MEETING:	**REGULAR MEETING OF THE VILLAGE BOARD**
DATE & TIME:	**Monday, October 6, 2025 at 7:00 PM**
LOCATION:	**Germantown Village Hall Board Room** **N112 W17001 Mequon Road**

Any member of the body and/or citizen may attend the meeting virtually through the WebEx platform, Meeting **#:2551 455 8667** Password: **ywM4qU5krp2** which can be accessed by phone at **408-418-9388** or by clicking the link below: **https://villageofgermantown.my.webex.com/villageofgermantown.my/j.php?MTID=m49bcd70fc98c6f1696315d2744b3586a**

Citizens not wishing to attend the meeting personally or virtually may submit any public comments by sending an email to **comments@germantownwi.gov** by 4 p.m. on the day of the meeting so that it can be provided to the members of the body for their consideration. Previously recorded VillageBoard Meeting Videos can be viewed at **https://www.youtube.com/channel/UCOYp0EgELzTCa9X_iCohyhQ**

AGENDA

I. CALL TO ORDER: *This meeting has been given public notice in accordance with Section 19.83 and 19.84, Wis. Stats, in such form that will apprise the general public and news media of subject matter that is intended for consideration and action.*

II. ROLL CALL:

III. PLEDGE OF ALLEGIANCE / MOMENT OF SILENCE:

IV. PRESIDENT'S REPORT:

V. ANNOUNCEMENTS OF FORTHCOMING EVENTS OF PUBLIC INTEREST / COMMITTEE AND DEPARTMENT REPORTS:

VI. CITIZEN INPUT: *(Please be advised per 19.84(2) that information and comment will be received from the public. It is the policy of this municipality that public input be limited to a four (4) minute period per person with a time extension granted at the discretion of the Chairperson. Be advised that there may be limited discussion of the information received but no action will be taken under public comments.) Comments that may be injurious to village personnel or other individuals will not be allowed.*

VII. CONSENT AGENDA:

A. September 22, 2025, Minutes (ACTION)

B. Fleet Farm Octoberfest Outdoor Entertainment Permit Application - N96W18200 County Line Rd (ACTION)

VIII. UNFINISHED BUSINESS:

IX. PUBLIC HEARINGS:

X. NEW BUSINESS:

A. A Resolution joining Washington County to support the reversal of the EPA non-attainment designation for portions of Washington County. (ACTION)

B. Impact General, Agent for Grant Dr Germantown WI LLC, Property Owner, and TCI Allient Power. Certified Survey Map (CSM) to combine two (2) existing parcels into one (1) parcel totaling 12.45 acres. Property located at W132N10611 Grant Drive in the Germantown Business Park. (ACTION)

C. Update on the 2026 Budget Process (DISCUSSION)

D. 5-Year Capital Improvement Plan (ACTION)

XI. ADJOURNMENT:

UPON REASONABLE NOTICE, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please contact the Village Clerk at (262)250-4745 at least 2 days prior to the meeting.

Notice is hereby given that a possible quorum of other boards, committees, and/or commissions may attend this meeting to gather information about an item over which they have decision-making responsibility. This may constitute a meeting of these bodies per State ex rel. Badke v Greendale Village Board, even though these bodies will not take formal action at this meeting.

MEETING:	**REGULAR MEETING OF THE VILLAGE BOARD**
DATE AND TIME:	**Monday, September 15, 2025 7:00 PM**
LOCATION:	**Germantown Village Hall Board Room** **N112 W17001 Mequon Road**

MINUTES

I. CALL TO ORDER: *This meeting has been given public notice in accordance with Section 19.83 and 19.84, Wis. Stats, in such form that will apprise the general public and news media of subject matter that is intended for consideration and action.*

Village President Bob Soderberg called the Village Board meeting to order at 7:12 PM.

II. ROLL CALL:

Present: Trustee Robert Warren, Trustee Meg Cutts, Trustee David Baum, Trustee Jan Miller, Trustee Kristen Borst, Trustee Jolene Pieper, Trustee Rick Miller, Trustee Terri Kaminski, Village President Bob Soderberg
Also Present: Village Clerk Donna Ott, Village Attorney Brian Sajdak, Village Administrator Steve Kreklow

III. PLEDGE OF ALLEGIANCE / MOMENT OF SILENCE:

IV. PRESIDENT'S REPORT:

Village President Soderberg spoke regarding tragic events and the anniversary of September 11th; road and water main construction updates; plans for considering a multi-family housing policy and neighborhood meetings regarding the 2050 Plan; FEMA aid applications; an upcoming water seminar hosted by the Chamber of Commerce; and an update on the audit conducted on the Village Center District transactions.

A. Proclamation Recognizing the Emergency Responders and Staff of the Village of Germantown for Their Dedicated Service During the August 2025 Flooding Emergency (ACTION)

Village President Soderberg read the proclamation aloud and presented it to Village Administrator Kreklow.

V. ANNOUNCEMENTS OF FORTHCOMING EVENTS OF PUBLIC INTEREST / COMMITTEE AND DEPARTMENT REPORTS:

Trustees provided dates and times of upcoming meetings and events.

DRAFT

VI. CITIZEN INPUT: *(Please be advised per 19.84(2) that information and comment will be received from the public. It is the policy of this municipality that public input be limited to a four (4) minute period per person with a time extension granted at the discretion of the Chairperson. Be advised that there may be limited discussion of the information received but no action will be taken under public comments.) Comments that may be injurious to village personnel or other individuals will not be allowed.*

Lynne Bednarz (W156N10121 Pawnee Ct) spoke regarding redevelopment.

Dominic Damico (W165N10603 Wagon Trl) spoke regarding construction on Wagon Trail.

Scott Hefle (W159N10514 Old Farm Rd) spoke regarding the Village budget.

Village Administrator Kreklow read the following citizen comments into the record:

- Bill and Carol Schneider submitted comments regarding New Business Item B (Communication and Recording of Public Meetings).

VII. APPOINTMENTS TO BOARDS, COMMITTEES, OR COMMISSIONS:

A. Administrative Appeals Review Board (ACTION)

1. Jolene Pieper

Motion: Appoint Trustee Pieper to serve on the Administrative Appeals Review Board
Motioned By: Jan Miller
Seconded By: Terri Kaminski

Yes: Robert Warren, Meg Cutts, Jan Miller, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski, Bob Soderberg
No: David Baum
Abstain: None

Motion Carried by Voice Vote (Yes 8, No 1, Abstained 0)

B. Economic Development Commission (ACTION)

Motion: Appoint Melanie Smythe and Jeff Voyer to serve on the Economic Development Commission
Motioned By: Jan Miller
Seconded By: Meg Cutts

Motion: Split the Question
Motioned By: Jolene Pieper
Seconded By: David Baum

DRAFT

Yes: Robert Warren, David Baum, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski
No: Meg Cutts, Jan Miller, Bob Soderberg
Abstain: None

Motion Carried by Voice Vote (Yes 6, No 3, Abstained 0)

1. Melanie Smythe

Split Motion: Appoint Melanie Smythe to serve on the Economic Development Commission

Yes: Meg Cutts, Jan Miller, Kristen Borst, Jolene Pieper, Terri Kaminski, Bob Soderberg
No: Robert Warren, David Baum, Rick Miller
Abstain: None

Motion Carried by Voice Vote (Yes 6, No 3, Abstained 0)

2. Jeffrey Voyer

Split Motion: Appoint Jeff Voyer to serve on the Economic Development Commission

Yes: Meg Cutts, Jan Miller, Kristen Borst, Rick Miller, Terri Kaminski, Bob Soderberg
No: Robert Warren, David Baum, Jolene Pieper
Abstain: None

Motion Carried by Voice Vote (Yes 6, No 3, Abstained 0)

VIII. CONSENT AGENDA:

Motion: Approve Items A-J as presented
Motioned By: Rick Miller
Seconded By: Meg Cutts

Request: Pull Item D for discussion and separate vote
Requested By: Jolene Pieper

Request: Pull Item F and Item J for discussion and separate vote
Requested By: Jan Miller

Revised Motion: Approve Items A-C, E, G-I as presented

Yes: Robert Warren, Meg Cutts, David Baum, Jan Miller, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski, Bob Soderberg
No: None
Abstain: None

DRAFT

Motion Carried by Roll Call Vote (Yes 9, No 0, Abstained 0)

A. Minutes: September 2, 2025 (ACTION)

B. Budget amendment increasing the 2025 Well 7 Rehabilitation capital project by $38,000. (ACTION)

C. Award of the Well #7 rehab project to CTW for $114,060.00 and authorization to spend the full project budget. (ACTION)

D. Street and park tree pruning project to Crawford Tree & Landscape Services in an amount not to exceed $39,707.45. (ACTION)

Motion: Approve as presented
Motioned By: David Baum
Seconded By: Terri Kaminski

Yes: Robert Warren, Meg Cutts, David Baum, Jan Miller, Kristen Borst, Rick Miller, Terri Kaminski, Bob Soderberg
No: Jolene Pieper
Abstain: None

Motion Carried by Roll Call Vote (Yes 8, No 1, Abstained 0)

E. Service contract with Great Lakes for stormwater system cleaning and CCTV for $29,975. (ACTION)

F. MMSD Workplan for a PPI&I and sanitary sewer relay project in Kuhn's Pleasant View subdivision. (ACTION)

Motion: Approve as presented
Motioned By: Terri Kaminski
Seconded By: David Baum

Yes: Robert Warren, Meg Cutts, Jan Miller, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski, Bob Soderberg
No: David Baum
Abstain: None

Motion Carried by Voice Vote (Yes 8, No 1, Abstained 0)

G. State/Municipal Financial Agreement for the Signals and ITS Standalone Program (SISP) for traffic signal and street light improvements to the Country Line Road and Appleton Ave intersection. (ACTION)

DRAFT

H. Application for Transfer of Combination "Class A" Fermented Malt Beverage and Intoxicating Liquor License for Kwik Trip (ACTION)

I. Memorandum of Understanding with Germantown School District for School Resource Officers for July 2025 - June 2027 (ACTION)

J. Soccer Club Soccer Field Landscaping Project (ACTION)

Motion: Approve as presented
Motioned By: David Baum
Seconded By: Jolene Pieper

Yes: Robert Warren, Meg Cutts, David Baum, Jan Miller, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski, Bob Soderberg
No: None
Abstain: None

Motion Carried by Voice Vote (Yes 9, No 0, Abstained 0)

IX. UNFINISHED BUSINESS:

X. PUBLIC HEARINGS:

XI. NEW BUSINESS:

A. Resolution Disallowing the Claim of Lalisa Squire (ACTION)

Motion: Allow the claim of Lalisa Squire
Motioned By: Terri Kaminski
Seconded By: David Baum

Yes: Meg Cutts, David Baum, Jan Miller, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski, Bob Soderberg
No: Robert Warren
Abstain: None

Motion Carried by Roll Call Vote (Yes 8, No 1, Abstained 0)

B. Communication and Recording of Public Meetings (DISCUSSION & POSSIBLE ACTION)

Motion: Begin recording Economic Development Commission, Park & Recreation Commission, and Tourism Commission meetings, and create a written policy for future implementation
Motioned By: Jan Miller
Seconded By: Kristen Borst

DRAFT

Yes: Meg Cutts, Jan Miller, Kristen Borst, Jolene Pieper, Rick Miller, Terri Kaminski, Bob Soderberg
No: Robert Warren, David Baum
Abstain: None

Motion Carried by Voice Vote (Yes 7, No 2, Abstained 0)

XII. ADJOURNMENT:

Village President Soderberg adjourned the Village Board meeting at 8:37 PM.

DRAFT

BUSINESS OF THE VILLAGE BOARD

MEETING DATE: October 6, 2025

PLACEMENT: Action Item

ITEM TITLE: Fleet Farm Octoberfest Outdoor Entertainment Permit Application - N96W18200 County Line Rd (ACTION)

SUBMITTED BY:

SUMMARY EXPLANATION:

ATTACHMENT:

1. 4485_001

STAFF RECOMMENDATION:

ACTION BY COMMITTEE:

Village of Germantown

N112 W17001 Mequon Road
Germantown, WI 53022

Permit Year Runs: July 1st until June 30th

OUTDOOR ENTERTAINMENT PERMIT APPLICATION

- Additional permits or approvals may be required by other Departments (sign permits, temporary use permits, building permits, electrical permits, liquor license, etc.). You are responsible for obtaining those permits prior to approval of this application. Contact Community Development at 250-4735 for further information.
- Approved annual permits are valid July 1 – June 30, or upon issuance. Temporary permits are valid during the dates identified on the Permit. If there are any changes to a previously approved permit application, an amended approval will be needed.
- **IF YOUR APPLICATION SHOULD BE DENIED BY THE VILLAGE BOARD, THE FEES ARE NON-REFUNDABLE.**

☐	Annual Permit	$200
■	Temporary Permit: 1st and 2nd Permits within *Permit Year*	$0
☐	Temporary Permit – 3rd Permit and subsequent	$75
	Total:	0

Applicant Name	Phone Number	Email
Tim Geschke	262-255-1420	timothy.geschke@fleetfarm.com

Applicant Business Name (if applicable)
Fleet Farm

Applicant Business Street Address	City	State	Zip
N96W18200 County Line Road	Germantown	WI	53022

Describe the area where the outdoor entertainment permit will be utilized, including the property address and a description of the area on the Property to be utilized. You MUST include a detailed, scale drawing of the area with dimensions, locations of speakers, televisions, performance location, and the like.

Germantown Fleet Farm (N96W18200 County Line Road) will be using the north end of our parking lot in front of our yard area to include a single guitar player under a portable tent

Describe the hours of outdoor entertainment. For Temporary Permits, List Dates and Hours of Event. For Annual Permits, List Proposed Days and Hours of outdoor entertainment (*e.g.*, Between June 1 and September 30, Fridays 4pm to 8pm, Saturdays Noon to 9 pm). You MUST include a detailed plan of operation setting forth the dates, hours, location, type and scope of the operation for all outdoor entertainment.

The event will run October 18 from 11 AM - 6 PM, the live music will from 11 AM -2 PM. It will be a single guitar player under a portable tent. He will have speakers under the tent facing HWY 175.

I hereby certify that the answers on this application are complete, true and correct to the best of my knowledge and belief and
make application for an Outdoor Entertainment Permit in the Village of Germantown, Wisconsin, subject to the provisions and limitations of Wisconsin Statutes and Germantown Municipal Code, and hereby agree to comply with

Applicant _____ Date 8/29/2025

For Office Use Only: Date: 8-29-25 Initials: KM Amount Paid: 0 Receipt # n/a

Community Development Review: 8/29 Plan Commission Date (if applicable): —

Police Chief Date Notified 8/29 Approve X or Deny____ (Attach basis for denial). Police Chief or Designee:_____ Date: 8/29

Fire Chief Date Notified 8/29 Approve X or Deny____ (Attach basis for denial). Fire Chief or Designee: _____ Date: 9/8

500 foot Notice Mailing date 9/18 Public Safety Meeting Date 10/6 Approved/Denied (Circle One)

Village Board Meeting Date 10/6 Approved/Denied (Circle One) Permit Number:_____ Village Clerk Approval:___

October 18th 2025 Germantown Fleet Farm Octoberfest Plan:

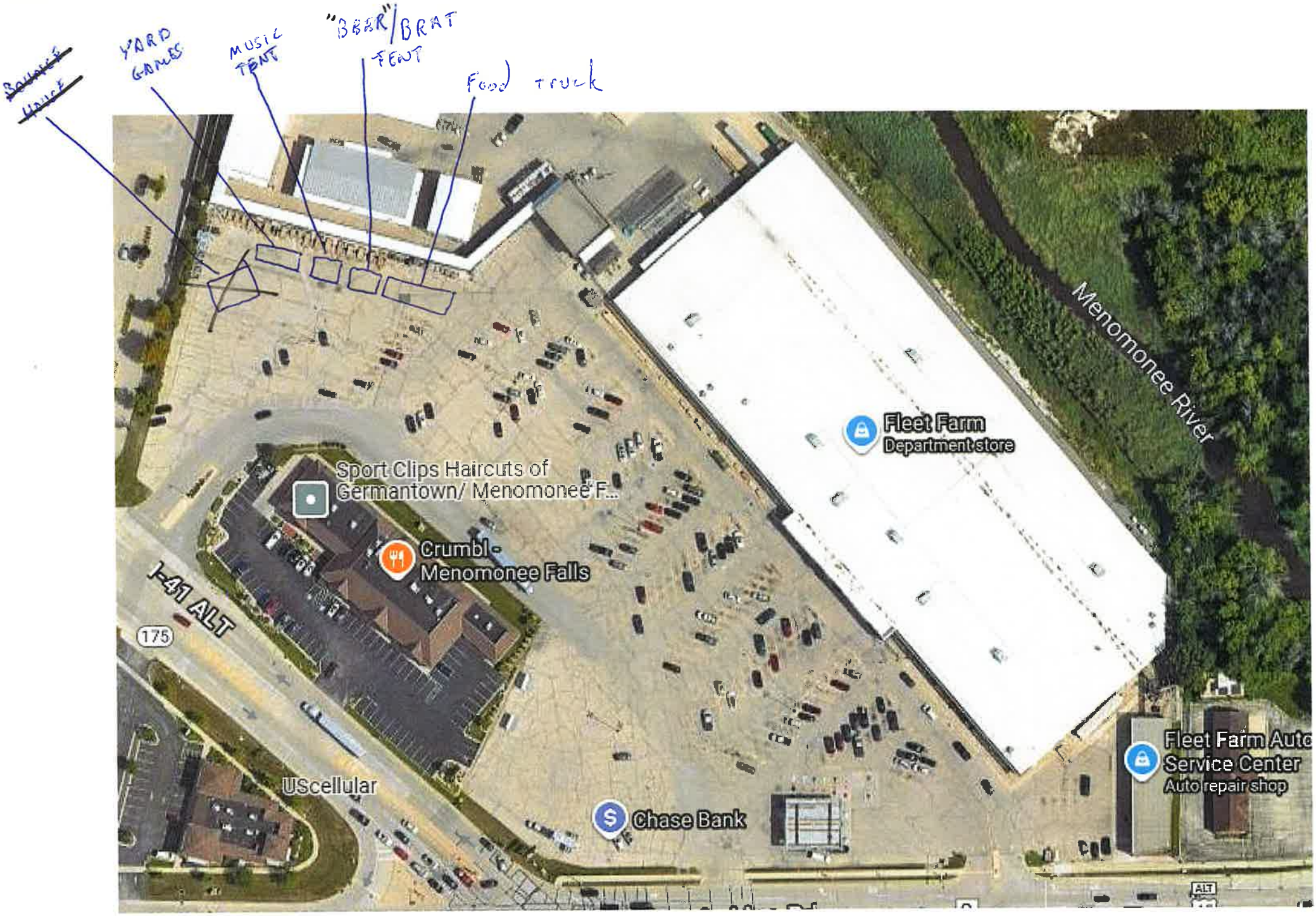
Germantown Fleet Farm intends to have a family outdoor event from 11 AM – 6 PM at the north end of the parking lot. This event will include ~~a bounce house and~~ outdoor games for kids, a food truck, Deutschstaldt Heritage Foundation will be serving ~~German Beers~~ beverages, and a live music guitar player will be present under a portable tent. Fleet Farm management will be handling all security for the event, we are present in bright yellow vests. The number of team members will be adjusted and based on the crowd size, anywhere from two to five team members. We will be sectioning off the north portion of the parking lot before store open on Saturday morning and leave it closed off to vehicles until after the event finishes. Customers will be able to enter and leave VIA County Line Road. We will leave a drive lane to still be able to enter and exit from HWY 175. We just will not have any vehicle parking there. We will have garbage containers at the event to take care of any liter / garbage, and any concerns can be called into the store. The store operator will transfer the call to management.

