	JAMB SIZE	INTERIOR CASING	TYPE	FINISH	
BEDROOM 2	A	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	* LEFT	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	** 4'-9"16"	BY OWNER	PRIVACY LOCK		TBD
BEDROOM 2	B	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	DOUBLE SLIDING DOOR	6'-0" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	SLIDING DOOR		TBD
BATH 3	C	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	* RIGHT	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	PRIVACY LOCK		TBD
BATH 3	D	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	DOUBLE DOOR - HINGED	3'-0" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	DUMMY KNOW w/ BALL CATCH		TBD
BATH 3	E	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	POCKET DOOR	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	POCKET DOOR PRIVACY LOCK		TBD
HALL	F	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	DOUBLE DOOR - HINGED	3'-0" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	DUMMY KNOW w/ BALL CATCH		TBD
BEDROOM 3	G	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	* LEFT	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	PRIVACY LOCK		TBD
BEDROOM 3	H	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	* LEFT	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	PRIVACY LOCK		TBD
BEDROOM 4	J	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	* RIGHT	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	PRIVACY LOCK		TBD
BEDROOM 4	K	PRE-HUNG INTERIOR DOOR, PAINT GRADE WOOD, MFG & MODEL TBD	6-PANEL TO MATCH STYLE OF HOUSE	* RIGHT	2'-8" x 6'-8" x 1 1/2"	PAINT GRADE PINE OR POPLAR	PAINT	PAINT GRADE PINE OR POPLAR	PAINT	4'-9"16"	BY OWNER	PRIVACY LOCK		TBD

* HINGE SWING IS DETERMINED BY WHAT SIDE THE HINGE KNUCKLES ARE ON WHEN THE DOOR SWINGS TOWARD YOU (SEE PLAN AS REFERENCE).

** NEW DOOR IN EXISTING WALL. FIELD VERIFY EXISTING JAMB WIDTH.

PRELIMINARY	
BID SET - JUNE 6, 2017	
CONSTRUCTION SET - NOVEMBER 3, 2017	
1	
2	
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GERMANTOWN, WI 53022	

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