The Deutschstaldt Heritage Foundation will be handling all ~~alcohol~~ beverage sales. They will work with Germantown Fleet Farm management to inform us if there is anyone being unruly. Anyone being unruly will be asked to leave and if needed we will notify the Germantown Police for assistance.

Thank you,

Germantown Fleet Farm management team

* Tent for guitar and ~~beer~~ beverage/brat area are standard 12'x12' pop up canopies.


~~Bounce House~~
YARD GAMES
MUSIC TENT
"BEER"/BRAT TENT
Food truck
Menomonee River
Fleet Farm
Department store
Sport Clips Haircuts of Germantown/ Menomonee F...
Crumbl - Menomonee Falls
I-41 ALT
175
UScellular
Chase Bank
Fleet Farm Auto Service Center
Auto repair shop
ALT

BUSINESS OF THE VILLAGE BOARD

MEETING DATE: October 6, 2025

PLACEMENT: Action Item

ITEM TITLE: A Resolution joining Washington County to support the reversal of the EPA non-attainment designation for portions of Washington County. (ACTION)

SUBMITTED BY: Matthew Mortwedt, Public Works Director

SUMMARY EXPLANATION:

Washington County Board Chair Jeffrey Schleif will be present to outline the issue and ask for the Village's support.

The attached resolution identifies the issue.

ATTACHMENT:

1. Resolution 19-2025 EPA Non-Attainment
2. MultiCO_EPA_DraftLTR new header no logos
3. Clean Air Act must be amended to end EPA mandates

STAFF RECOMMENDATION:

ACTION BY COMMITTEE:

STATE OF WISCONSIN VILLAGE OF GERMANTOWN WASHINGTON COUNTY

RESOLUTION NO. 19-2025

A RESOLUTION SUPPORTING REVERSAL OF THE US ENVIRONMENTAL PROTECTION AGENCY DECISION CLASSIFYING PORTIONS OF WASHINGTON COUNTY AS SERIOUS NONATTAINMENT FOR THE 2015 OZONE NATIONAL AMBIENT AIR QUALITY STANDARD

WHEREAS, the Clean Air Act requires the United States Environmental Protection Agency (EPA) to set national ambient air quality standards (NAAQS) for "criteria pollutants." Currently, ozone and related photochemical oxidants, and five other major pollutants are listed as criteria pollutants including carbon monoxide, lead, nitrogen oxides, particulate matter and sulfur oxides; and

WHEREAS, the Clean Air Act identifies two types of NAAQS. Primary standards which provide public health protection, including protecting the health of "sensitive" populations such as asthmatics, children, and the elderly and Secondary standards which provide public welfare protection, including protection against decreased visibility and damage to animals, crops, vegetation, and buildings; and

WHEREAS, if the EPA determines that pollution levels in an area exceed a NAAQS or an area contributes to ambient air quality in a nearby area that fails to meet a primary or secondary NAAQS, it may designate that location as a nonattainment area meaning that the area exceeds a standard for one or more criteria and the designated area becomes subject to a state implementation plan that must impose emission reduction requirements on emission sources in that area sufficient to return to attainment; and

WHEREAS, the EPA is required to periodically review relevant scientific data to ensure that the NAAQS provide the requisite protection for public health and welfare; and

WHEREAS**,** where portions of Washington County were designated as a marginal nonattainment area for ozone in 2015 and were redesignated as a moderate nonattainment area in 2021; and

WHEREAS, in January 2025, those portions of Washington County were redesignated as serious nonattainment area (89 Fed. Reg. 101,901 (December 17, 2024) despite the fact that pollution levels along the Lake Michigan shoreline as measured in Wisconsin have dropped 22% in the last 20 years and ambient air ozone concentrations in Washington County are not monitored, therefore there is no evidence of air quality in Washington County exceeding the ozone NAAQS; and

WHEREAS, the EPA in conducting its review resulting in the serious redesignation failed to consider the State of Wisconsin's good faith efforts to reduce emissions, did not properly account for Washington County's ambient ozone levels having never been monitored above the ozone NAAQS, improperly concluded that pollution attributable to emission sources associated with Washington County meaningfully contribute to the elevated ozone levels monitored along Wisconsin's' Lake Michigan shoreline, and anthropogenic ozone in Washington County and the other Wisconsin ozone nonattainment areas being largely the result of polluted air migrating from upwind states including Illinois and Indiana; and

WHEREAS, the change in designation to a serious nonattainment area saddles Washington County and other southeastern Wisconsin counties including Ozaukee and Milwaukee with burdensome requirements that will chill development and slow job growth in the region despite the fact that compliance with these requirements will have minimal impact due to the pollution that will continue to migrate in from other states; and

NOW, THEREFORE, BE IT RESOLVED by the Germantown Village Board that this Board respectfully requests that the EPA reconsider and reverse the designation of portions of Washington County as serious nonattainment.

BE IT FURTHER RESOLVED that the Germantown Village Board is joined in this request by the Washington County Board of Supervisors and Washington County Executive Josh Schoemann.

BE IT FURTHER RESOLVED that the Germantown Village Clerk shall transmit a copy of this Resolution to each of Wisconsin's legislators, Wisconsin's Congressional Delegation, the Director of the US EPA, and President Donald J. Trump.

Adopted: October 6, 2025

_____
Robert A Soderberg, Village President

ATTEST:

_____
Donna Ott, Village Clerk

Wisconsin Local Governments

Kenosha County — Manitowoc County — Milwaukee County
Sheboygan County — Racine County — Washington County — Waukesha County

June 1, 2025
Re: Joint Letter of Request

Lee Zeldin, Administrator
Environmental Protection Agency
Office of the Administrator 1101A
1200 Pennsylvania Ave., N.W.
Washington, DC 20004

Honorable Administrator Zeldin:

We write to you today regarding the U.S. Environmental Protection Agency's (EPA) December 2024 decision to reclassify Wisconsin's ozone non-attainment status from "moderate" to "serious" to highlight the impact this would have on our counties, and our region.

Community leaders in our respective counties have worked hard to responsibly restore and grow our local economies. Our business, manufacturing and industry partners continue to invest in pollution control technologies and make operational adjustments to meet EPA standards. These good-faith efforts to make strides toward compliance by Wisconsin communities like ours have significantly reduced ozone concentrations along the Lake Michigan shoreline over the past two decades.

However, documented ozone pollution migrating from states such as Illinois and Indiana is continually at work against attainment here; with more than 90 percent of emissions originating from across the state line. This reclassification does not take the source of the pollution into consideration.

Unless reversed, this rule will forestall future economic development in our region, while providing only negligible improvements to air quality due to pollution migration. Implications of

this reclassification will force businesses to shoulder undue costs in an effort to comply with unachievable standards. In addition to the impact on existing businesses, we are acutely aware this action has already negatively impacted business development efforts.

We ask for your support and advocacy in requesting the EPA continue to pause implementation and amend the Clean Air Act to include a sustainable solution that addresses the source of ozone pollution. If no changes are made, our region is at significant risk of yet another status reclassification to "severe" within the next three years.

Thank you for your time and attention to this issue as we work together to develop a long-term solution that protects the communities that are not the primary source of the ozone pollution.

Sincerely,

Samantha Kerkman
Kenosha County Executive

Bob Ziegelbauer
Manitowoc County Executive

Paul Farrow
Waukesha County Executive

Alayne Krause
Sheboygan County Administrator

Ralph Malicki
Racine County Executive

Josh Schoemann
Washington County Executive

David Crowley
Milwaukee County Executive

Clean Air Act must be amended to end EPA mandates. We pay for Chicago pollution. | Opinion

The Clean Air Act must be amended to hold the Milwaukee region harmless for air pollution coming from northern Illinois and Indiana

Dale Kooyenga
Special to Milwaukee Journal Sentinel

AI-assisted summary

- Southeastern Wisconsin is facing stricter air quality regulations despite having its best air quality on record due to pollutants from neighboring states.
- The EPA's Clean Air Act designates parts of southeastern Wisconsin as non-attainment zones, forcing businesses to pay for costly mitigation efforts for pollution they aren't primarily responsible for.
- The situation puts the region at an economic disadvantage, potentially hindering growth and job creation as businesses may choose to invest elsewhere.
- The MMAC advocates for amending the Clean Air Act to hold the region harmless while urging the EPA and Wisconsin to collaborate with Illinois and Indiana on reducing their emissions.

Imagine a southeastern Wisconsin with no cars, no buildings, no people and, as a result, no emissions.

An environmental utopia? Not according to the U.S. Environmental Protection Agency. Unfortunately, air pollutants don't recognize state lines and emissions originating from northern Illinois and Indiana are moving upwind along Lake Michigan. Case in point: Ozone level

readings made in Racine show that only 3 percent of the emissions detected there are attributed to activity here in Wisconsin.

Wisconsin's air quality is actually better than ever recorded, but now the Clean Air Act's standards call for even greater air quality improvements than the region has realized over the last 30 years. It's causing big issues for our long-term economic outlook.

Wisconsin businesses end up paying for Illinois pollution

For decades, elevated ozone levels along the lake have prompted the EPA to designate all or parts of seven counties in southeastern Wisconsin – from Kenosha to Sheboygan – as non-attainment zones. This designation forces businesses to pay for costly pollution mitigation or, in some cases, limit operations to avoid triggering federal Clean Air Act requirements despite emissions not originating in Wisconsin.

An analogy: Imagine two men on a scale, one man weighs 200 pounds, the other 800 pounds. Essentially the EPA is grabbing the 200-pound man and telling him he needs to lose 500 lbs. for both to be healthy. The Clean Air Act never foresaw this scenario and it's time the issue was addressed.

Milwaukee and the area have been on a roll over the past several years. Billions of dollars in capital investment, highlighted by Microsoft's $3 billion-plus data center project in Racine County, have all signs pointing in a positive direction for economic development, job creation and all that goes with it. But that trajectory is at risk due to

these unfair and outdated mandates originating in Washington. If the issue is not corrected, you can certainly bank on our leadership in the manufacturing sector eroding. This means fewer opportunities for this generation and those to follow.

Economic development is a competitive sport. Cities and their surrounding regions across the country are fighting tooth and nail for the same expansion, relocation and start-up activity we want to see in our region. It's a game of inches and any competitive disadvantage placed on our region is a disincentive to businesses looking to invest here. These more stringent regulations could mean the difference between a win and a loss.

Clean Air Act must be amended to not punish Milwaukee region

So, what can we do? The Clean Air Act must be amended to hold the Milwaukee region harmless and, at the same time, the EPA and Wisconsin should collaboratively work with relevant parties in northern Illinois and Indiana on reducing their emissions.

Opinion: We Energies Kenosha County power plant threatens public health and environment

"Good Neighbor" laws are on the books but fail to have the teeth necessary to put enough pressure on the sources of emissions causing our increased ozone levels. The state of Wisconsin has filed suit arguing these rules aren't sufficiently stringent, but cases like this, and others across the U.S., have stalled. It's time for the Trump administration to hit the pause button on enforcement and for Congress to make better sense of the otherwise critically valued Clean Air Act.

As time grows short, MMAC and our coalition partners will fight for our business members and the economic climate in southeastern Wisconsin by advocating for policies to reduce upwind emissions. Our residents deserve to breathe clean air and our employers — and

therefore our larger community — should not pay the price for a problem they don't own.

Dale Kooyenga is president of the Metropolitan Milwaukee Association of Commerce.

BUSINESS OF THE VILLAGE BOARD

MEETING DATE: October 6, 2025

PLACEMENT: Action Item

ITEM TITLE: Impact General, Agent for Grant Dr Germantown WI LLC, Property Owner, and TCI Allient Power. Certified Survey Map (CSM) to combine two (2) existing parcels into one (1) parcel totaling 12.45 acres. Property located at W132N10611 Grant Drive in the Germantown Business Park. (ACTION)

SUBMITTED BY: Jordan Yanke, Associate Planner

SUMMARY EXPLANATION:

Impact General, Agent for Grant Dr Germantown WI LLC, Property Owner, and TCI Allient Power. Certified Survey Map (CSM) to combine two (2) existing parcels into one (1) parcel totaling 12.45 acres. Property located at W132N10611 Grant Drive in the Germantown Business Park.

ATTACHMENT:

1. STAFF REPORT_TCI ALLIENT POWER (IMPACT GENERAL)_CSM
2. APPLICATION
3. CERTIFIED SURVEY MAP (CSM)
4. ARCHITECTURAL SITE & BUILDING PLANS
5. SITE GRADING PLAN
6. LANDSCAPE PLAN
7. LIGHTING PLAN
8. STAFF REVIEW MEMOS

STAFF RECOMMENDATION:

APPROVE the proposed 1-lot Certified Survey Map (CSM) for the TCI Allient Power property located at W132N10611 Grant Drive, subject to one (1) condition.

ACTION BY COMMITTEE:

Plan Commission recommended to **APPROVE** the proposed 1-lot Certified Survey Map (CSM) for the TCI Allient Power property located at W132N10611 Grant Drive, subject to one (1) condition.

CERTIFIED SURVEY MAP (CSM) & SITE PLAN APPLICATION

10/06/25 Village Board Meeting

Impact General / Grant Dr Germantown WI LLC / TCI Allient Power

Village Staff Report & Recommendation ***Germantown, Wisconsin***

SUMMARY

Impact General, Agent for Grant Dr Germantown WI LLC, Property Owner, and TCI Allient Power. Certified Survey Map (CSM) and Site Plan application for a 39,000 sqft addition to the existing corporate office and manufacturing facility located at W132N10611 Grant Drive in the Germantown Business Park.

Location: W132N10611 Grant Drive

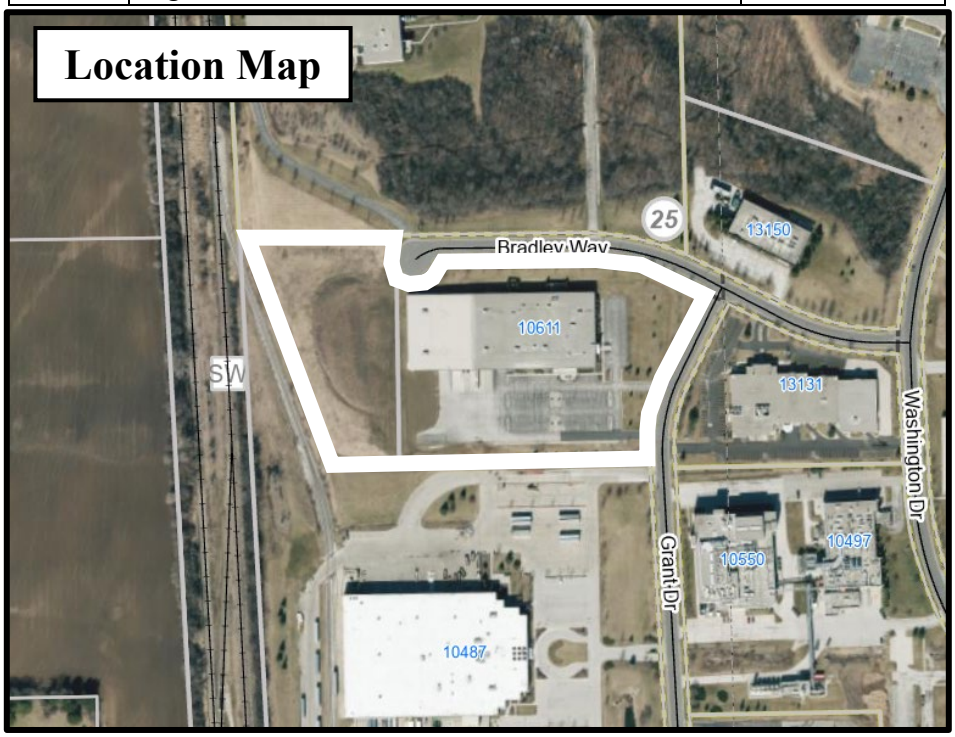
Applicant/ Owner:

Impact General
P.O. Box 132
Oconomowoc, WI 53066

Grant Dr Germantown WI LLC
600 East Ave, Suite 200
Rochester, NY 14607

Zoning: M-1: Limited Industrial

Adjacent Land Uses		Zoning
North	Industrial	M-1
South	Industrial	M-1
East	Industrial	M-1
West	Agricultural	A-1



Background/Proposal
Impact General, Agent for Grant Dr Germantown WI LLC, Property Owner, and TCI Allient Power. Certified Survey Map (CSM) and Site Plan application for a 39,000 sqft addition to the existing corporate office and manufacturing facility located at W132N10611 Grant Drive in the Germantown Business Park.

TCI Allient is the leading manufacturer of active filters and passive filters to mitigate harmonics and improve power quality (website). Originally approved for their corporate office and manufacturing facility at the subject location in 2013, the company has more recently expanded operations with a building addition in 2021. With nearly 200 employees and continued growth the company has proposed further expansion of its facility through this application and development proposal.

Certified Survey Map (CSM)
The subject site is currently comprised of two (2) parcels totaling 12.45 acres. The applicant submitted a Certified Survey Map (CSM) to combine the parcels to create one (1) lot for development purposes. The lot combination is necessary in order to accommodate the proposed building expansion and to comply with applicable zoning standards. Below are the parcels that would be combined into an individual lot:

- GTNV_253975 (8.59 Acres) – Existing Development Site
- GTNV_253976 (3.86 Acres) – Vacant

Site Plan
The total site is 12.45 acres in area with an existing 99,000 square foot corporate office and manufacturing facility, in addition to off-street parking areas and landscaping. As presented on the site plan, the proposed construction includes an approximate 39,000 square foot building addition to the existing manufacturing facility to increase storage space and add two (2) overhead dock doors for shipping/receiving purposes. More specifically, the following is a summarized list of the proposed site plan components:

- 39,000 sqft building addition (total building approximately 138,000 sqft)
- New loading dock areas with two (2) new overhead dock doors
- Building addition to match existing, including the following:
    - Precast wall panels with aggregate and raked finishes (~24ft height)
    - Reveal cuts in panels and anodized coping
    - Aluminum framing with insulated glass/door
    - Painted insulated steel door
- Portions of existing asphalt to be replaced; new asphalt and concrete areas leading into proposed overhead doors

Parking, Access, and Traffic Circulation
Access to the site will continue with two (2) access driveways from Grant Drive, with the northern access point being primarily for employees/visitor and the southern access point serving shipping/receiving operations. The proposed improvements do not include additional parking as the building addition is to increase storage space and shipping/receiving capabilities, not office space and number of employees.

Storm Water Management
The proposed addition and asphalt/concrete areas will add 0.97 acres of impervious area to the 12.45-acre site, resulting in 45% impervious lot coverage on site, or 5.63 acres (245,375 sqft) of impervious area. This percentage is below the maximum allowed percentage for the property's M-1: Limited Industrial District designation and the Business Park requirements. The property is served by an existing regional storm water basin (detention pond) located in the Business Park east of Washington Drive, which can accommodate the increase in runoff from the site per new improvements.

Landscaping and Buffering
A variety of evergreen trees, ornamental trees, and deciduous shrubs were installed throughout the site during prior development phases. The applicant has proposed additional landscaping as part of this proposal, as shown on the submitted landscape plan, to enhance screening of the site and new building addition from the public right-of-way adjacent to the north (Bradley Way).

Lighting
Additional exterior lighting is proposed with this development. The applicant submitted a lighting plan, which is included as an attachment to this memo. The plan shows eight (8) new light fixtures mounted around the building and one (1) new light pole to provide better illumination leading into the new loading dock area.

Signage
No additional exterior signage is proposed.

Staff Comments
Community Development: Planning & Zoning
The zoning for this parcel in the Germantown Business Park is M-1: Limited Industrial, and the proposed site improvements comply with the M-1 zoning district regulations. The office/manufacturing use that TCI Allient maintains at the subject location is a desirable land use under the Village's 2050 Comprehensive Plan in the Germantown Business Park District. Staff has added standard conditions of approval to this site plan application but finds the proposal consistent with the Village Zoning Code and 2050 Comprehensive Plan.

Note that one condition of approval addresses future roof-mounted equipment. If proposed as part of the building addition, new rooftop equipment (RTU) shall be screened from view by line of sight at 5' above grade from all property lines around the building and the centerline of the adjacent roadways.

Public Works/Village Engineer
The Village Engineer confirms that there is adequate capacity in the regional storm water basin in the Business Park to accommodate the proposed building expansion and associated impervious surface increase. Please reference the engineering memo dated September 4, 2025.

Village Surveyor
The Village Surveyor identified a series of minor technical corrections in a July 11, 2025, memo which is included as an attachment to this report. The applicant has since submitted a revised Certified Survey Map (CSM) addressing the Village Surveyor's comments and the revised document is under review.

Village Forester
The Village Forester has reviewed the submitted landscape plan and provided the comments below. A condition of approval has been included to address the review comments by making the landscape plan contingent upon final approval/acceptance by the Village Forester. Review comments are as follows:

- *The selected tree species need to be revised to align with the Village's comprehensive tree plan. For this project, this recommendation specifically applies to the following (6) trees that are proposed to be planted adjacent to the ROW along Bradley Way:*
    - *(3) Emerald Queen Maple*
    - *(2) Austrian Pine*
    - *(1) Skyline Honeylocust (closest to the roadway)*

VILLAGE STAFF RECOMMENDATIONS

APPROVE the proposed 1-lot Certified Survey Map (CSM) for the TCI Allient Power property located at W132N10611 Grant Drive, subject to the following condition:

1. All technical issues and corrections identified by the Village Surveyor (see July 11, 2025, memo from Bob Beilfuss, PLC) shall be addressed and reflected in a revised CSM reviewed and approved by Village staff prior to recording.

APPROVE the Site Plan application for TCI Allient Power for a 39,000 square foot building addition to an existing corporate office and manufacturing facility located at W132N10611 Grant Drive, subject to the following conditions:

1. This approval is for the various plan sheets that comprise the site development plan set as noted below and is subject to compliance with all the conditions and requirements set forth herein and subsequently adopted and/or revised by the Plan Commission. Approval is granted for the following unless superseded by subsequent plan sheets approved by Village Staff pursuant to revisions required herein and/or by the Plan Commission:
    a. *Civil engineering and grading plans dated July 7, 2025 (3 pages).*
    b. *Landscaping plan dated July 1, 2025 (1 page).*
    c. *Photometric lighting plan dated June 30, 2025 (1 page).*
    d. *Architectural site/building plans dated July 1, 2025 (6 pages).*

    If revised plan sheets are necessary, each revised sheet shall contain the date of said revision clearly stamped in the lower right corner.

2. State agency (DSPS) approved plans and a $20,000 occupancy bond are required by Inspection Services. The Village of Germantown is an authorized delegated agent of DSPS and may be used as an alternative to provide all commercial plan review and inspection services through SAFEBuilt of WI and the Village of Germantown.
3. The landscape plan shall be subject to final approval/acceptance from the Village Forester prior to commencing construction activities.
4. All temporary and permanent exterior signs require a permit and shall comply with all current Village sign regulations.
5. If proposed as part of the building addition, new rooftop equipment (RTU) shall be screened from view by line of sight at 5’ above grade from all property lines around the building and the centerline of the adjacent roadways.

Village of
Germantown
...Willkommen

Fee must accompany application
_ $2,900 with public improvements
X $1,960 no public improvements

Paid [signature] Date 07/07/25
Chk # 1098

CERTIFIED SURVEY MAP APPLICATION

Pursuant to Section 18.06 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1 APPLICANT OR AGENT

Eric Neumann, Impact General
PO Box 132
Oconomowoc, WI 53066

Phone (414)333-6800
Fax ( )
E-Mail eric@impact-gc.com

PROPERTY OWNER

GRANT DR GERMANTOWN WI LLC
600 EAST AVE, SUITE 200
ROCHESTER NY 14607

Phone (585) 537-6886

RECEIVED
JUL 07 2025
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

2

PROPERTY ADDRESS OR GENERAL LOCATION	TAX KEY NUMBER
W132 N10611 Grant Drive, Germantown, WI 53022	GTNV_253975, GTNV_253976

3 PURPOSE OF LAND SPLIT

The update to the CSM is to remove a lot line on the CSM to allow for expansion of existing building (over the old lot line now being removed)	Will the land split require rezoning? NO	
	From ?	To ?

4 READ AND INITIAL THE FOLLOWING:

Yes I understand that the Certified Survey Map is not valid until recorded at the Washington County Register of Deeds. The Village will record the document and charge the applicant all applicable recording fees.

Yes I understand that the Map will not be placed on the Village Board agenda until all the technical corrections to the CSM are made, the payment of any outstanding impact fees are paid to the Village Clerk's Department, and the original signed and stamped copy of the Map is submitted on the proper paper.

Yes I understand that parcels created outside the Sewer Service Area will require a soil test. I also understand that all properties abutting a State Highway will require DOT approval and I will be responsible for securing such approval prior to recording.

Yes I understand all delinquent property taxes on any of the properties involved shall be paid prior to recording.

5 SIGNATURES -- ALL APPLICATIONS MUST BE SIGNED BY OWNER!

Eric J Neumann, Impact General [signature] 7/7/2025
Applicant Date

Grant Dr. Germantown WI LLC
R. Alan Holland, VP 6/30/25
Owner Date

Village of
Germantown
...Willkommen

Fee must accompany application
- ☐ $700 Minor Addition
- ☐ $1,240 Construction <10,000 SF
- ☒ $2,095 Construction 10,000 SF to 50,000
- ☐ $3,460 Industrial Construction >50,000 SF
- ☐ $3,460 Commercial Construction >50,000
- ☐ $200 Plan Commission Consultation
- ☐ $125 Fire Department Plan Review

PAID [signature] DATE 07/07/25
Chk #1098

SITE PLAN REVIEW APPLICATION

Pursuant to Section 17.43 of the Municipal Code

Please read and complete this application carefully. **All applications must be signed and dated.**

1

APPLICANT OR AGENT

Eric Neumann, Impact General
PO Box 132
Oconomowoc, WI 53066

Phone (414) 333-6800
E-Mail eric@impact-gc.com

PROPERTY OWNER

GRANT DR GERMANTOWN WI LLC
600 EAST AVE, SUITE 200
ROCHESTER NY 14607

Phone (585) 537-6886
E-Mail bherman@royaloakrealtytrust.com

2

PROPERTY ADDRESS

W132 N10611 Grant Drive,
Germantown, WI 53022

RECEIVED
JUL 07 2025
OFFICE OF THE VILLAGE PLANNER
VILLAGE OF GERMANTOWN

3

NEIGHBORING USES – Specify name and type of use, e.g. Enviro Tech – Industrial, Smith – Residential, etc.

North	South	East	West
Bradley Fountain - M-1 Limited Industrial	Waste Managment - M-1 Limited Industrial	Multi Tenant M-1 Limited Industrial	Vacant - A-2 Agricultural District

4

READ AND INITIAL THE FOLLOWING:

Yes I am aware of the Village of Germantown ordinance requiring fire sprinklers in most new construction.

Yes I understand that all new development is subject to Impact and/or Connection Fees that must be paid before building permits will be issued.

Yes I understand that an incomplete application will be withdrawn from the Plan Commission agenda and that all resubmissions to the Plan Commission are subject to a new application fee.

5

SIGNATURES – ALL APPLICATION MUST BE SIGNED BY OWNER!

Eric J Neumann, Impact General Digitally signed by Eric J Neumann, Impact General DN: C=US, E=eric@impact-gc.com, O="Impact General, LLC", OU=Senior Project Consultant, CN="Eric J Neumann, Impact General" Date: 2025.07.07 09:50:08 -05'00' 7/7/2025

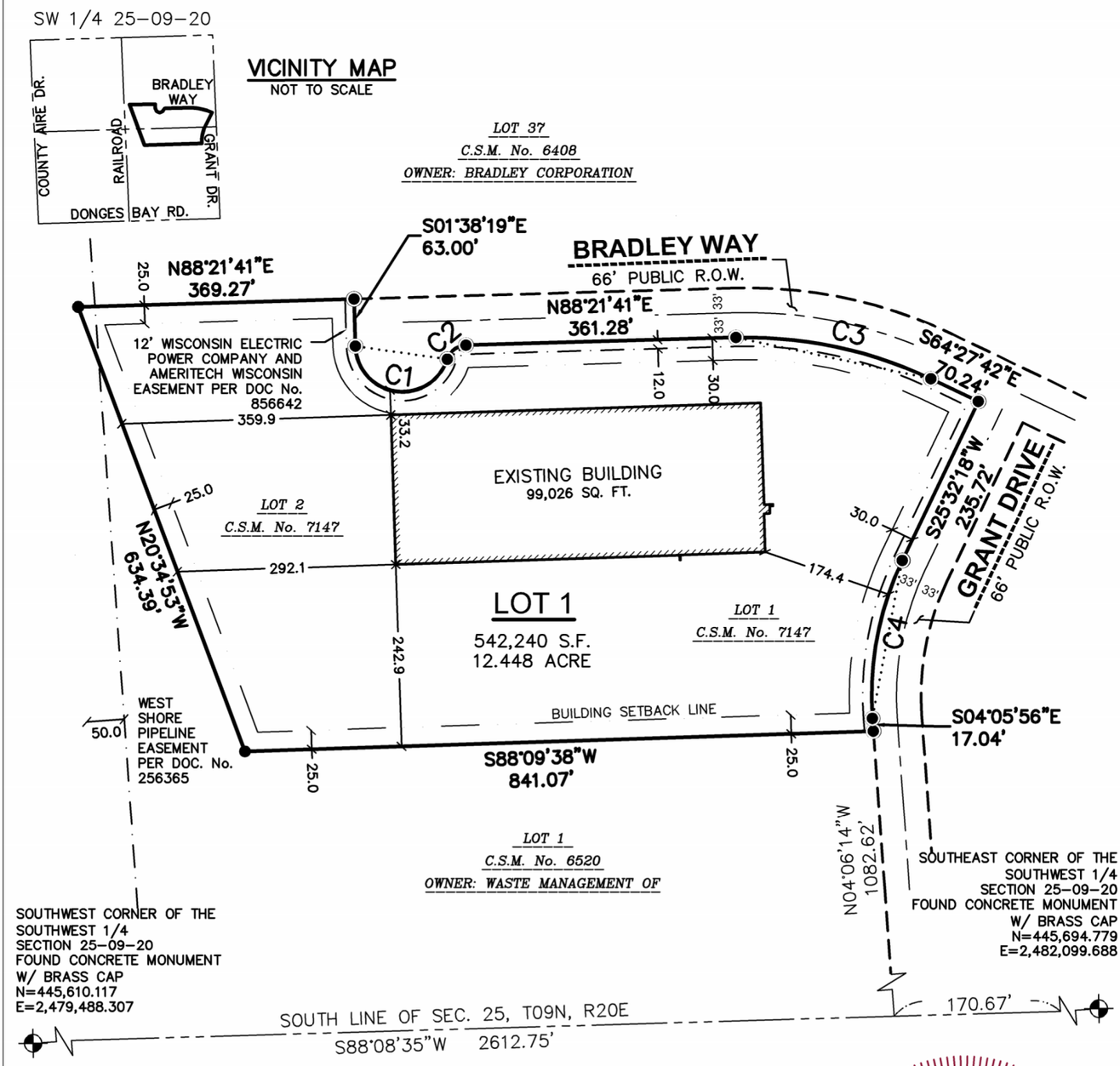
Applicant Date

Grant Dr. Germantown WI LLC
R. Ann Holland, VP 6/30/25

Owner Date

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF LOT 1 AND LOT 2, CERTIFIED SURVEY MAP NO.7147, RECORDED IN VOLUME 55, ON PAGE 72 OF CERTIFIED SURVEY MAP/PLAT AS DOCUMENT NO. 1540168, WASHINGTON COUNTY REGISTER OF DEEDS,
LOCATED IN THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, ALL IN TOWN 09 NORTH, RANGE 20 EAST,
VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN



LEGEND

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- ¾" REBAR FOUND
- PLAT BOUNDARY
- CHORD LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- PLATTED LOT LINE
- SECTION LINE
- EASEMENT LINE
- SETBACK LINE

NOTES

1. FIELD WORK PERFORMED ON FEBRUARY 14, 2025.
2. BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD83 (2011 ADJUSTMENT).
   THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 25-09-20, BEARS S88°08'35"W.
3. SEE SHEET 2 FOR LINE TABLE, EASEMENTS, AND BUILDINGS.

SCALE IN FEET
0 200'

north

WISCONSIN
CHRISTOPHER JACKSON
S-2851
WAUWATOSA, WI
LAND SURVEYOR

SURVEYED BY:	SURVEYED FOR:			
JSD MILWAUKEE REGIONAL OFFICE W238N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666	GRANT DR GERMANTOWN WI LLC W132N10611 GRANT DRIVE GERMANTOWN, WI 53022	PROJECT NO: 25-15051 FIELDBOOK/PG: - SHEET NO: 1 OF 4	SURVEYED BY: NTS DRAWN BY: CPL	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF LOT 1 AND LOT 2, CERTIFIED SURVEY MAP NO.7147, RECORDED IN VOLUME 55, ON PAGE 72 OF CERTIFIED SURVEY MAP/PLAT AS DOCUMENT NO. 1540168, WASHINGTON COUNTY REGISTER OF DEEDS, LOCATED IN THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, ALL IN TOWN 09 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN

LEGAL DESCRIPTION

ALL OF LOT 1 AND LOT 2, CERTIFIED SURVEY MAP NO.7147, RECORDED IN VOLUME 55, ON PAGE 72 OF CERTIFIED SURVEY MAP/PLAT AS DOCUMENT NO. 1540168, WASHINGTON COUNTY REGISTER OF DEEDS, LOCATED IN THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, ALL IN TOWN 09 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

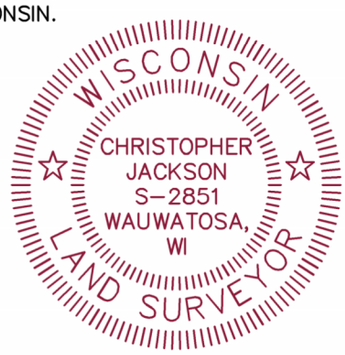
COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 25;
THENCE SOUTH 88°08'25" WEST ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4, 170.67 FEET; THENCE NORTH 04°06'14" WEST AND THEN ALONG THE WEST RIGHT OF WAY LINE OF GRANT DRIVE, 1082.62 FEET TO THE NORTH LINE OF LOT 1 OF CERTIFIED SURVEY MAP NO. 6520 AND POINT OF BEGINNING; THENCE SOUTH 88°09'38" WEST ALONG SAID NORTH LINE, 841.07 FEET; THENCE NORTH 20°34'53" WEST ALONG SAID NORTH LINE, 634.39 FEET TO THE SOUTH LINE OF CERTIFIED SURVEY MAP NO. 6408; THENCE NORTH 88°21'41" EAST ALONG SAID SOUTH LINE, 369.27 FEET TO THE RIGHT OF WAY LINE OF BRADLEY WAY; THENCE SOUTH 01°38'19" EAST ALONG SAID RIGHT OF WAY LINE, 63.00 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 176.51 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT AND SAID RIGHT OF WAY LINE, WHOSE RADIUS IS 63.00 FEET AND WHOSE CHORD BEARS SOUTH 81°54'15" EAST, 124.19 FEET TO A POINT OF REVERSE CURVE; THENCE NORTHEASTERLY 33.24 FEET ALONG THE ARC OF SAID REVERSE CURVE TO THE RIGHT, WHOSE RADIUS IS 27.00 FEET AND WHOSE CHORD BEARS NORTH 53°05'45" EAST, 31.18 FEET; THENCE NORTH 88°21'41" EAST ALONG SAID RIGHT OF WAY LINE, 361.28 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 268.94 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT AND SAID RIGHT OF WAY, WHOSE RADIUS IS 567.00 FEET AND WHOSE CHORD BEARS SOUTH 78°03'01" EAST, 266.43 FEET; THENCE SOUTH 64°27'42" EAST ALONG SAID RIGHT OF WAY, 70.24 FEEL TO THE WEST RIGHT OF WAY LINE OF GRANT DRIVE; THENCE SOUTH 25°32'18" WEST ALONG SAID WEST RIGHT OF WAY LINE, 235.72 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY 217.07 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT AND SAID WEST RIGHT OF WAY LINE, WHOSE RADIUS IS 419.58 FEET AND WHOSE CHORD BEARS SOUTH 10°43'02" WEST, 214.66 FEET; THENCE SOUTH 04°06'14" EAST ALONG SAID WEST RIGHT OF WAY LINE, 17.04 FEET TO THE POINT OF BEGINNING.

CONTAINING 542,241 SQUARE FEET (12.4481 ACRES) OF LAND MORE OR LESS.

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER A JACKSON, PROFESSIONAL LAND SURVEYOR S–2851, DO HEREBY CERTIFY THAT BY DIRECTION OF GRANT DR. GERMANTOWN, LLC, I HAVE SURVEYED, DIVIDED, MAPPED, THE LANDS DESCRIBED HEREON, AND THAT THE MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY OF THE LANDS SURVEYED AND THE DIVISION THEREOF, IN ACCORDANCE WITH THE INFORMATION PROVIDED.
I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN.

_____ _____
CHRISTOPHER A. JACKSON, S–2851 DATE
PROFESSIONAL LAND SURVEYOR



SURVEYED BY:	SURVEYED FOR:			
JSD MILWAUKEE REGIONAL OFFICE W238N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666	GRANT DR GERMANTOWN WI LLC W132N10611 GRANT DRIVE GERMANTOWN, WI 53022	PROJECT NO: 25–15051 FIELDBOOK/PG: _____ SHEET NO: 2 OF 4	SURVEYED BY: NTS DRAWN BY: CPL	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF LOT 1 AND LOT 2, CERTIFIED SURVEY MAP NO.7147, RECORDED IN VOLUME 55, ON PAGE 72 OF CERTIFIED SURVEY MAP/PLAT AS DOCUMENT NO. 1540168, WASHINGTON COUNTY REGISTER OF DEEDS, LOCATED IN THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, ALL IN TOWN 09 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

GRANT DR. GERMANTOWN LLC, A LIMITED LIABILITY CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED, AS REPRESENTED HEREON. SAID CORPORATION FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE VILLAGE OF GERMANTOWN FOR APPROVAL.

IN WITNESS WHEREOF, THE SAID GRANT DR. GERMANTOWN, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS REPRESENTATIVES THIS _____ DAY OF _____, 2025.

GRANT DR. GERMANTOWN, LLC

_____

, MANAGING MEMBER

STATE OF WISCONSIN) SS
WASHINGTON COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____ , 2025, THE ABOVE NAMED REPRESENTATIVES OF THE ABOVE NAMED TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

_____ _____

NOTARY PUBLIC, COUNTY, WISCONSIN MY COMMISSION EXPIRES

CONSENT OF CORPORATE MORTGAGEE

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS MORTGAGEE OF THE LANDS DESCRIBED HEREON, HEREBY CONSENTS TO THE SURVEYING, DIVIDING, MAPPING AND RESTRICTING OF THE LANDS DESCRIBED IN THE AFFIDAVIT OF CHRISTOPHER A. JACKSON, WISCONSIN PROFESSIONAL LAND SURVEYOR, S-2851, AND DO HEREBY CONSENT TO THE ABOVE CERTIFICATE OF GRANT DR. GERMANTOWN, LLC, OWNER.

WITNESS THE HAND AND SEAL OF _____ , MORTGAGEE, THIS _____ DAY OF _____ , 2025.

_____

STATE OF WISCONSIN) SS
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____ , 2025, THE ABOVE NAMED REPRESENTATIVES OF THE ABOVE NAMED _____ TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

_____ _____

NOTARY PUBLIC, COUNTY, WISCONSIN MY COMMISSION EXPIRES

WISCONSIN
CHRISTOPHER JACKSON
S-2851
WAUWATOSA, WI
LAND SURVEYOR

SURVEYED BY:	SURVEYED FOR:			
JSD MILWAUKEE REGIONAL OFFICE W238N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666	GRANT DR GERMANTOWN WI LLC W132N10611 GRANT DRIVE GERMANTOWN, WI 53022	PROJECT NO: 25-15051 FIELDBOOK/PG: _____ SHEET NO: 3 OF 4	SURVEYED BY: NTS DRAWN BY: CPL	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

A REDIVISION OF LOT 1 AND LOT 2, CERTIFIED SURVEY MAP NO.7147, RECORDED IN VOLUME 55, ON PAGE 72 OF CERTIFIED SURVEY MAP/PLAT AS DOCUMENT NO. 1540168, WASHINGTON COUNTY REGISTER OF DEEDS, LOCATED IN THE NORTHEAST QUARTER (NE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 25, ALL IN TOWN 09 NORTH, RANGE 20 EAST, VILLAGE OF GERMANTOWN, WASHINGTON COUNTY, WISCONSIN

PLANNING COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF GERMANTOWN ON THIS _____DAY OF _____ ,2025.

_____ _____
BOB SODERBERG DATE
CHAIRMAIN

_____ _____
DATE
SECRETARY,

STATE OF WISCONSIN) SS
WASHINGTON COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____ , 2025, THE ABOVE NAMED REPRESENTATIVES TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

_____ _____
NOTARY PUBLIC, STATE OF WISCONSIN MY COMMISSION EXPIRES

VILLAGE OF GERMANTOWN BOARD APPROVAL

THIS CERTIFIED SURVEY MAP HAVING BEEN APPROVED BY THE PLAN COMMISSION BEING THE SAME, IS HEREBY APPROVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF GERMANTOWN ON THIS _____ DAY OF __ _____ ,2025.

_____ _____
BOB SODERBERG DATE
VILLAGE PRESIDENT

_____ _____
DONNA OTT DATE
VILLAGE CLERK

STATE OF WISCONSIN) SS
WASHINGTON COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____ , 2025, THE ABOVE NAMED REPRESENTATIVES TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

_____ _____
NOTARY PUBLIC, STATE OF WISCONSIN MY COMMISSION EXPIRES

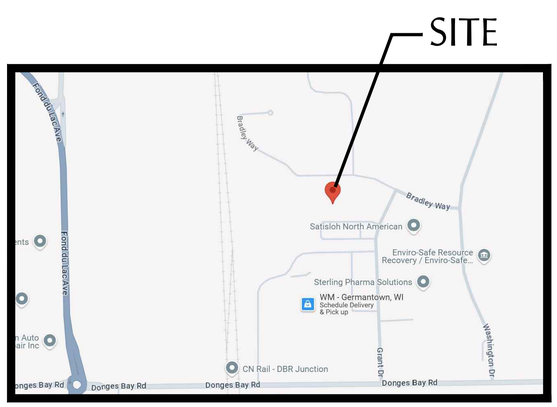
WISCONSIN
CHRISTOPHER JACKSON
S-2851
WAUWATOSA, WI
LAND SURVEYOR

SURVEYED BY:	SURVEYED FOR:			
JSD IDAHO REGIONAL OFFICE 418 EAST LAKESIDE AVE., STE. 207 COEUR D'ALENE, IDAHO 83814 P. 847.682.9420	GRANT DR GERMANTOWN WI LLC W132N10611 GRANT DRIVE GERMANTOWN, WI 53022	PROJECT NO: 25-15051 FB/PG: _____ SHEET NO: 4 OF 4	SURVEYED BY: NTS DRAWN BY: CPL	

VOL. _____ PAGE _____
DOC. NO. _____
C.S.M. NO. _____

TCI / ALLIENT POWER
W132 N10611 GRANT DRIVE
GERMANTOWN, WI

BUILDING ADDITION



SITE LOCATION PLAN

PROJECT INFORMATION	
TENNANT:	TCI / ALLIENT POWER
SITE LOCATION:	W132 N10611 GRANT DRIVE GERMANTOWN, WI
PROPOSED SQ FT:	52,000 SQ FT

PROJECT INFORMATION	
TS	TITLE SHEET
A0.1	SITE PLAN
A.1.0	MASTER & FLOOR PLAN
A1.1	FLOOR PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.0	SECTIONS
A6.0	ROOM & DOOR SCHEDULE

THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL

REVISION

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

DATE 7 1 25
DRAWING DESCRIPTION TITLE SHEET
DESIGNER F CARLSON

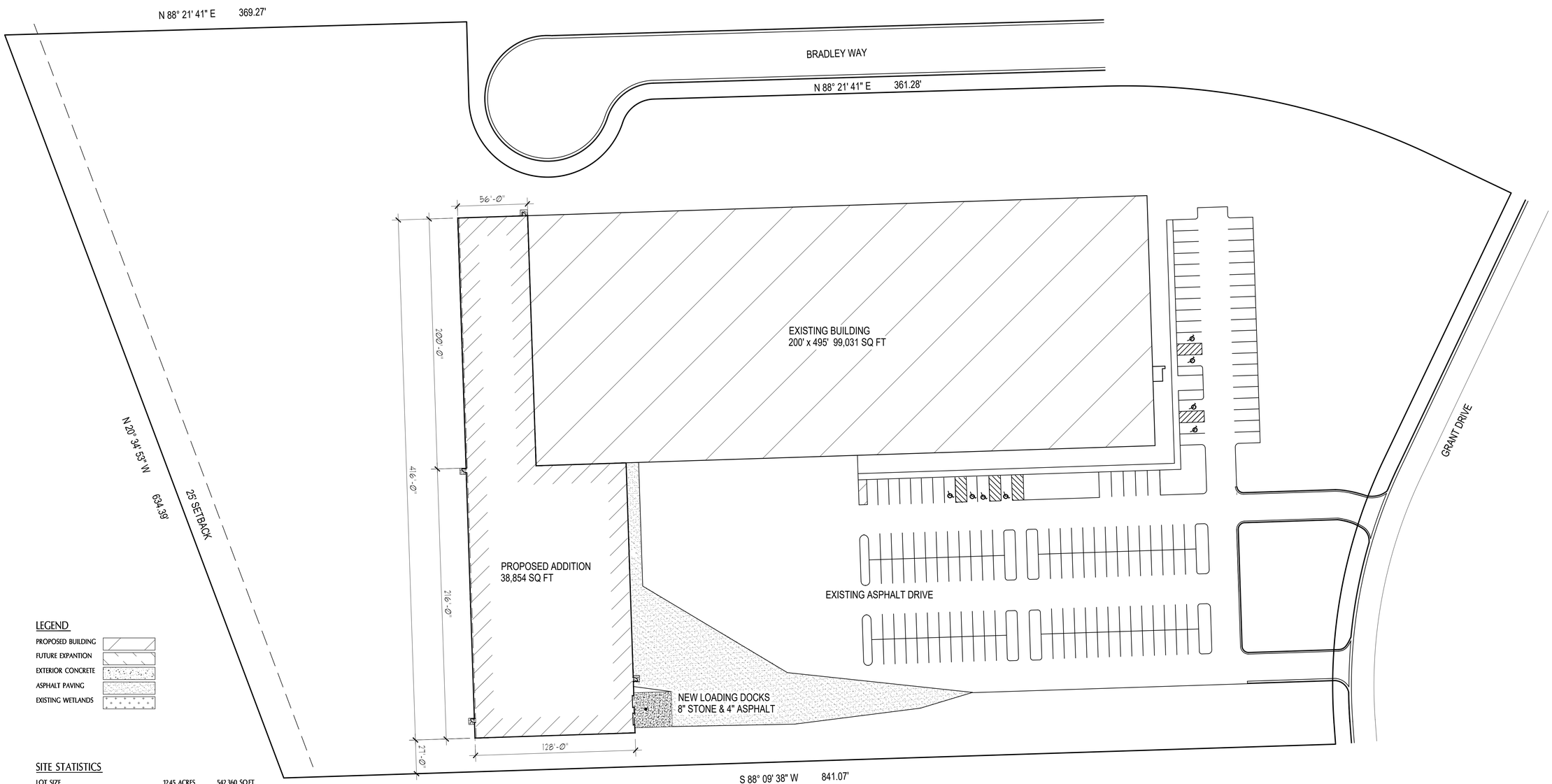
P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

IMPACT GENERAL

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

SHEET # TS
JOB # 2025-3

THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL



LEGEND

- PROPOSED BUILDING
- FUTURE EXPANTION
- EXTERIOR CONCRETE
- ASPHALT PAVING
- EXISTING WETLANDS

SITE STATISTICS

LOT SIZE	12.45 ACRES	542,360 SQ.FT.
EXISTING BUILDING SQ.FT.		99,031 SQ.FT.
PROPOSED BUILDING SQ.FT.		38,854 SQ.FT.
F.A.R. FLOOR AREA RATIO		25.4 %
EXTERIOR CONCRETE		3239 SQ.FT.
ASPHALT PAVING		108,652 SQ.FT.
PARKING SPACES		147
H.C. PARKING SPACES		8
PARKING/BUILDING SQ.FT. RATIO		1 PER 938 SQ.FT.
LOT COVERAGE		64 %
GREEN AREA		195,546 SQ.FT.
L.S.R. LANDSCAPE RATIO		36 %

PROPOSED SITE PLAN

SCALE: 1"=40'

REVISION
.
.
.
.

JOB DESCRIPTION: TCI/ALLIENT POWER, W132 N10611 GRANT DR, GERMANTOWN, WI

DRAWING DESCRIPTION: SITE PLAN

DATE: 7 1 25

DESIGNER: F CARLSON

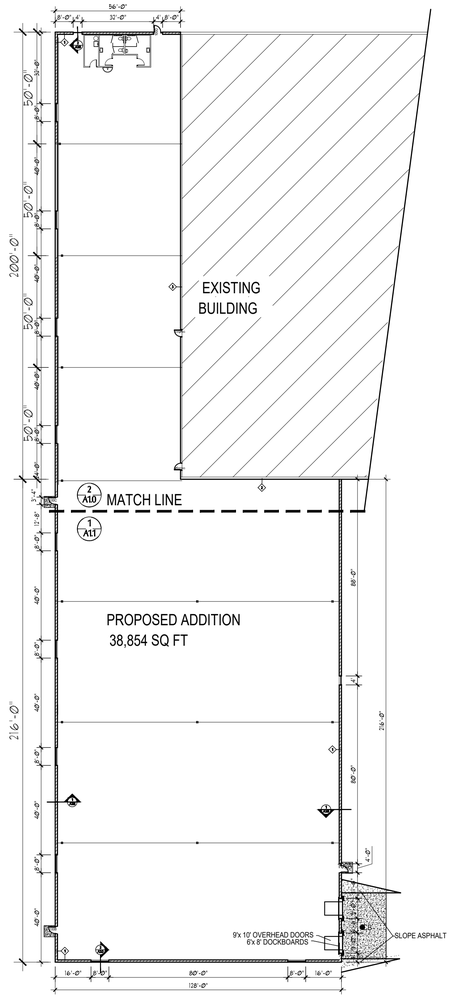
IMPACT GENERAL
P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

SHEET # A0.1

JOB # 2025-3

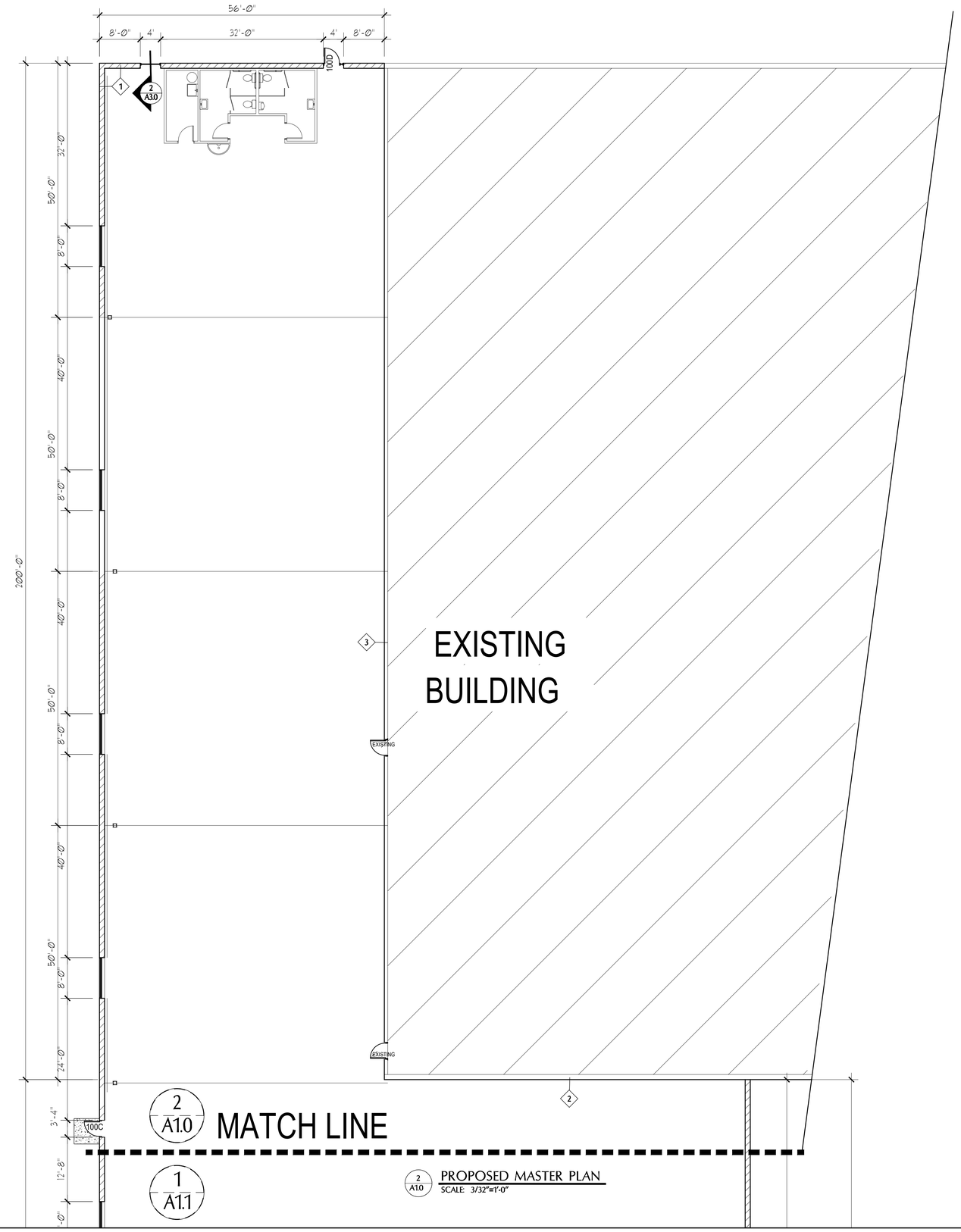
THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL



1 A1.0 PROPOSED MASTER PLAN
SCALE: 1/32"=1'-0"

WALL TYPES
NTS

1	2	3
NEW EXTERIOR PRECAST WALLS	EXISTING EXTERIOR PRECAST WALLS	EXISTING EXTERIOR STEEL WALLS
12" PRECAST WALL PANEL EXPOSED AGGREGATE FINISH AND RAKED FINISH SEE ELEVATIONS SHEET A3.0 & A3.1	12" PRECAST WALL PANEL EXPOSED AGGREGATE FINISH AND RAKED FINISH SEE ELEVATIONS SHEET A3.0 & A3.1	8" STEEL GIRTS HORIZONTAL @ 5' O.C. W/ 1 1/2"" PAINTED METAL PANEL FULL HEIGHT INSULATED W/ FIBERGLASS INSULATION
NOMINAL DIMENSION: 12" ACTUAL DIMENSION: 12"	NOMINAL DIMENSION: 12" ACTUAL DIMENSION: 12"	NOMINAL DIMENSION: 8" ACTUAL DIMENSION: 8"



2 A1.0 PROPOSED MASTER PLAN
SCALE: 3/32"=1'-0"

REVISION
-
-
-

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

DRAWING DESCRIPTION
FLOOR PLAN

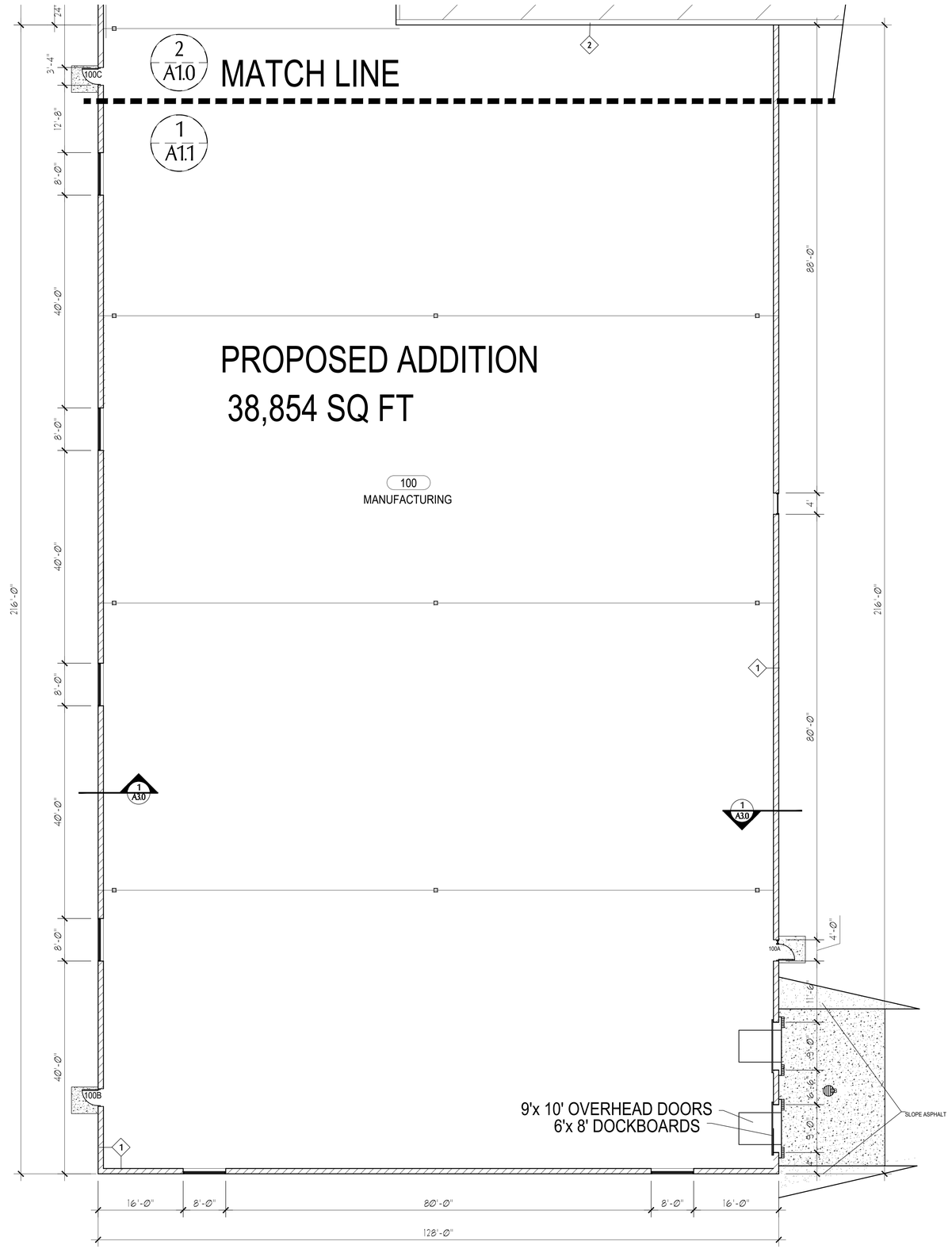
DATE 7 1 25
DESIGNER F CARLSON

IMPACT GENERAL
P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

SHEET # A1.0
JOB # 2025-3

THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL



1 A1.1 PROPOSED FLOOR PLAN
SCALE: 3/32"=1'-0"

REVISION
.
.
.

JOB DESCRIPTION: TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

DRAWING DESCRIPTION: FLOOOR PLAN

DATE: 7 1 25

DESIGNER: F CARLSON

P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

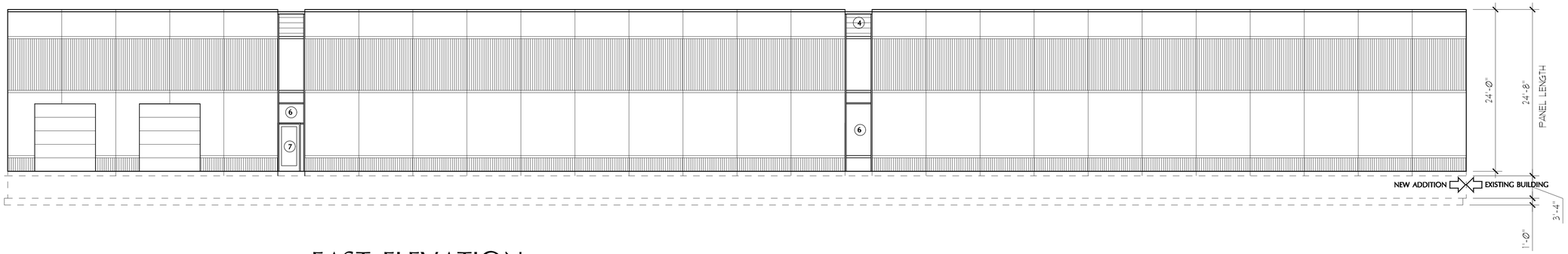
IMPACT GENERAL

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

SHEET # A1.1

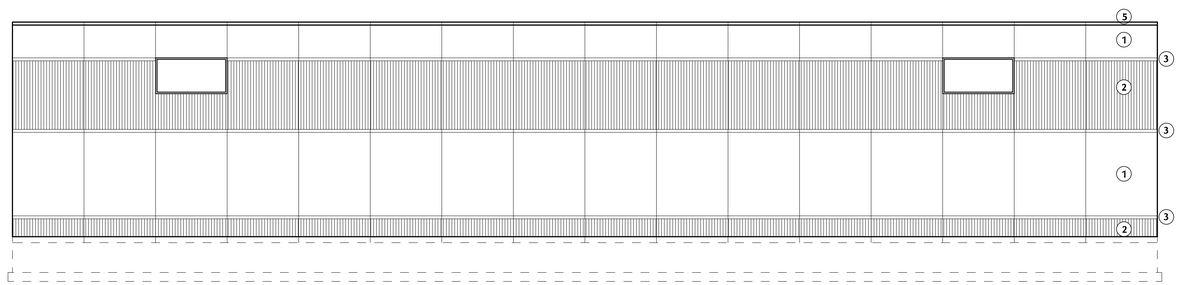
JOB # 2025-3

THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL



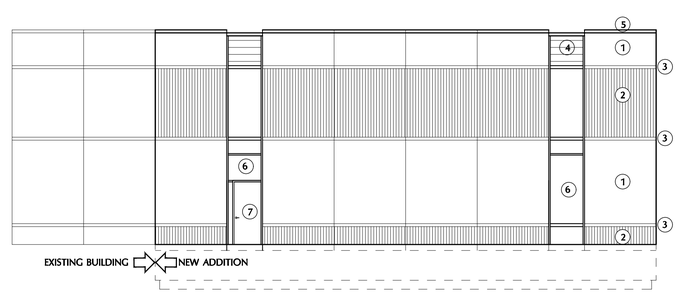
EAST ELEVATION

SCALE: 1/16"=1'-0"



SOUTH ELEVATION

SCALE: 1/16"=1'-0"



NORTH ELEVATION

SCALE: 1/16"=1'-0"

EXTERIOR FINISHES

1. PRECAST WALL PANEL WITH AGGREGATE FINISH (MATCH EXISTING)
2. PRECAST WALL PANEL WITH RAKED FINISH (MATCH EXISTING)
3. 4" REVEAL CUT IN PANEL (MATCH EXISTING)
4. 26 GA METAL PANEL OVER STEEL STUDS (MATCH EXISTING) DRYWALL FINISH INSIDE
5. 26 GA CLEAR ANODIZED COPING TO MATCH EXISTING
6. ALUMINUIM FRAMING WITH INSULATED GLASS (MATCH EXISTING)
7. INSULATED GLASS DOOR ALUMINUIM FRAME (MATCH EXISTING)
8. PAINTED INSULATED STEEL DOOR

REVISION

JOB DESCRIPTION: TCI/ALLIENT POWER W132 N10611 GRANT DR GERMANTOWN, WI

DRAWING DESCRIPTION: ELEVATIONS

DATE: 7 1 25

DESIGNER: F CARLSON

P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

IMPACT GENERAL

JOB DESCRIPTION: TCI/ALLIENT POWER W132 N10611 GRANT DR GERMANTOWN, WI

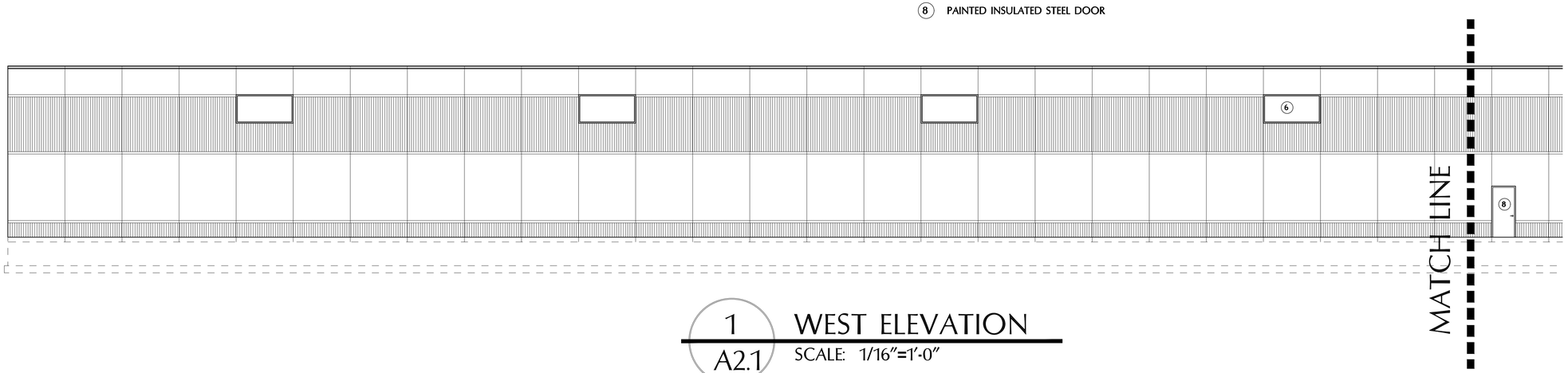
SHEET # A2.0

JOB # 2025-3

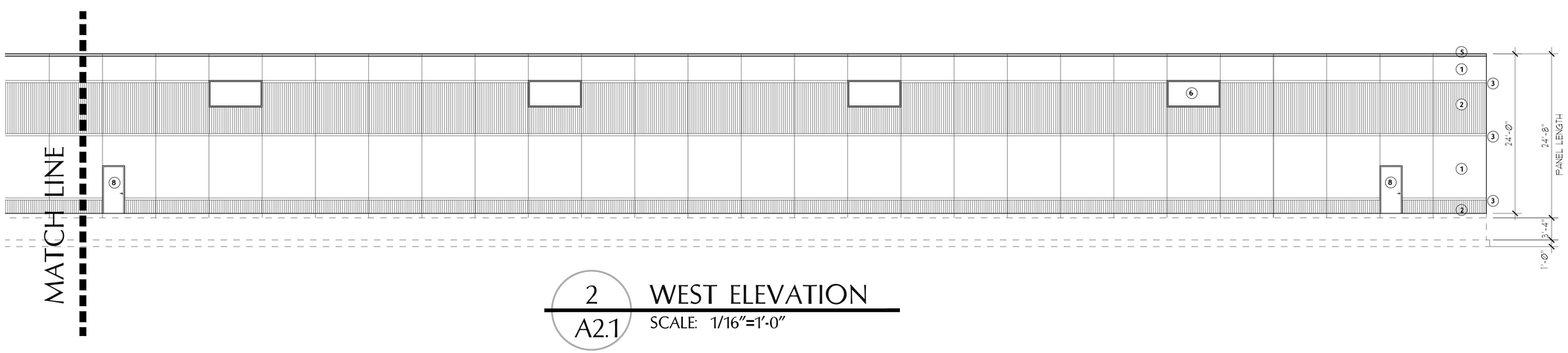
THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL

EXTERIOR FINISHES

1. PRECAST WALL PANEL WITH AGGREGATE FINISH (MATCH EXISTING)
2. PRECAST WALL PANEL WITH RAKED FINISH (MATCH EXISTING)
3. 4" REVEAL CUT IN PANEL (MATCH EXISTING)
4. 26 GA METAL PANEL OVER STEEL STUDS (MATCH EXISTING) DRYWALL FINISH INSIDE
5. 26 GA CLEAR ANODIZED COPING TO MATCH EXISTING
6. ALUMINUIM FRAMING WITH INSULATED GLASS (MATCH EXISTING)
7. INSULATED GLASS DOOR ALUMINUIM FRAME (MATCH EXISTING)
8. PAINTED INSULATED STEEL DOOR



1 / A2.1 WEST ELEVATION
SCALE: 1/16"=1'-0"



2 / A2.1 WEST ELEVATION
SCALE: 1/16"=1'-0"

REVISION
.
.
.

JOB DESCRIPTION: TCI/ALLIENT POWER W132 N10611 GRANT DR GERMANTOWN, WI

DRAWING DESCRIPTION: ELEVATIONS

DATE: 7 1 25

DESIGNER: F CARLSON

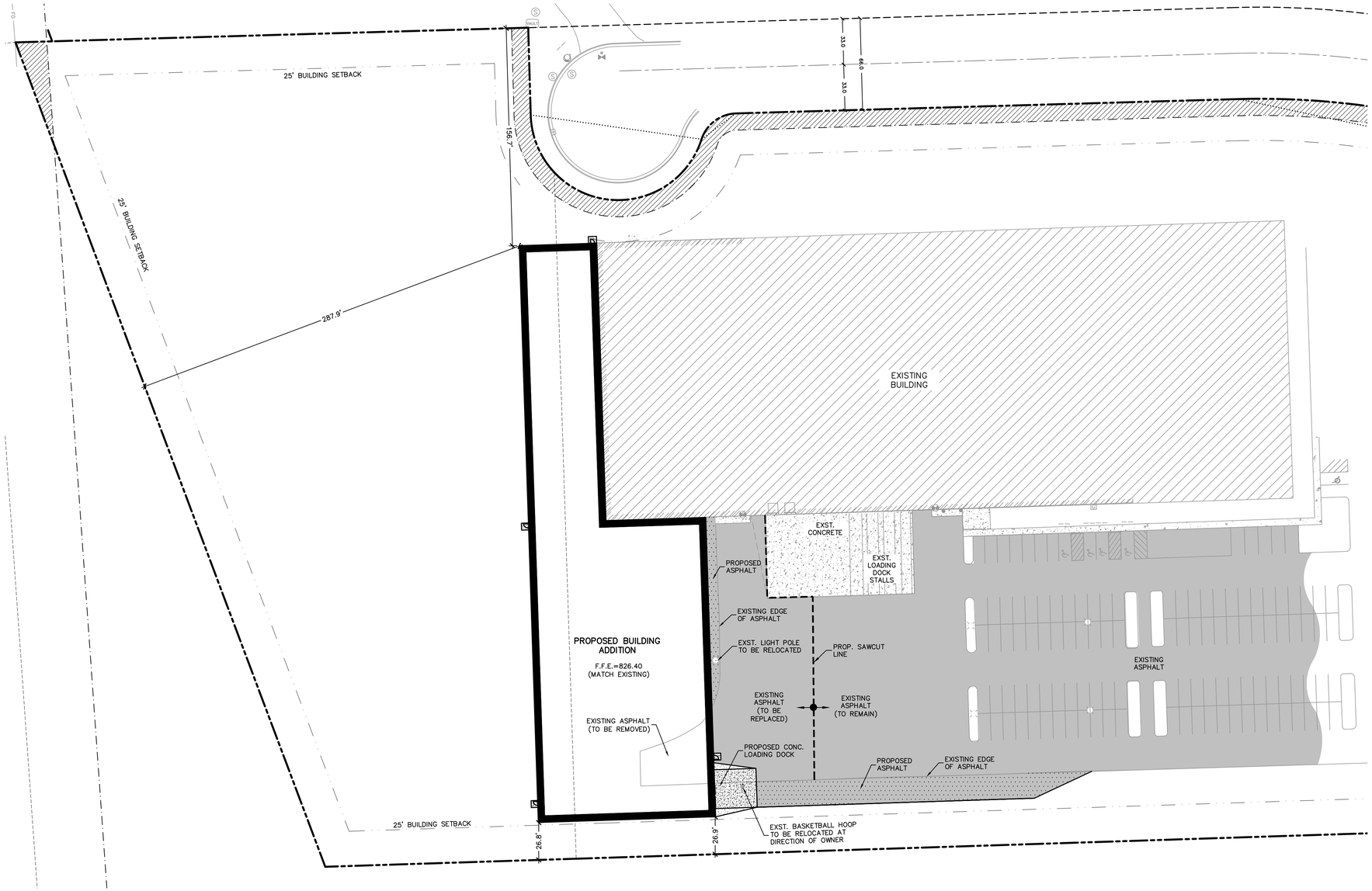
P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

IMPACT GENERAL

JOB DESCRIPTION
TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

SHEET # A2.1

JOB # 2025-3



GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
4. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
5. CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR TO PRE-EXISTING OR BETTER CONDITIONS.
6. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
8. ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:

8.1. "JURISDICTION " - THE LOCAL GOVERNMENTAL AGENCY (I.E., CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.
8.2. "STATE HIGHWAY SPECIFICATIONS" - STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS
8.3. "STANDARD SPECIFICATIONS" - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND SUPPLEMENTS
8.4. WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"
8.5. WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"
8.6. DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DSPS" OR "SPS"

PAVING NOTES

1. GENERAL:
1.1. PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS AND APPLICABLE JURISDICTIONAL SPECIFICATIONS.
1.2. ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

2. CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS:
2.1. THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS.
2.2. RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD.
2.3. DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE.
2.4. DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW.

3. HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS:
3.1. THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
3.2. WEATHER LIMITATIONS:
3.2.1. DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
3.2.2. DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE IS APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT.
3.2.3. PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE.
3.2.4. APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING.
3.2.5. ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F.
3.3. CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
3.4. BINDER COURSE AGGREGATE:
3.4.1. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS.
3.5. SURFACE COURSE AGGREGATE
3.5.1. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.
3.6. ASPHALTIC MATERIALS
3.6.1. THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS.

4. CONCRETE PAVING SPECIFICATIONS:
4.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
4.2. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
4.3. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART.
4.4. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- PROPOSED BUILDING OUTLINE
- PROPOSED ASPHALT
- EXISTING ASPHALT
- PROPOSED CONCRETE

SITE INFORMATION

SITE ADDRESS	W132N10611 GRANT DRIVE GERMANTOWN, WI 53022
SITE AREA	542,088 S.F. (12.445 ACRES)
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	203,219 SF (4.665 ACRES)
EXISTING PERVIOUS SURFACE AREA	338,869 SF (7.779 ACRES)
EXISTING CN VALUE	83
PROPOSED PAVED AREA	107,805 SF (2.475 ACRES)
PROPOSED BUILDING FOOTPRINT	137,570 SF (3.158 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	245,375 SF (5.633 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	45%
PROPOSED PERVIOUS SURFACE AREA	296,713 SF (6.812 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	55%
PROPOSED NET IMPERVIOUS INCREASE	42,157 SF (0.968 ACRES)
PROPOSED CN VALUE	85
DISTURBED AREA	175,502 SF (4.029 ACRES)

SHEET INDEX

C1.0 SITE PLAN
C2.0 SITE GRADING AND EROSION CONTROL PLAN
C3.0 SITE DETAILS PLAN

north

SCALE IN FEET
40' 0 40'

JSD
CREATE THE VISION TELL THE STORY
jsdinc.com
MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
IMPACT GENERAL

CLIENT ADDRESS:
OCONOMOWOC, WI, 53066

PROJECT:
IMPACT GENERAL TCI

PROJECT LOCATION:
W132 N10611 GRANT DRIVE
GERMANTOWN, WASHINGTON CO.
WISCONSIN 53022

PLAN MODIFICATIONS:

#	Date:	Description:
1	07-07-25	PRELIMINARY DESIGN
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: A.R.P.
Reviewed By: C.A.J.
Approved By: C.A.J.

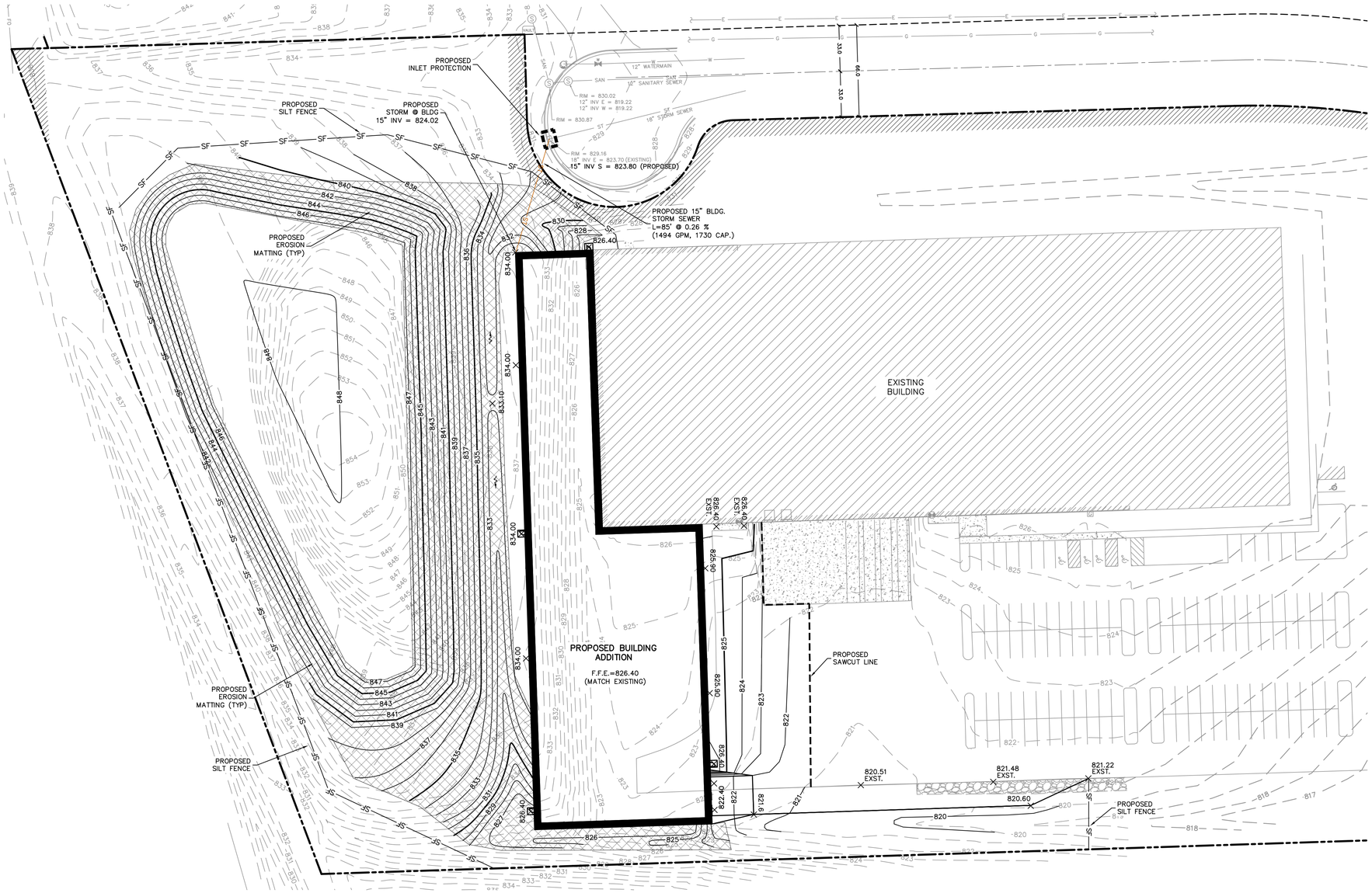
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C1.0

JSD PROJECT NO: 25-15051

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: \\JSDINC\new projects\2025\2515051\DWG\Civil Sheets\2515051-ConDocs.dwg Layout: C1.0-SITE User: mary.schmidbauer Plotted: Sep 04, 2025 - 8:54am Xref's:



LEGEND

BENCHMARK	PROPERTY LINE
EXISTING SIGN	EASEMENT LINE
EXISTING STORM MANHOLE	SETBACK LINE
EXISTING ROUND CASTED INLET	PROPOSED BUILDING OUTLINE
EXISTING SQUARE CASTED INLET	PROPOSED 5' CONTOUR
EXISTING CURB INLET	PROPOSED 1' CONTOUR
EXISTING GAS VALVE	PROPOSED STORM SEWER
EXISTING MANHOLE – UNVERIFIED TYPE	PROPOSED SILT FENCE
EXISTING LIGHT POLE	PROPOSED INLET PROTECTION
EXISTING POWER POLE W/GUY	
EXISTING DECIDUOUS TREE	
EXISTING CONIFEROUS TREE	
EXISTING BUSH	
EXISTING STORM SEWER	
EXISTING GAS	
EXISTING OVERHEAD UTILITIES	

GRADING AND EARTHWORK NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

3. ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS.

4. PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS.

5. CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER.

6. SOIL MATERIAL SPECIFICATIONS:
   - 6.1. FILL AND BACKFILL MATERIALS
     - 6.1.1. MATERIAL SHALL BE SATISFACTORY MATERIALS EXCAVATED FROM THE SITE. IF SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS.
   - 6.2. IMPORTED FILL MATERIAL
     - 6.2.1. MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE. IMPORTED FILL MATERIAL SHALL CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6" .
   - 6.3. GRANULAR FILL
     - 6.3.1. MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF "GRADE 1" OR "GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS.
   - **6.4. BUILDING STRUCTURAL FILL**
     - **6.4.1. CLEAN MATERIAL MEETING THE REQUIREMENTS OF TYPE A "STRUCTURE BACKFILL" AS DEFINED IN SECTIONS 210.2.1 AND 210.2.2. OF THE STATE HIGHWAY SPECIFICATIONS.**

CONSTRUCTION SEQUENCING

1. INSTALL PERIMETER SILT FENCE AND INLET PROTECTION.
2. STRIP AND STOCKPILE TOPSOIL AND INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE. LOCATION OF STOCKPILE TO BE DETERMINED BY CONTRACTOR.
3. CONDUCT ROUGH GRADING EFFORTS.
4. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PAVEMENTS, ETC.
5. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MEASURES AS INDICATED ON PLANS.
6. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% CONTIGUOUS VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM NO. 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

north

SCALE IN FEET

40' 0 40'

JSD
CREATE THE VISION TELL THE STORY
jsdinc.com
MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
IMPACT GENERAL

CLIENT ADDRESS:
OCONOMOWOC, WI, 53066

PROJECT:
IMPACT GENERAL TCI

PROJECT LOCATION:
W132 N10611 GRANT DRIVE GERMANTOWN, WASHINGTON CO. WISCONSIN 53022

PLAN MODIFICATIONS:

#	Date:	Description:
1	07-07-25	PRELIMINARY DESIGN
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: A.R.P.
Reviewed By: C.A.J.
Approved By: C.A.J.

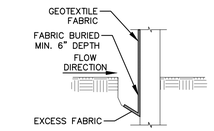
SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C2.0

JSD PROJECT NO: 25-15051

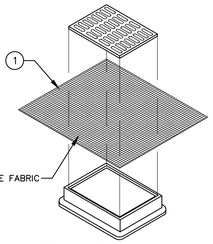
THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: \\JSD\NCnew projects\2025\25150\51\DWG\Civil Sheets\25150\51-ConDocs.dwg Layout: C2.0-GRADING User: mary.schmidbauer Plotted: Sep 04, 2025 - 8:54am Xref's:

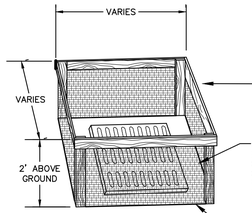


NOTE: 2' MINIMUM POST DEPTH. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

TRENCH DETAIL



INLET PROTECTION – TYPE "B" WITHOUT CURB BOX



INLET PROTECTION – TYPE "A"

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER OF FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2X4

INSTALLATION NOTES:

TYPE "B" & "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

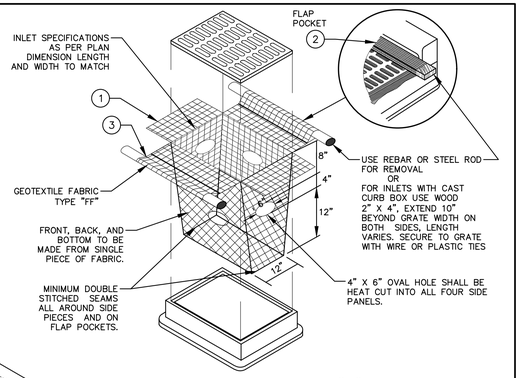
INSTALLATION NOTES:

TYPE "D"

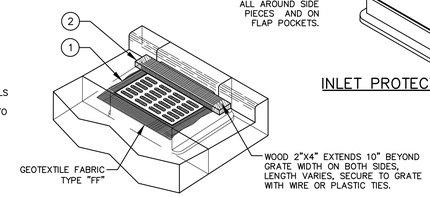
DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.



INLET PROTECTION – TYPE "D"

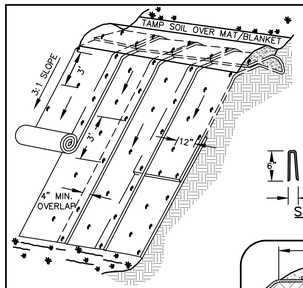


INLET PROTECTION – TYPE "C" WITH CURB BOX

REV. 11-19-2018

INLET PROTECTION

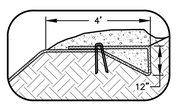
N.T.S.



ISOMETRIC VIEW
TYPICAL SLOPE SOIL STABILIZATION

NOTE:
MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWNSLOPE.

STAPLES



BERM

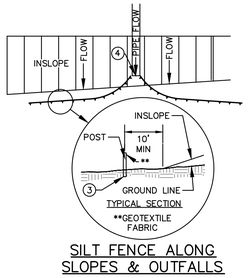
GENERAL NOTES:

1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY WisDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

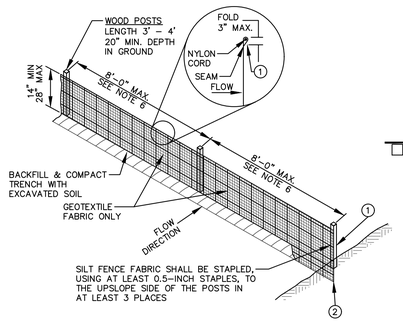
REV. 11-19-2018

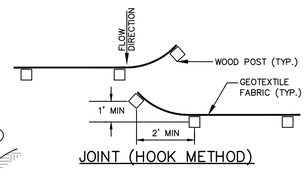
EROSION MATTING

N.T.S.

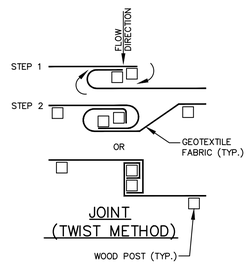


SILT FENCE ALONG SLOPES & OUTFALLS

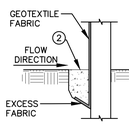




JOINT (HOOK METHOD)

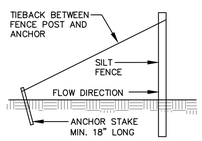


JOINT (TWIST METHOD)



NOTE:
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

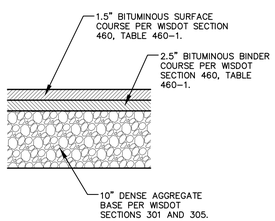
GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDNR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8-FEET FOR WOVEN & 3-FEET FOR NON-WOVEN)

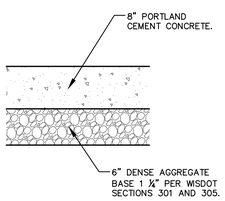
REV. 7-01-2019

SILT FENCE

N.T.S.



HEAVY DUTY ASPHALT PAVEMENT SECTION



CONCRETE PAVEMENT (LOADING DOCKS)

GENERAL NOTES:

1. REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
2. WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
   - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
   - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

PAVEMENT SECTIONS

N.T.S.

SEEDING AND RESTORATION NOTES

1. CONTRACTOR SHALL PROVIDE NOTICE TO THE JURISDICTIONAL AUTHORITIES IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.

ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.

2. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7-DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

3. SEEDING SPECIFICATIONS:
   - 3.1. TURF LAWN SEED MIXTURE: WISDOT SEED MIX NO. 40 AT RATES SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS
   - 3.2. LOW MAINTENANCE AREA SEED MIXTURE: WISDOT SEED MIX NO. 10 OR 20 APPLIED AT RATES AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
   - 3.3. NO-MOW AREA SEED MIXTURE: NO-MOW LAWN SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED EQUIVALENT). SEEDING RATE SHALL BE PER MANUFACTURE'S RECOMMENDATIONS.
4. SEED PREPARATION SPECIFICATIONS:
   - 4.1. SCARIFY SUBSOILS TO A DEPTH OF 3" WHERE TOPSOIL SHALL BE PLACED TO REDUCE COMPACTION.
   - 4.2. PLACE TOPSOIL AT A MINIMUM DEPTH OF 6" UNLESS OTHERWISE NOTED ON THE PLANS.
   - 4.3. APPLY FERTILIZER IN ACCORDANCE WITH SEED MIX MANUFACTURES RECOMMENDATIONS.
   - 4.4. SOW SEED AT RATES SPECIFIED USING METHOD "A" OR METHOD "B" AS SPECIFIED IN SECTION 630 OF THE STATE HIGHWAY SPECIFICATIONS.
5. SEED MULCHING/EROSION MATTING SPECIFICATIONS:
   - 5.1. ALL SEEDED AREAS WITH SLOPES FLATTER THAN 4:1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH WEED-FREE WHEAT STRAW MULCH WITH METHODS AND RATES IN ACCORDANCE WITH SECTION 627 OF THE STATE HIGHWAY SPECIFICATIONS.
   - 5.2. ALL SEEDED AREAS WITH SLOPES EQUAL TO OR STEEPER THAN 4:1, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE STABILIZED WITH EROSION MATTING MATERIALS AS SPECIFIED ON THE PLANS. EROSION MATTING SHALL BE IN ACCORDANCE WITH SECTION 628 OF THE STATE HIGHWAY SPECIFICATIONS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL PLAN.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
3. INSTALL PERIMETER EROSION CONTROL MEASURES (SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5". ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES.
8. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
   - 9.1. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
   - 9.2. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
   - 9.3. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE WDNR DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
11. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
   - 11.1. THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
   - 11.2. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN *ACTIVITY CEASED (I.E., THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAY).* IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
   - 11.3. STABILIZATION MEASURES SHALL BE DETERMINED BASED ONSITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
     - 11.3.1. PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
     - 11.3.2. TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS.ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS./ACRE) IN FALL
     - 11.3.3. HYDRO-MULCHING WITH A TACKIFIER
     - 11.3.4. WOVEN AND NON-WOVEN GEOTEXTILES
     - 11.3.5. EROSION MATTING
     - 11.3.6. SODDING
     - 11.3.7. OTHER MEASURES AS APPROVED BY THE ENGINEER
12. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSPS/SPS AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE JURISDICTIONAL AUTHORITIES.
3. SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
5. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
6. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(H), SPS 382.36(7)(C)10., AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE
7. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE JURISDICTIONAL AUTHORITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR SHALL VERIFY UTILITY CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
10. STORM SEWER SPECIFICATIONS:
   - 10.1. PIPE:
     - 10.1.1. REINFORCED CONCRETE PIPE (RCP) - SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C443.
     - 10.1.2. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE) - SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATERTIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M294 TYPE "S".
     - 10.1.3. POLYVINYL CHLORIDE (PVC) - SHALL MEET REQUIREMENTS OF ASTM D3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELECTROMETRIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3212. ASTM 1785 SCHEDULE 40 FOR PIPE DIAMETERS 4"-6". SDR 35 SHALL BE USED FOR DEPTHS 3'-15'.
   - 10.2. BACKFILL AND BEDDING:
     - 10.2.1. STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
     - 10.2.2. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS.
   - 10.3. FIELD TILE CONNECTIONS:
     - 10.3.1. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

north

SCALE IN FEET
40' 0 40'

JSD
CREATE THE VISION TELL THE STORY
jsdinc.com
MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
IMPACT GENERAL

CLIENT ADDRESS:
OCONOMOWOC, WI, 53066

PROJECT:
IMPACT GENERAL TCI

PROJECT LOCATION:
W132 N10611 GRANT DRIVE GERMANTOWN, WASHINGTON CO. WISCONSIN 53022

PLAN MODIFICATIONS:

#	Date:	Description:
1	07-07-25	PRELIMINARY DESIGN
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: A.R.P.
Reviewed By: C.A.J.
Approved By: C.A.J.

SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

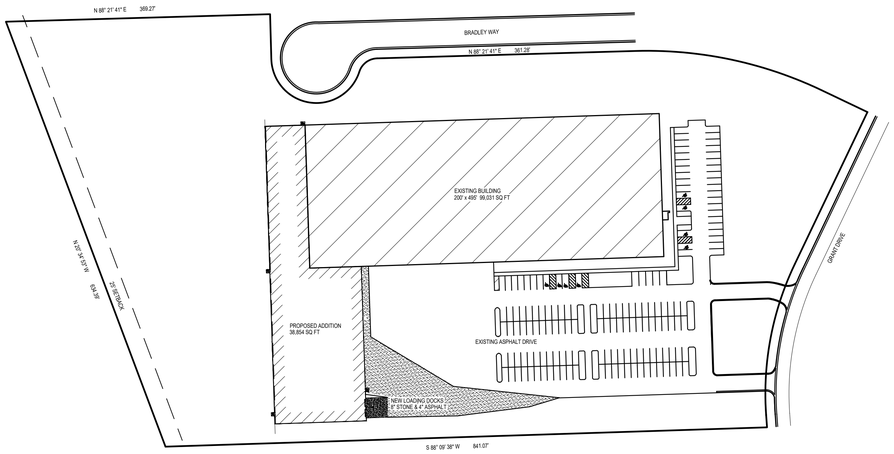
SHEET NUMBER:
C2.0

JSD PROJECT NO: 25-15051

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: \\JSDINC\new projects\2025\25150511\DWG\Civil Sheets\2515051-ConDocs.dwg Layout: C3.0-DETAILS User: mary.schmidbauer Plotted: Sep 04, 2025 - 8:54am Xref's:

THIS DRAWING IS THE PROPERTY OF IMPACT GENERAL ANY UNAUTHORIZED USE OR DUPLICATION OF IT IS UNLAWFUL



PROPOSED MASTER PLAN

SCALE: 1"=100'

PLANT LIST - and Notes

AP = Emerald Queen Maple 3" BB (3 Total)

GT = Skyline Locust 3" BB (2 Total)

PN = Austrian Pine 8' BB (2 total)

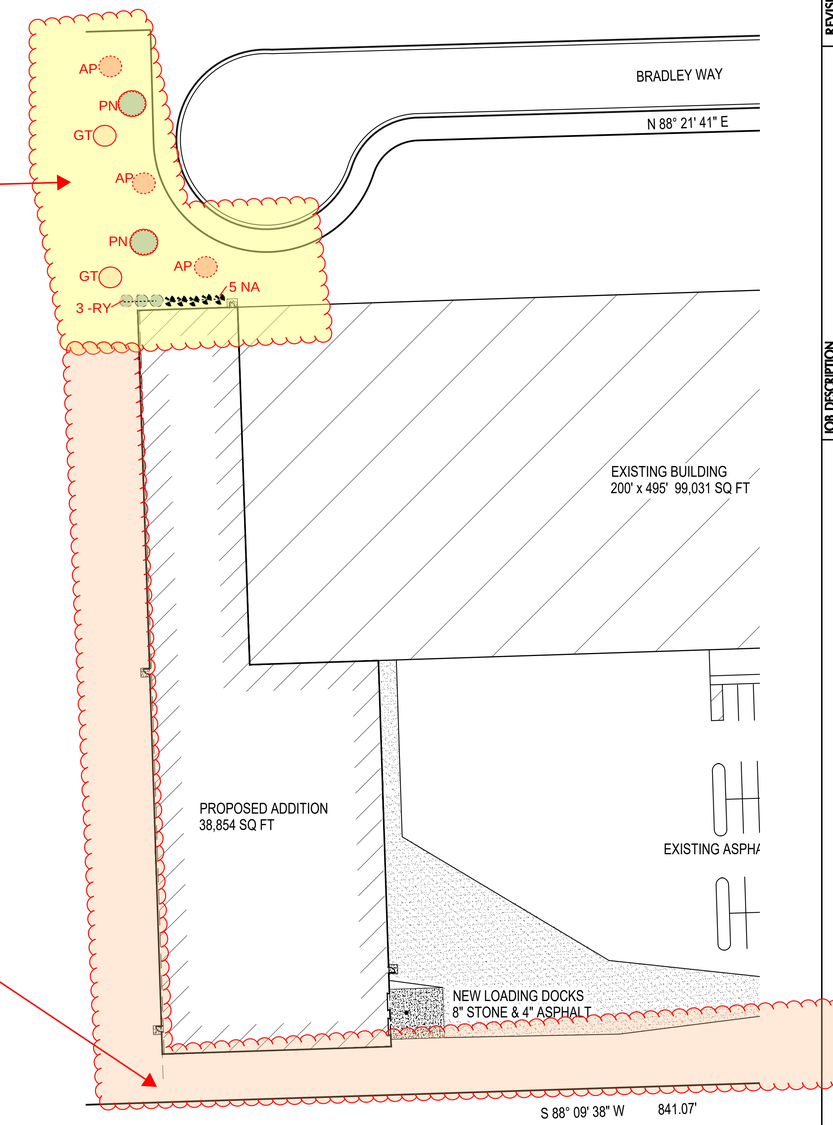
NA = Nigra Arborvitea - 8' BB (5 total)

RY = Dense Yew - 15" (3 total)

Match Edging and Mulch Materials for all trees and shrub areas.

Re-establish Lawn area noted in Yellow Shaded Location

See CIvil Plan for Drainage Swales and Rework of Areas to provide stormwater Drainage - provide Stone/Rip Rap or Lawn as required

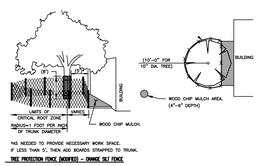


PROPOSED LANDSCAPING PLAN

SCALE: 1"=40'

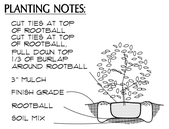
TREE PROTECTION PLAN:
- INSTALL SILT FENCE ON THE GROUND FOLOWING THE PROFILE OF THE CANOPY ON THE TREE.

SITE NOTES:
- SITE MATERIAL TO BE DISPOSED OF SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.



TREE PROTECTION FENCE (NOTES) – ORANGE SILT FENCE

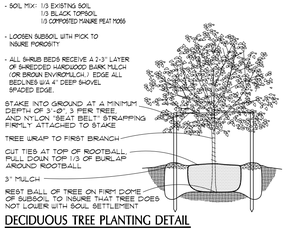
PLANTING NOTES:



SHRUB PLANTING DETAIL

NTS

- TRIM ALL DEAD & DAMAGED BRANCHES
- SELECT BEST VIEWING ANGLE, LIFT STOCK BY ROOTBALL & PLACE IN PLANTING PIT
- WATER THOROUGHLY AT TIME OF PLANTING & THEREAFTER AS DIRECTED
- SOIL MIX: 1/3 EXISTING SOIL
  1/3 BLACK TOPSOIL
  1/3 COMPOSTED MANURE PEAT MOSS
- LOOSEN SUBSOIL WITH PICK TO INSURE POROSITY
- ALL SHRUB BEDS RECEIVE A 2-3" LAYER OF SHREDDED HARDWOOD BARK MULCH (OR BROWN ENVIROMULCH.) EDGE ALL BEDLINES W/A 4" DEEP SHOVEL SPADED EDGE.



DECIDUOUS TREE PLANTING DETAIL

NTS

REVISION
.
.
.
.

JOB DESCRIPTION: TCI/ALLIENT POWER W132 N10611 GRANT DR GERMANTOWN, WI

DRAWING DESCRIPTION: LANDSCAPE PLAN

DATE: 7 1 25

DESIGNER: F CARLSON

IMPACT GENERAL

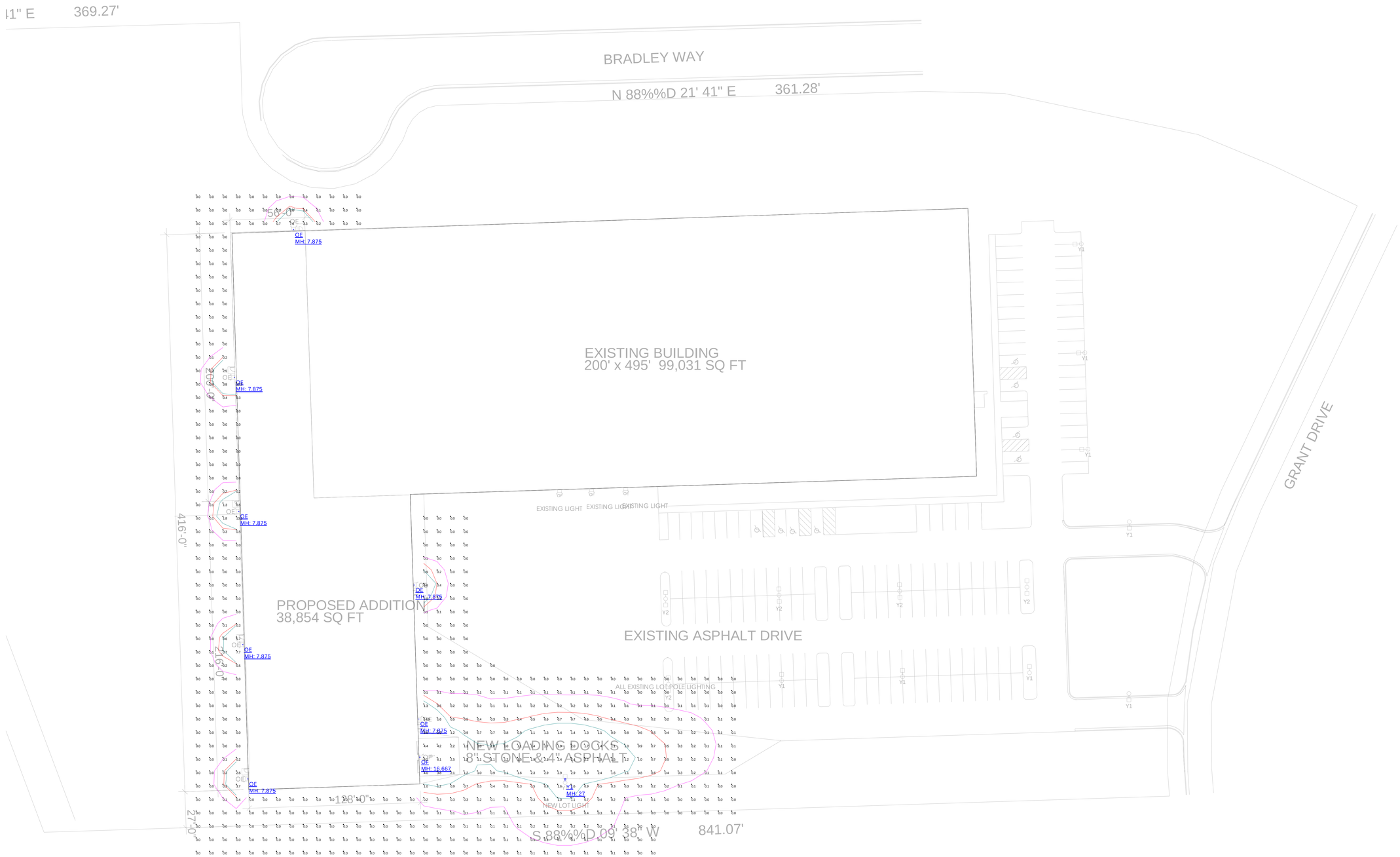
P O BOX 132
OCONOMOWOC, WI 53066
PH262-691-3330

JOB DESCRIPTION

TCI/ALLIENT POWER
W132 N10611 GRANT DR
GERMANTOWN, WI

SHEET # LS1.0

JOB # 2025-3



Luminaire Schedule								
Symbol	Qty	Label	Manufacturer	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts
	7	OE	LUMARK	XTOR3B-W	Single	0.900	2710	25.5
	1	OF	LUMARK	XTOR6B-W	Single	0.900	6038	58
	1	Y1	MCGRAW EDISON	GALN-SA3A-740-U-T2 WITH 25FT POLE	Single	0.900	13730	93

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.43	14.9	0.0	N.A.	N.A.

1. STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE.
2. NOT A CONSTRUCTION DOCUMENT- FOR DESIGN PURPOSES ONLY.
3. STANDARD INDOOR CALC POINTS @ 30" AFF UNLESS NOTED OTHERWISE.
4. STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE.
5. EGRESS CALC POINTS @ 0'-0" AFF.
6. PHOTOMETRICS ARE ESTIMATED LIGHTING CALCULATIONS.
   VIKING ELECTRIC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS.
7. VIKING ELECTRIC NOT RESPONSIBLE FOR FINAL REVIEW OF CODE REQUIREMENTS.

VIKING electric
A Sonepar Company

#	Date	Comments

Revisions

Drawn By: MB
Project #:158035
Date:6/30/2025
Scale:1"=30'-0"

PHOTOMETRIC SITE PLAN

TRANS-COIL LLC
WI

Page 1 of 1

Engineering Department Memorandum

To: **Jeff Retzlaff, Director of Community Development**

From: **Kevin Driscoll, Village Engineer**

Date: **September 4, 2025**

Re: **w132 N10611 Grant Drive – Impact General**

Items Reviewed:
1. Site Plan Review Application Dated: 7-7-2025

General Comments:
1. Please respond to each item below. **A written response addressing each item shall be included in your submittal**.
2. The submitted plans have been reviewed for general conformance with State and Village design guidelines. Additional comments could arise as a result of the plan completion and modifications. The items listed below will need to be fully resolved before the Engineering Dept. can recommend a formal approval of the plans and permit for construction.
3. This project will require a WRAPP/NOI from the DNR. Please submit a copy of the approved permit prior to final approval.
4. As-builts prepared to Village standards for the pond shall be prepared and provided to the Village post-construction (for all applicable items).
5. A professional engineer's original seal is to be affixed, signed and dated on the final set of construction plans.
6. Utility permits and permits for work within the ROW are required. Contact the Village engineering department to obtain permits.
7. An erosion control permit is required. Contact the Village engineering department to obtain permits.
8. As a guide to the review response: Items in *italics* are resolved or acknowledged, items in regular font are to be addressed yet, items in **Bold** are additional feedback to remaining original comment.

Storm Water Management
- The pond calculations assumed an open space of 45% for this property. The proposed addition will result in 55% open space, exceeding the storm water assumptions and requirements based on latest analysis dated July 6, 2011 on page 31, notes #24 and #25,

Sanitary & Water
- Complete Plumbing Permit for work on private property.

To: Kevin Driscoll, Village Engineer

CC: Jeff Retzlaff Village Planner

From: Bob Beilfuss, PLS

Date: July 11, 2025

Re: Grant Dr Germantown Wi. LLC CSM

Kevin,

Here is my review comments for the CSM received 7/10/2025.

Certified Survey Map

Applicant or Owner: Grant Dr Germantown Wi. LLC

Address: W132 N10611 Grant Drive, Germantown WI. 53022
Tax Key No. GNTV 253975 and GNTV 253976

Land Surveyor/Firm: UNKNOWN, PLS – JSD

1. Sheets 2 through 5 were not submitted for review. The document is missing the following certificates:

   Surveyor's Certificate
   Owners Certificate
   Certificate of Corporate Mortgagee
   Notary Certificates
   Village Planning Commission Approval Certificate
   Village Board Certificate

2. On Sheet 1, the Professional Land Surveyors seal and signature are missing.

3. On Sheet 1, the bearing basis is referenced to the Wisconsin State Plane Coordinate System, South Zone, but the Datum is missing. The correct datum is NAD83 (2011 Adjustment)

4. This submittal is incomplete.

5. No further review comments.

Document Approval and Recording

For this CSM to be approved by the Village Board and recorded at the Washington County Register of Deeds, the document must be provided to the Village Clerk's office in a completed format including all original signatures of the owner and lending institution, original seals of the professional land surveyor on the recordable media the Wednesday prior to the scheduled Village Board meeting.

This includes the CADD file.

Any documents or digital files not submitted by the due date or contain outstanding technical review comments that have not be addressed, will be moved to the next scheduled Village Board meeting agenda.

Document Submittals and Data Conversion

As of October 2005, the Village of Germantown requires a digital copy of all Certified Survey Maps, Condominium Plats and Subdivision Plats in addition to the documents as required by Wisconsin Statute and Village Ordinances as part of the land division approval.

The digital mapping should be prepared using the NAD83 Datum (2011 Adjustment)

Prior to Recording the Certified Survey Map or Subdivision Plat

The professional land surveyor is responsible for submitting a copy of the AutoCAD drawing file (.dwg) of the document in version 2024 via email to the Village Surveyor for mapping purposes.

All digital professional land surveyor seals and signatures will be purged from the digital copy prior to submittal.

Sincerely,
Point Land Surveying & Mapping

Bob Beilfuss

Bob Beilfuss, P.L.S.
Principle

BUSINESS OF THE VILLAGE BOARD

MEETING DATE: October 6, 2025

PLACEMENT: Presentation

ITEM TITLE: Update on the 2026 Budget Process (DISCUSSION)

SUBMITTED BY:

SUMMARY EXPLANATION:

ATTACHMENT:

1. 2026 Budget Update 10.06.25

STAFF RECOMMENDATION:

ACTION BY COMMITTEE:

2026 BUDGET UPDATE

BUDGET TIMELINE

Budget Preview – June 2025

Departmental Budget Development – June – July 2025

Admin Budget Review – August 2025

Recommended Budget Presented – September 2025

5 Committee Meetings on Recommended Budget

2 Committee of the Whole Meetings scheduled for October

Public Hearing and Adoption on Nov 17th

COMMITTEE OF THE WHOLE PLAN

01

Review recommended changes made by the Oversight Committees

02

Review 2026 Capital Projects

03

Allocate any additional projected revenue

04

Move to public the Public Hearing Notice.

STATE TRANSPORTATION AID

Aid from the State to support municipal road maintenance and repairs

Village allocates State Transportation Aid to the Highway Department's Budget

Village spends 3.2 million in the Highway Budget

- $1.07 million salaries and benefits
- $0.250 million in seal coating
- $0.190 million in salt and snow removal
- $0.300 million in general maintenance

STATE TRANSPORTATION AID

Recommended Budget projected $1.63 million in aid

DOT estimated aid is $1.80 million

$170,000 of unallocated revenue

Options for available funds

- Reduce tax levy
- Restore seal coating to pre 2024 levels
- Increase Recreation program funding
- Move capital items back to general fund

THANK YOU

BUSINESS OF THE VILLAGE BOARD

MEETING DATE: October 6, 2025

PLACEMENT: Action Item

ITEM TITLE: 5-Year Capital Improvement Plan (ACTION)

SUBMITTED BY: Matthew Mortwedt, Public Works Director

SUMMARY EXPLANATION:

The attached 5-Year Capital Improvement Plan identifies needs across Village departments. It is a document that evolves year-over-year and serves as an input into the annual budget process. It does not allocate dollars, it only identifies need.

In terms of Public Works:

The 5-Year Capital Improvement Plan identifies consistent spending is needed to stay on top of fleet maintenance. The 10-year equipment plan produced significant savings over the plan period (2026-2035), and even with those savings, the 5-Year CIP shows that annual funding for equipment needs to be at an average of approximately $552,000 annually in the upcoming 5-year period.

In the Engineering Division, the plan proposes to keep pace with road improvements. In 2025, the Village-wide PASER rating made a slight improvement for the first time in several rating cycles. Continuing with road improvements should allow bigger gains in overall condition.

The 5-year plan also highlights major needs in terms of stormwater and drainage. From pond maintenance, dredging, stormwater conveyance, CCTV and condition assessment, and funding for historical and persistent drainage issues around the Village.

In the utilities, large obligations in the Wastewater Utility are in the 5-year window with proposed upgrades to Old Farm and Main Street Lift Stations, as well as a potential move of Lift Station 6 and subsequent elimination of Lift Station 3.

ATTACHMENT:

1. 2026-2030 5 Year Capital Plan
2. 2026-2030 5 Year CIP Presentation

STAFF RECOMMENDATION:

Staff are reqeusting recommendation of the 5-Year Capital Improvement Plan to the Village Board.

ACTION BY COMMITTEE:

Village of Germantown

SUMMARY OF C.I.P. EXPENDITURES (years 2026 - 2030)

by Department

Rev 9/11/25 MJM

Department- Project Category	2026	2027	2028	2029	2030	Total Cost
Data Processing						
Technology Hardware	$ 50,000	$ 50,000				$ 100,000
	$ 50,000	**$ 50,000**	**$ -**	**$ -**		**$ 100,000**
Police Department						
Patrol Squads (24 total in Fleet/replace 3/yr; add 2%/yr)	$ 338,000	$ 245,000	$ 252,350	$ 259,921	$ 267,718	$ 1,095,271
New Police Department Campus						$ -
Building - Design	$ 3,000,000					$ 3,000,000
Building - Construction		$ 30,000,000				$ 30,000,000
Replace weapons & equipment	$ 50,600	$ 25,000	$ 25,000	$ 25,000	$ 25,000	$ 125,600
	$ 3,388,600	**$ 30,270,000**	**$ 277,350**	**$ 284,921**		**$ 34,220,871**
Fire Department						$ -
Equipment Replacement						$ -
Replace Pumper Truck (#1764; yr mnfr 2012) replace in 2032						$ -
Replace Ambulance (#1751; yrr mnfr 2021) replace in 2031				$ 600,000		$ 600,000
Replace Ambulance (#1754 yr mnfr 2011)						$ -
Replace Staff Vehicle (#1785; yr mnfr 2013)						$ -
Replace Pumper Truck (#1762; yr mnfr 2015) replace in 2035						$ -
Replace Ladder Truck (#1771; yr mnfr 2001) replace in 2028			$ 3,000,000			$ 3,000,000
Replace Ambulance (#1752; yr mnfr 2022) replace in 2034						$ -
Replace Staff Vehicle (#1741; yr mnfr 2016)	$ 137,500					$ 137,500
Replace Staff Vehicle	$ 137,500					$ 137,500
Fire Station #2 - Construction	$ 6,100,000					$ 6,100,000
New Fire Station - Design		$ 3,000,000				$ 3,000,000
New Fire Station - Construction			$ 30,000,000			$ 30,000,000
	$ 6,375,000	**$ 3,000,000**	**$ 33,000,000**	**$ 600,000**		**$ 42,975,000**
Library						
Design Second Floor Addition			$ 800,000			$ 800,000
Construct Second Floor				$ 8,000,000		$ 8,000,000
	$ -	**$ -**	**$ 800,000**	**$ 8,000,000**		**$ 8,800,000**
Street & Highway						
Street Light Upgrades - cobra heads (134), shoe box (81) fixtures - Village-wide	$ 114,000					$ 114,000
Street Light Upgrades - pole and fixture repl/upgrade (53) - Business Park		$ 95,000	$ 95,000			$ 190,000
Traffic Signal Camera Upgrades	$ 35,000	$ 35,000	$ 35,000	$ 35,000		$ 140,000
Single Axle Patrol Truck				$ 332,000		$ 332,000
Tandem Axle Patrol Truck	$ 341,000					$ 341,000
Sidwalk Tractor	$ 272,000				$ 315,000	$ 587,000
Concrete Form Trailer		$ 21,500				$ 21,500
Rubber Tire Roller			$ 132,000			$ 132,000
Ditch Mower Tractor		$ 276,000				$ 276,000
Blower			$ 274,000			$ 274,000
Pick-up Replacements	$ 72,000	$ 68,000	$ 126,000			$ 266,000
One Ton Replacements		$ 75,000	$ 78,000		$ 84,000	$ 237,000
Air Compressor	$ 30,000					$ 30,000
Trailer Replacements				$ 35,000	$ 12,000	$ 47,000
Forklift			$ 50,000			$ 50,000
Manlift			$ 20,000			$ 20,000
Zero Turn Mower Replacements	$ 36,000				$ 37,000	$ 73,000
Commercial Blower	$ 50,000					$ 50,000
Scissors Lift	$ 23,000					
	$ 950,000	**$ 570,500**	**$ 810,000**	**$ 402,000**	**$ 448,000**	**$ 3,180,500**
Wastewater Utility						
****LIFTS****						
Lift 3						
Old Farm Lift						
Old Farm & Main Street Rehab and Force Main Upgrade - Design	$ 660,000					$ 660,000
Old Farm Rehab and Force Main Project		$ 9,000,000				$ 9,000,000
Main St. Lift						$ -
Main St. Rehab and Force Main Project			$ 7,000,000			$ 7,000,000
Lift 6						$ -
Lift 6 Land Purchase	$ 1,200,000					$ 1,200,000
Lift 3 eleim.lift 6 recon, 18" interceptor				$ 5,010,000		$ 5,010,000
Lift 7						$ -
						$ -
Wrenwood Lift						$ -
						$ -
Brookside Meadows						$ -
Telemetry Cabinet	$ 20,000					$ 20,000
****CONVEYANCE SYSTEM****						
Kuhn's Subdivision Relay			$ 2,200,000			$ 2,200,000
Relining & Manhole Maint sewer lines	$ 70,000	$ 70,000	$ 70,000	$ 70,000		$ 280,000
						$ -
****EQUIPMENT****						
Truck (557) 2020 Jet Vac Replacement	$ 40,000	$ 40,000	$ 40,000	$ 40,000	$ 40,000	$ 200,000
Field Mobile Work Stations				$ 3,500		$ 3,500
Bybass Pump	$ 64,000					$ 64,000
Enclosed Trailer				$ 13,600		$ 13,600
	$ 2,054,000	**$ 9,110,000**	**$ 9,310,000**	**$ 5,137,100**	**$ 40,000**	**$ 25,611,100**
Water Utility						
Well House and Tower Security Upgrades (all)			$ 125,000			$ 125,000
WELLS						
Well House Shingle Replacement (all)						$ -
						$ -
Well 2						$ -
Well 2 Rehab (2016)		$ 200,000				$ 200,000
						$ -
Well 3						$ -
Well #3 (2018) Rehab			$ 275,000			$ 275,000
Well 3 VFD Replacement		$ 45,000				$ 45,000
						$ -
Well 4						$ -
Well 4 Generator, Standpipe, Prelube Line, VFD, Transfer Switch		$ 600,000				$ 600,000
						$ -
Well 5						$ -
Well #5 (2013) (2018 motor) Rehab						$ -
Roof Replacement	$ 20,000					$ 20,000

Village of Germantown

SUMMARY OF C.I.P. EXPENDITURES (years 2026 - 2030)

by Department

Rev 9/11/25 MJM

Department- Project Category	2026	2027	2028	2029	2030	Total Cost
Well 7						$ -
						$ -
Well 11						$ -
Well #11 (2020)					$ 250,000	$ 250,000
						$ -
Well 12						$ -
						$ -
TOWERS						
Tower 1						$ -
Interior / Exterior Blast and Paint				$ 700,000		$ 700,000
Tower 2						$ -
Interior Blast and Paint / Exterior Overcoat			$ 450,000			$ 450,000
Tower 3						$ -
Tower 4						$ -
						$ -
DISTRIBUTION						
Replace Curbstops (Mayflower, North Way, Colonial Dr, Concord)			$ 150,000			$ 150,000
Gettysburg WM Relay		$ 240,000				$ 240,000
Loop Sunny View, Daniels, Kurt, Williams & Roberts			$ 1,000,000			$ 1,000,000
Hydrant and Valve Work Due to Road Construction	$ 75,000	$ 75,000	$ 75,000	$ 75,000		$ 300,000
Meter Replacement Program	$ 150,000	$ 150,000	$ 150,000	$ 150,000	$ 150,000	$ 750,000

Village of Germantown

SUMMARY OF C.I.P. EXPENDITURES (years 2026 - 2030)

by Department

Rev 9/11/25 MJM

Department- Project Category	2026	2027	2028	2029	2030	Total Cost
EQUIPMENT						
Trailer				$ 22,600		$ 22,600
Utiliy Pickup Truck Replacement					$ 70,000	$ 70,000
	$ 245,000	**$ 1,310,000**	**$ 2,225,000**	**$ 947,600**	**$ 470,000**	**$ 5,197,600**
Yard Waste						
	$ -	$ -	$ -	$ -	$ -	
	$ -	**$ -**	**$ -**	**$ -**	**$ -**	**$ -**
Parks and Recreation						
Kinderberg Park – fencing project	$ 55,000					$ 55,000
Community Splashpad & All-Inclusive Playground		$ 1,500,000				$ 1,500,000
Friedenfeld Park Utilities & Restroom/shelter Building	$ -			$ 1,500,000		$ 1,500,000
Sidewalk & Pathway Project - Menomonee River Pathway - Design Study Report		$ 50,000		$ 150,000		$ 200,000
Sidewalk & Pathway Project - Menomonee River Pathway - Design and Construction					$ 2,000,000	$ 2,000,000
Sidewalk & Pathway Project - Goldendale Trail Extension - Design	$ 50,000					$ 50,000
Sidewalk & Pathway Project - Goldendale Trail Extension - Construction			$ 250,000	$ 250,000		$ 500,000
	$ 105,000	**$ 1,550,000**	**$ 250,000**	**$ 1,900,000**	**$ 2,000,000**	**$ 5,805,000**
Engineering						
Roads Program - Local Mill/Overlay and Pulv/Reconst	$ 1,622,400	$ 1,687,296	$ 1,754,788	$ 1,824,979	$ 1,879,728	$ 8,769,191
Roads Program - Sealcoating	$ 250,000	$ 375,000	$ 375,000	$ 400,000	$ 400,000	$ 1,800,000
Roads - WisDOT (SISP) County Line & Lannon Signals Upgrade	$ 85,000					$ 85,000
Roads - WisDOT - (SMFA) Mequon Rd - I41 to STH 145 - Resurface	$ 275,000					$ 275,000
Roads - WisDOT STH 145 - FDL / Main St Intersection Improvement - Easement/Land Acquisition/Design	$ 25,000	$ 25,000				$ 50,000
Roads - WisDOT STH 145 - FDL / Main St Intersection Improvement - Construction			$ 200,000			$ 200,000
Roads - Division Road Reconstruction (South Leg - Phase 2)		$ 250,000				$ 250,000
Bridge - Maple Road Bridge Repair - Design and Construction	$ 275,000					$ 275,000
Sidewalk Program (condition based replacements and/or improvements)		$ 25,000		$ 25,000		$ 50,000
Sidewalk Project - Design and Construction Church Street to Fond du Lac Ave		$ 50,000				$ 50,000
Sidewalk Project - Fond du Lac Ave/ STH 145 Firemen's Park to Pilgrim			$ 50,000			$ 50,000
Sidewalk Project - Design and Construction - Pilgrim Rd / FDL Int. Curb Ramp Improvements		$ 50,000				$ 50,000
Stormwater - System Inventory, Condition Assessment (CCTV), and GIS updates	$ 75,000					$ 75,000
Stormwater - Future relay projects		TBD	TBD	TBD	TBD	$ -
Stormwater - Utility Feasibility Analysis		$ 75,000				$ 75,000
Stormwater - Village Pond Maintenance			$ 25,000		$ 25,000	$ 50,000
Stormwater - Village Pond Dredging Study		$ 25,000				$ 25,000
Stormwater - Jefferson Ponds Dredging			$ 750,000			$ 750,000
Stormwater - Dredging - Other ponds					$ 300,000	$ 300,000
Stormwater - Drainage Improvements - Starlite/East of Pilgrim - Design	$ 10,000					$ 10,000
Stormwater - Drainage Improvements - Starlite/East of Pilgrim - Construction		$ 100,000				$ 100,000
Stormwater - Drainage Improvements - Glenwood Heights - Design		$ 10,000				$ 10,000
Stormwater - Drainage Improvements - Glenwood Heights - Construction			$ 100,000			$ 100,000
Stormwater - Drainage Improvements - Willow Creek Heights - Design			$ 10,000			$ 10,000
Stormwater - Drainage Improvements - Willow Creek Heights - Construction				$ 100,000		$ 100,000
Stormwater - Drainage Improvements - Jefferson Ditch by Pilgrim/Donges - Design				$ 10,000		$ 10,000
Stormwater - Drainage Improvements - Jefferson Ditch by Pilgrim/Donges - Construction					$ 100,000	$ 100,000
Stormwater - Drainage Improvements - Catskill to Sylvan - Design					$ 10,000	$ 10,000
Stormwater - Drainage Improvements - Maple Rd - Reditching		$ 10,000				$ 10,000
Stormwater - Drainage Improvements - Taylor Trail - Reditching			$ 10,000			$ 10,000
Stormwater - Drainage Improvements - Oriole Ct. - Add catch basin / storm sewer				$ 15,000		$ 15,000
GIS - System Conversion (New UI and Document Stroage system)	$ 30,000					$ 30,000
GIS - Survey Data Collection (Roads, Traffic Control, Street Lighting, Curbstops)	$ 20,000					$ 20,000
Equipment - DPW-Engineering (New GPS)	$ 20,000					$ 20,000
	$ 2,687,400	**$ 2,682,296**	**$ 3,274,788**	**$ 2,374,979**	**$ 2,714,728**	**$ 13,734,191**

Village of Germantown

SUMMARY OF C.I.P. EXPENDITURES (years 2026 - 2030)

by Department

Rev 9/11/25 MJM

Department- Project Category	2026	2027	2028	2029	2030	Total Cost
Buildings						
Historical Bell Museum						
Bell Museum Repairs - paint			$ 25,000			$ 25,000
Historical Wolf Haus						
Wolf Haus Repairs - paint, patio repair			$ 10,000			$ 10,000
Fire Station #2 *						
Replace FA panel , detection devices, add in new		$ 15,000				$ 15,000
Security Access Control Upgrade		$ 40,000				$ 40,000
Mill and overlay asphalt by burn tower, replace back driveway			$ 70,000			$ 70,000
Mill and overlay asphalt in back lot					$ 100,000	$ 100,000
Exterior block sealing		$ 16,000				$ 16,000
Replace generator					$ 150,000	$ 150,000
*Projects needed if the expansion and remodel does not occurr, or does not make these improvements						
Haupt Strausse Park						
Survive Alive House**						
Roof Replacement		$ 25,000				$ 25,000
Exterior painting		$ 15,000				$ 15,000
Replace water heater		$ 15,000				$ 15,000
Seal/caulk windwos			$ 7,000			$ 7,000
Replace furnace and condensing unit		$ 10,000				$ 10,000
**Projects needed if the demolition of the Survive Alive house does not occurr.						
Spassland Shelter						
Shelter Exterior Paint					$ 20,000	$ 20,000
Kinderberg Shelter						
Interior/Exterior Painting					$ 25,000	$ 25,000
Kinderberg Splash Pad - Powder coat and paint benches	$ 16,000					$ 16,000
South path and drainage	$ 54,000					$ 54,000
Recreation Building (Old Fire House #1)						
Exterior door replacement (5)		$ 30,000				$ 30,000
Replace Garage Heater				$ 20,000		$ 20,000
Replace Electrical Panels				$ 15,000		$ 15,000
Replace water heater		$ 20,000				$ 20,000
Fireman's Park						
Shelter (old) Removal	$ 25,000					$ 25,000
Fire Company Building						
Senior Center						
Replace water heaters (2)		$ 35,000				$ 35,000
HVAC Replacements and upgrades					$ 80,000	$ 80,000
Crackseal parking lot		$ 25,000				$ 25,000
Attic Insulation		$ 16,000				$ 16,000
AV Upgrade Project	$ 22,500					$ 22,500
Security Access Control		$ 85,000				$ 85,000
Security Camera Upgrade			$ 34,000			$ 34,000
Village Hall						
Connect EM lighting to EM generator circuit		$ 6,000				$ 6,000
Replace water heater and recirc pumps	$ 10,000					$ 10,000
Replace Generator			$ 150,000			$ 150,000
Interior updates - paint		$ 75,000				$ 75,000
Interior updates - flooring		$ 150,000				$ 150,000
Replace water softener				$ 10,000		$ 10,000
Reception window improvements			$ 60,000			$ 60,000
Rear parknig lot reconstruct, repair curb and gutter joints				$ 200,000		$ 200,000
Exterior block tuckpointing and sealing			$ 25,000			$ 25,000
Pre-action fire suppression panel replacement			$ 35,000			$ 35,000
Front parking lot reconstruct					$ 100,000	$ 100,000
Library						
Replace water heater and recirc pumps		$ 20,000				$ 20,000
Frequency Drive Replacemnt		$ 24,000				$ 24,000
Replace Emergency Generator					$ 150,000	$ 150,000
Replace Vestibule Cabinet Heaters			$ 10,000			$ 10,000
Mill and overlay parking lot			$ 100,000			$ 100,000
Library Gutter seam repair	$ 20,000					$ 20,000
Police Department***						
Replace Sump Pump		$ 20,000				$ 20,000
Replace Furnaces		$ 20,000		$ 30,000		$ 50,000
Replace South Parking Lot Light Fixtures				$ 15,000		$ 15,000
Mill and overlay staff parking lot			$ 150,000			$ 150,000
Captain's Office Door	$ 6,000					$ 6,000
***Projects needed if a new Police building is not constructed						
Police Annex						$-
Replace Fire Alarm Panel		$ 8,000				$ 8,000
Replace Furnances			$ 50,000			$ 50,000
	$ 153,500	**$ 670,000**	**$ 726,000**	**$ 290,000**	**$ 625,000**	**$ 2,464,500**
TOTAL (INCLUDES WATER AND WASTE WATER UTILITIES)	**$ 16,008,500**	**$ 49,212,796**	**$ 50,673,138**	**$ 19,936,600**	**$ 6,297,728**	**$ 142,128,762**
TOTAL (LESS WATER AND WASTE WATER UTILITES)	**$ 13,709,500**	**$ 38,792,796**	**$ 39,138,138**	**$ 13,851,900**	**$ 5,787,728**	**$ 111,280,062**

VILLAGE OF GERMANTOWN 5 YEAR CIP

AGENDA

Major Projects - 2026

Major Equipment Purchases - 2026

Major Programs - 2026

Studies, Plans, etc – 2026

The Plan 2027 - 2030

MAJOR PROJECTS - 2026

Police Building Design - $3,000,000

Fire Station #2 Construction - $6,100,000

Main Street and Old Farm Lift Station Design - $660,000

Mequon Road Resurfacing Design (WisDOT) - $275,000

Maple Road Bridge Design and Construction - $275,000

GIS System Transition - $30,000

MAJOR EQUIPMENT PURCHASES - 2026

4 Police Squads

2 Fire Department Staff Vehicles

1 Tandem Axle Patrol Truck (Plow Truck)

1 Sidewalk Tractor

1 Highway/Parks Pick-up

MAJOR PROGRAMS - 2026

Technology Hardware - $50,000 (No Increase)

Road Program - $1,622,400 (3% Increase)

Road Sealcoating - $250,000 ($100,000 decrease from department request, no increase from 2025)

Comprehensive Stormwater Program

STUDIES AND ASSESSMENTS - 2026

Stormwater System Inventory and Condition Assessment

Stormwater Funding Analysis

2027-2030

Police building construction

Library second floor

Community splashpad and all-inclusive playground

Old Farm and Main Street lift station construction

Lift station 3 & 6 consolidation

Village Hall improvements

Well 2 and 3 rehabs

Towers 1 and 2 paint

ADOPTING THE PLAN

- Staff is seeking adoption of the plan.
- Adoption indicates we are tracking future needs appropriately.
- Adopting the plan is not approving capital or operating budgets for 2026 or future years.

THANK YOU

Any Questions?